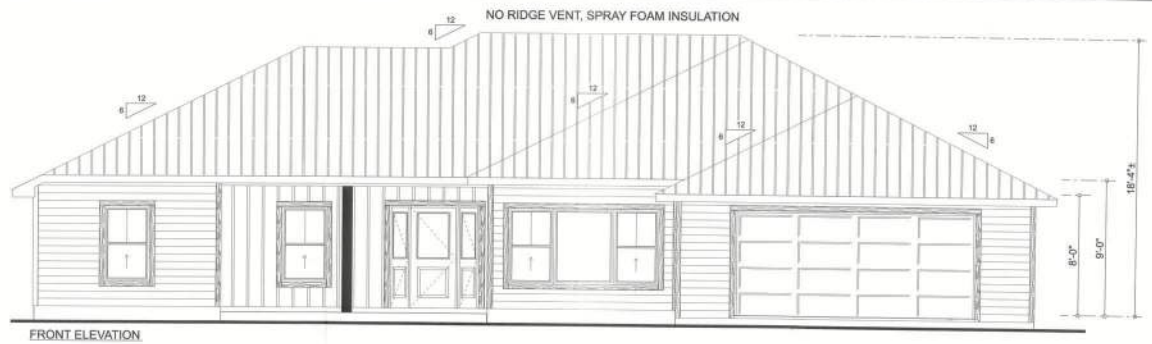
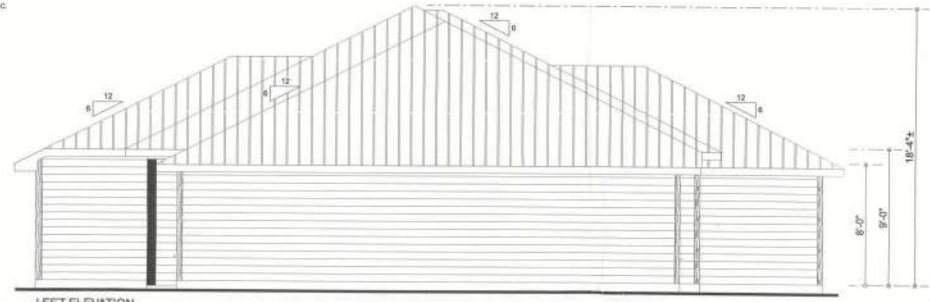


TYPICAL DESIGN WALL SECTION  
NON - STRUCTURAL DATA

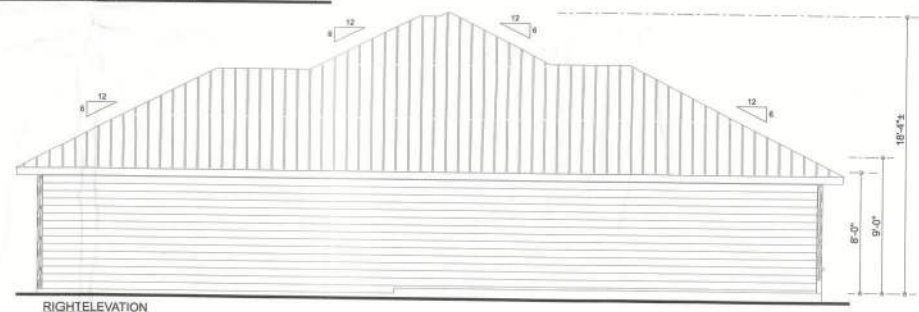
SCALE: 1" = 1'-0"



