

DATE 07/27/2017

Columbia County Building Permit

PERMIT

This Permit Must Be Prominently Posted on Premises During Construction

000035609

APPLICANT JAMES JOHNSTON PHONE 365-5999
 ADDRESS 419 SW LAKEVIEW DR LAKE CITY FL 32025
 OWNER FLOYD MOODIE PHONE 386.752.7850
 ADDRESS 2379 S MARION AVENUE LAKE CITY FL 32025
 CONTRACTOR JAMES JOHNSTON PHONE 365-5999
 LOCATION OF PROPERTY SOUTH MARION AVE. ON LEFT ACROSS FROM MICHIGAN LN

TYPE DEVELOPMENT SED. UTILITY ESTIMATED COST OF CONSTRUCTION 55200.00
 HEATED FLOOR AREA 1056.00 TOTAL AREA 1104.00 HEIGHT STORIES 1
 FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH FLOOR SLAB
 LAND USE & ZONING RSF-2 MAX. HEIGHT 35
 Minimum Set Back Requirements: STREET-FRONT 25.00 REAR 15.00 SIDE 10.00
 NO. EX.D.U. 0 FLOOD ZONE AH DEVELOPMENT PERMIT NO. 17-011

PARCEL ID 08-4S-17-08214-000 SUBDIVISION LAKESIDE HEIGHTS
 LOT 1-10 BLOCK 3 PHASE UNIT TOTAL ACRES 0.58

CRC1328128
 Culvert Permit No. Culvert Waiver Contractor's License Number Applicant Owner/Contractor
 EXISTING 17-0449-1 BS TC N
 Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident Time/STUP No.

COMMENTS: NOC ON FILE. BLOWER DOOR TEST REQUIRED
ELEVATION LETTER RECD 6" ABOVE FINISHED GRADE & MUST SLOPE AWAY
FROM HOUSE IN ALL DIRECTIONS. NEED ELEVATION CERT BEFORE POWER Check # or Cash 6401

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power Foundation Monolithic (Footer Slab)
 date/app. by date/app. by date/app. by
 Under slab rough-in plumbing Slab Sheathing/Nailing
 date/app. by date/app. by date/app. by
 Framing Insulation
 date/app. by date/app. by
 Rough-in plumbing above slab and below wood floor Electrical rough-in
 date/app. by date/app. by
 Heat & Air Duct Peri. beam (Intel) Pool
 date/app. by date/app. by date/app. by
 Permanent power C.O. Final Culvert
 date/app. by date/app. by date/app. by
 Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
 date/app. by date/app. by date/app. by
 Reconnection RV Re-roof
 date/app. by date/app. by date/app. by

BUILDING PERMIT FEE \$ 280.00 CERTIFICATION FEE \$ 5.52 SURCHARGE FEE \$ 5.52
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
 PLAN REVIEW FEE \$ 70.00 DP & FLOOD ZONE FEE \$ 75.00 CULVERT FEE \$ TOTAL FEE 486.04

INSPECTORS OFFICE *[Signature]* CLERKS OFFICE *[Signature]*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
 NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECEIVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECEIVED AN APPROVED INSPECTION WITHIN 180 DAYS OF THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Plot 6401

Mobile Home Remaining on lots 7-10

See Floor Elevation Letter

Columbia County New Building Permit Application

For Office Use Only Application # 1707-11 Date Received 7-6-17 By UH Permit # 35609
 Zoning Official [Signature] Date 7-13-17 Flood Zone AH Land Use RLD Zoning RSF-2
 FEMA Map # _____ Elevation _____ MFE ^{See} Note River _____ Plans Examiner T.C. Date 7-12-17
 Comments Elevation letter rec'd @ 6" above finished grade & must slope away from house in all directions.
 NOC DEH Deed or PA Site Plan State Road Info Well letter 911 Sheet Parent Parcel # _____
 Dev Permit # 17-011 In Floodway Letter of Auth. from Contractor F.W. Comp. letter
 Owner Builder Disclosure Statement Land Owner Affidavit Ellisville Water App Fee Paid Sub VF Form

Blower Door Test Required

Septic Permit No. 17-0449-E OR City Water Fax _____
 Applicant (Who will sign/pickup the permit) James Johnston Phone 365-5999
 Address 419 SW Lakeview Ave Lake city RI 32025
 Owners Name Floyd R Moadie Phone 752-7850
 911 Address 2379 S MARION AVE Lake city RI 32025
 Contractors Name James Johnston Phone 365-5999
 Address 419 LAKEVIEW AVE Lake city RI 32025
 Contractor Email hometownhomes LLC@gmail.com ***Include to get updates on this job.
 Fee Simple Owner Name & Address Floyda Moadie 2355 MARION AVE Lake city 32025
 Bonding Co. Name & Address N/A
 Architect/Engineer Name & Address Mark Disosway
 Mortgage Lenders Name & Address N/A

Circle the correct power company FL Power & Light Clay Elec. Suwannee Valley Elec. Duke Energy
 Property ID Number 08-45-17-08214-000 Estimated Construction Cost 70,000
 Subdivision Name Lake side HEIGHTS Lot 140 Block 3 Unit _____ Phase _____
 Driving Directions from a Major Road 41 south ON LEFT BEFORE Hgt School

Construction of new home Commercial OR Residential
 Proposed Use/Occupancy Residence Number of Existing Dwellings on Property 0
 Is the Building Fire Sprinkled? If Yes, blueprints included _____ Or Explain _____
 Circle Proposed Culvert Permit or Culvert Waiver or D.O.T. Permit or Have an Existing Drive
 Actual Distance of Structure from Property Lines - Front 35' Side 20' Side 91' Rear 137'
 Number of Stories 1 Heated Floor Area 1056 Total Floor Area 1104 Acreage .58
 Zoning Applications applied for (Site & Development Plan, Special Exception, etc.)

UH-spoke to Jimmy at Submission on what was needed.

Columbia County Building Permit Application

CODE: Florida Building Code 2014 and the 2011 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Ployd R Moodie
Print Owners Name

Ployd R Moodie
Owners Signature

****Property owners must sign here before any permit will be issued.**

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

[Signature]
Contractor's Signature

Contractor's License Number CR C1328128
Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 27 day of June 2017.

Personally known X or Produced Identification _____

Carey F Chandler
State of Florida Notary Signature (For the Contractor)

SEAL:



CAREY F CHANDLER
MY COMMISSION # GG 070613
EXPIRES: May 22, 2021

Bonded thru Budget Notary Services

SUBCONTRACTOR VERIFICATION

APPLICATION/PERMIT # 1707-11 JOB NAME Floyd Moodie

THIS FORM MUST BE SUBMITTED BEFORE A PERMIT WILL BE ISSUED

Columbia County issues combination permits. One permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the general contractors permit.

NOTE: It shall be the responsibility of the general contractor to make sure that all of the subcontractors are licensed with the Columbia County Building Department.

Use website to confirm licenses: <http://www.columbiacountyfla.com/PermitSearch/ContractorSearch.aspx>

NOTE: If this should change prior to completion of the project, it is your responsibility to have a corrected form submitted to our office, before that work has begun.

Violations will result in stop work orders and/or fines.

ELECTRICAL <input checked="" type="checkbox"/>	Print Name <u>Michael Conner</u> Signature <u>Michael D. Conner</u> Company Name: <u>Conner Electric, Inc</u> License #: <u>ER 13013192</u> Phone #: <u>386-965-9005</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
MECHANICAL/A/C <input checked="" type="checkbox"/>	Print Name <u>Derrick Williams</u> Signature _____ Company Name: <u>DL Williams Heating & Cooling LLC</u> License #: <u>CAC1816913</u> Phone #: <u>386-754-1987</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
PLUMBING/GAS <input type="checkbox"/>	Print Name <u>Maurice E. Pezkes</u> Signature <u>Maurice E. Pezkes</u> Company Name: <u>M E Pezkes Construction & Plumbing Co. I</u> License #: <u>CFC1426278</u> Phone #: <u>386-208-2791</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
ROOFING <input checked="" type="checkbox"/>	Print Name <u>JAMES JOHNSON</u> Signature <u>[Signature]</u> Company Name: <u>Hometown Homes</u> License #: <u>CR 1328128</u> Phone #: <u>386-365-5999</u>	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SHEET METAL <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
FIRE SYSTEM/SPRINKLER <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
SOLAR <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE
STATE SPECIALTY <input type="checkbox"/>	Print Name _____ Signature _____ Company Name: _____ License #: _____ Phone #: _____	Need <input type="checkbox"/> Lic <input type="checkbox"/> Liab <input type="checkbox"/> W/C <input type="checkbox"/> EX <input type="checkbox"/> DE

Legend

Parcels

County Districts

House Number Labels

Columbia County, FLA - Building & Zoning Property Map

Printed: Thu Jul 06 2017 11:24:54 GMT-0400 (Eastern Daylight Time)



Parcel Information

Parcel No: 08-4S-17-08214-000

Owner: MOODIE FLOYD R &

Subdivision:

Lot:

Acres: 0.969261467

Deed Acres:

District: 5 Tim Murphy (386)-758-1005 or (386)-961-1330

Future Land Uses: Residential - Low

Flood Zones: AH,

Official Zoning Atlas: RSF-2

All data, information, and maps are provided "as is" without warranty or any representation of accuracy, timeliness of completeness. Columbia County, FL makes no warranties, express or implied, as to the use of the information obtained here. There are no implied warranties of merchantability or fitness for a particular purpose. The requester acknowledges and accepts all limitations, including the fact that the data, information, and maps are dynamic and in a constant state of maintenance, and update.