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

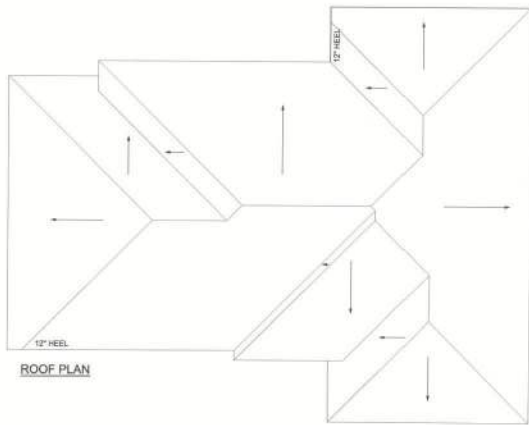


REAR ELEVATION



Erkinger Construction Group  
 William and Deborah Perri Residence  
 PARCEL ID# 01-79-16-004-121  
 ADDRESS: 119 SW Hawk Lane Fort White, FL 32008 Columbia County  
 PRINTED DATE: Wednesday, September 10, 2024  
 DRAWN BY: Matthew A. Erkinger III  
 DRAWING NUMBER: #1 OF 3 SHEETS

51169



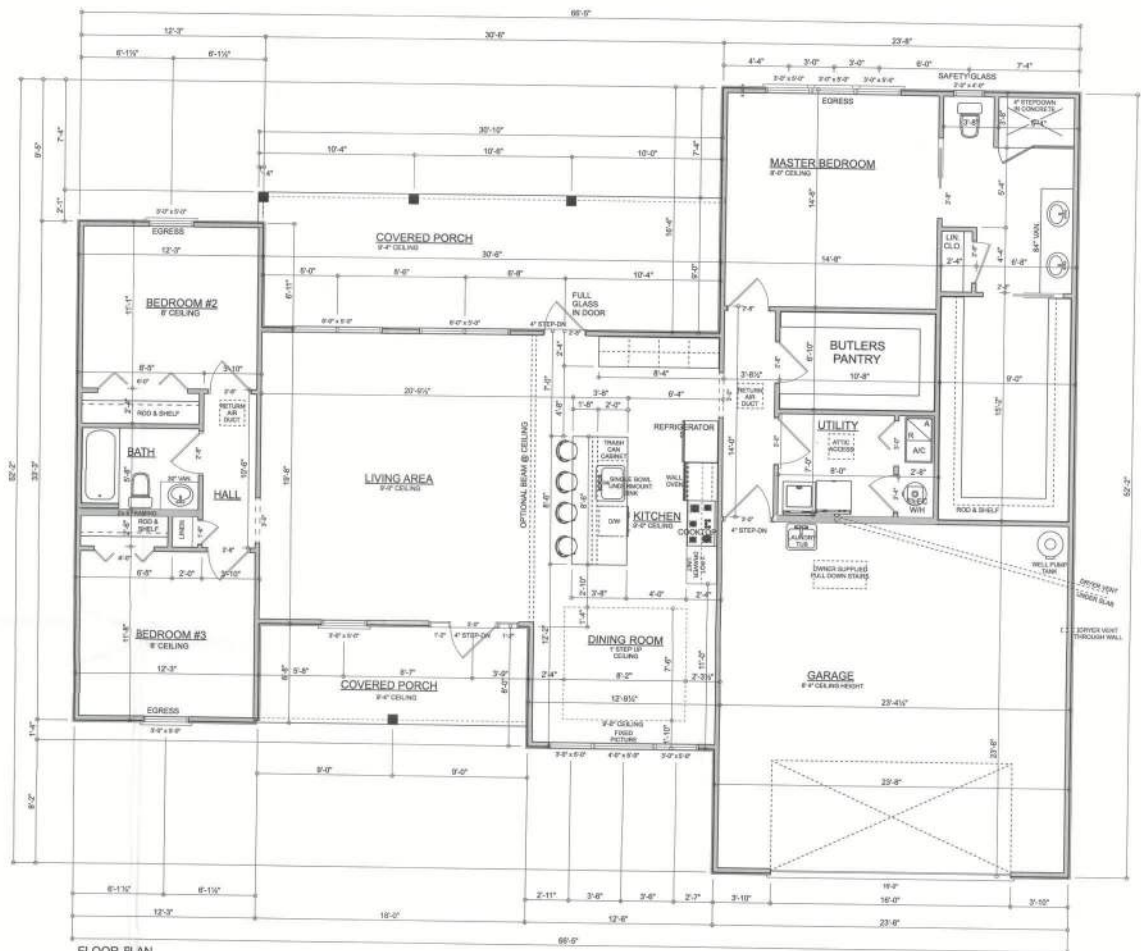
ROOF PLAN

**ROOF PLAN NOTES:**

**REQUIRED ATTIC ACCESS:**  
BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE ATTIC ACCESS OPENINGS TO ATTIC AREAS THAT EXCEED 60 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FINISH MEMBERS TO THE UNDERSIDE OF THE ROOF FINISH MEMBERS. THE ROUND FRAME OPENING SHALL NOT BE LESS THAN 2' x 3' AND SHALL BE LOCATED IN A WALL OR OTHER BALANCE ACCESSIBLE LOCATION. WHEN LOCATED IN A WALL, THE OPENING SHALL BE AREA OF 27 INCHES x 30 INCH. WHEN THE ACCESS IS LOCATED IN A CEILING, THE UNSTRUCTURED FRAMEWORK IN THE ATTIC SPACE SHALL BE 30" AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FINISH MEMBERS.  
SEE SECTION 05100 ACCESS REQUIREMENTS UNDER MECHANICAL FOR LOCATED OPENINGS.

**REQUIRED ROOF VENTILATION:**  
INDIVIDUAL UNFINISHED RAFTER SPACES FINISHED WHERE COLLARS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF FINISH SHALL HAVE CLOSED VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENING PROTECTED AGAINST THE ENTRANCE OF RAIN. VENTILATION OPENINGS SHALL HAVE AT LEAST DIMENSION OF 2" X 6" AND 1" VENTILATION OPENING HAVING AT LEAST DIMENSION LARGER THAN 1" SHALL BE PROVIDED WITH CORROSION RESISTANT WIRE CLATH SCREENING, HANDICAPED CURTS, OR SIMILAR MATERIAL WITH OPENING HAVING A GROSS DIMENSION OF 2" X 6" AND 1" VENTILATION OPENING ROOF FINISH MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SEC. 05110. A MINIMUM ROOF VENT AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE.  
EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/200 OF THE AREA OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:  
1. IN CLIMATE ZONES 4, 7 AND 8, CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARMER INSIDE OF THE CEILING.  
2. AT LEAST 40 PERCENT OF THE ATTIC OR RAFTER SPACE UPPER VENTILATIONS SHALL BE LOCATED NO MORE THAN 1 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE STRUCTURE. MEASURED HORIZONTALLY WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY RAFTER OR CORNER VENTS. WHERE THE LOCATION OF WALL OR ROOF FINISH MEMBERS COME INTO WITH THE INSTALLATION OF UPPER VENTILATIONS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE FORBIDDEN.

**ATTIC VENTING NOT REQUIRED WITH SPRAY FOAM / SEALED ATTIC**



FLOOR PLAN  
SCALE: 1/4" = 1'-0"

AREA TABLE:	
LIVING AREA =	1820 SQ. FT.
GARAGE AREA =	554 SQ. FT.
PORCH AREA =	385 SQ. FT.
<b>TOTAL AREA =</b>	<b>2759 SQ. FT.</b>

**GARAGE EQUIPMENT NOTES:**  
-VEHICLE IMPACT PROTECTION  
REQUIRED FOR ALL APPLIANCES  
IN GARAGE PER FBC 6105.2.1.1  
-WATER HEATERS HAVING AN  
IGNITION SOURCE SHALL BE  
ELEVATED SUCH THAT THE  
SOURCE OF IGNITION IS NOT LESS  
18" ABOVE THE GARAGE FLOOR  
PER FBC 6105.6

**R302.5.1 Opening protection:**  
Openings into a garage shall be protected with a door used for sleeping purposes shall not be lower than 6 feet 8 inches (2032 mm) to the top edge and shall be equipped with a self-closing door. Other openings shall be protected with a door that is self-closing and shall be equipped with a self-closing door. Other openings shall be protected with a door that is self-closing and shall be equipped with a self-closing door.

TABLE R302.6 DWELLING-GARAGE SEPARATION	
<b>SEPARATION</b>	<b>MATERIAL</b>
From the residence and attic	Not less than 1/2-inch gypsum board or equivalent applied to the garage side.
From an outside porch above the garage	Not less than 5/8-inch Type X gypsum board or equivalent.
From an outside porch below the garage	Not less than 1/2-inch gypsum board or equivalent.
From an outside porch on the side of the garage	Not less than 1/2-inch gypsum board or equivalent.
From an outside porch on the end of the garage	Not less than 1/2-inch gypsum board or equivalent.
From an outside porch on the side of the garage	Not less than 1/2-inch gypsum board or equivalent.
From an outside porch on the end of the garage	Not less than 1/2-inch gypsum board or equivalent.

**Erkinger Construction Group**

William and Deborah Perri Residence

PARCEL: 04  
91-75-14-001-04-131  
ADDRESS:  
115 SW Hawk Lake  
Fort White, FL 32038  
Colusia County

PRINTED DATE:  
Wednesday, September 18, 2024

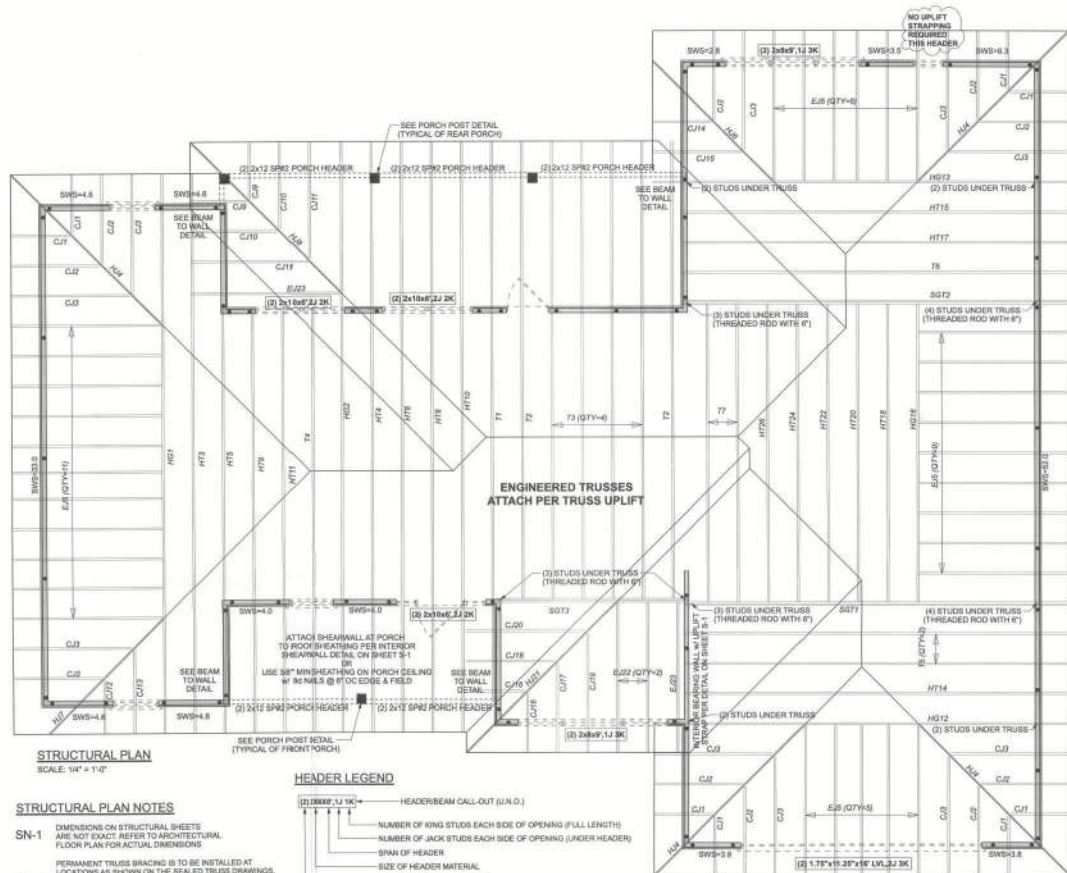
DRAWN BY:  
Matthew A. Erkinger

DRAWING NUMBER:  
**#2**  
OF 3 SHEETS



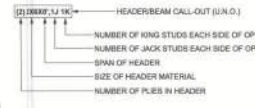






**STRUCTURAL PLAN**  
SCALE: 1/4" = 1'-0"

**HEADER LEGEND**



**STRUCTURAL PLAN NOTES**

- SN-1** DIMENSIONS ON STRUCTURAL SHEETS ARE NOT EXACT. REFER TO ARCHITECTURAL FLOOR PLAN FOR ACTUAL DIMENSIONS.
- PERMANENT TRUSS BRACING IS TO BE INSTALLED AT LOCATIONS AS SHOWN ON THE SEALED TRUSS DRAWINGS. LATERAL BRACING IS TO BE RESTRAINED PER BC51-05, BC51-01, BC51-02, & BC51-03. BC51-01, BC51-02, & BC51-03 ARE FURNISHED BY THE TRUSS SUPPLIER, WITH THE SEALED TRUSS PACKAGE.
- SN-2**

ACTUAL vs REQUIRED SHEARWALL		
	TRANSVERSE	LONGITUDINAL
ACTUAL	35960 LBF	18461 LBF
REQUIRED	14337 LBF	10729 LBF

• • • OPTIONAL ROD PLACEMENT  
SEE ROD STRAPPING OPTION DETAIL ON S-1

CONNECTIONS, WALL, & HEADER DESIGN IS BASED ON REACTIONS & UPLIFTS FROM TRUSS ENGINEERING. FURNISHED BY BUILDER, SEMANDE TRUSSES, INC. JOB #69602295

**UNLESS NOTED OTHERWISE (MINIMUM REQUIREMENTS)**  
**\*\*\*SEE STRUCTURAL PLAN FOR ANY SPECIFIC CALL OUTS\*\*\***

BEAM / HEADERS (SIZE)	ALL LOAD BEARING FRAME WALL & PORCH HEADERS SHALL BE A MINIMUM OF (2) 2X6 SP @ 12" O.C.
HEADERS (JACK & KING STUDS)	ALL LOAD BEARING FRAME WALL HEADERS SHALL HAVE (1) JACK STUD & (1) KING STUD EACH SIDE (SIZES)
HEADERS (STRAPPING)	ALL HEADERS w/ UPLIFT TO BE STRIPPED OR SCREWED DOWN w/ MIN. OPTION #1 OR OPTION #3 SEE DETAIL ON SHEET S-1 (U.N.O.) 1/2" X 10" ANCHOR BOLT w/ 3" X 3" X 1/8" WASHER. MUST BE LOCATED WITHIN 6" OF KING STUD @ ALL DOOR LOCATIONS (U.N.O.)
JACK STUDS UNDER GIRDER TRUSSES	USE ONE JACK STUD GIRDER SUPPORT PER 200 LB LOAD

Eringer Construction Group  
**WILLIAM AND DEBORAH  
PERRI RESIDENCE**  
PROJECT ADDRESS:  
FORT WHITE, FL 32038  
INVOICE #24  
10/28/2024 121 Customer County



Wednesday, September 18, 2024

**DISCLAIMER:**  
These drawings represent a preliminary design. They are not intended to be used for construction. Do not proceed without consultation.

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**CERTIFICATION:** I hereby certify that I have prepared this plan, and that the professional seal of the State of Florida is not to be used on any drawings or documents prepared by me or under my supervision without my personal seal and signature.

**LEGATION:** This design is valid for one building, at the location shown.

**Mark Disoway P.E.**  
163 SW Midtown Place  
Suite 103  
Lake City, Florida 32025  
386.754.5419  
disowaydesign@gmail.com

**JOB NUMBER:**  
240961  
**S-3**  
OF 3 SHEETS