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

Clerk's Office Stamp
Inst: 201712012560 Date: 07/06/2017 Time: 10:28AM
Page 1 of 1 B: 1340 P: 264, P.DeWitt Cason, Clerk of Court
Columbia, County, By: PT
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- 1. Description of property (legal description): 08-45-17-08214-000
a) Street (Job) Address: 2379 MARION AVE LAKE CITY 32025
2. General description of improvements: NEW HOME
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: FLOYD R. MOODIE 2355 MARION AVE L.C. 32025
b) Name and address of fee simple titleholder (if other than owner): NA
c) Interest in property: 100
4. Contractor Information
a) Name and address: James Johnston 419 SW LAKE UTECH AVE LAKE CITY 32025
b) Telephone No.: 386 265-1999
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address:
b) Amount of Bond: N/A
c) Telephone No.:
6. Lender
a) Name and address:
b) Phone No.: N/A
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: OF
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. [Signature]
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Floyd R. Moodie
Printed Name and Signatory's Title/Office

The foregoing instrument was acknowledged before me, a Florida Notary, this 07 day of June 2017, by:
Floyd R. Moodie as owner for James H. Johnston III
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known [X] OR Produced Identification Type

Notary Signature Carey Chandler

Notary Stamp or Seal: CAREY F CHANDLER
MY COMMISSION # GG 070813
EXPIRES: May 22, 2021
Bonded Thru Budget Notary Services

Columbia County Property Appraiser

updated: 6/6/2017

2016 Tax Year

Tax Collector Tax Estimator Property Card

Parcel List Generator

Parcel: 08-4S-17-08214-000

<< Next Lower Parcel Next Higher Parcel >>

2016 TRIM (pdf)

Interactive GIS Map

Print

Owner & Property Info

Search Result: 1 of 1

Owner's Name	MOODIE FLOYD R &		
Mailing Address	SHARON DUNCAN 2355 S MARION ST LAKE CITY, FL 32025		
Site Address	2355 S MARION AVE		
Use Desc. (code)	MOBILE HOM (000200)		
Tax District	2 (County)	Neighborhood	8417
Land Area	0.580 ACRES	Market Area	06
Description	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction.		
LOTS 1 THRU 10 BLOCK 3 LAKESIDE HEIGHTS S/D. 16-60, 426-615, 548-48, 572- 788, 712-348, 758-52, 841-1015 -822 DC 1209-2109, DC 1271-820 DC 1334-1421,			



Property & Assessment Values

2016 Certified Values		
Mkt Land Value	cnt: (0)	\$39,500.00
Ag Land Value	cnt: (3)	\$0.00
Building Value	cnt: (1)	\$10,666.00
XFOB Value	cnt: (4)	\$2,860.00
Total Appraised Value		\$53,026.00
Just Value		\$53,026.00
Class Value		\$0.00
Assessed Value		\$53,026.00
Exempt Value	(code: HX H3 VX VP WR)	\$45,226.00
Total Taxable Value	Cnty: \$7,800 Other: \$7,800 Schl: \$9,011	

2017 Working Values (...Hide Values)		
Mkt Land Value	cnt: (0)	\$44,375.00
Ag Land Value	cnt: (4)	\$0.00
Building Value	cnt: (1)	\$9,792.00
XFOB Value	cnt: (4)	\$2,860.00
Total Appraised Value		\$57,027.00
Just Value		\$57,027.00
Class Value		\$0.00
Assessed Value		\$54,140.00
Exempt Value	(code: HX H3 VX VP WR)	\$46,340.00
Total Taxable Value	Cnty: \$7,800 Other: \$7,800 Schl: \$9,456	

NOTE: 2017 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
6/23/2016	1333/2252	WD	I	U	11	\$100.00
3/19/2014	1271/822	WD	V	U	37	\$25,000.00
2/22/1990	712/348	WD	I	U	01	\$100.00
5/10/1979	426/615	WD	V	Q	01	\$6,000.00
9/17/1925	16/60	WD	V	U	01	\$90.00

Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	MOBILE HME (000800)	1985	(31)	920	1408	\$9,792.00
Note: All S.F. calculations are based on exterior building dimensions.						

Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
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Return to:

Floyd R. Moodie.
2355 South Marion Street
Lake City, Florida 32025

Inst: 201712005895 Date: 03/31/2017 Time: 11:09AM
Page 1 of 1 B: 1333 P: 2252, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy Clerk Doc Stamp Deed: 0.70

Warranty Deed

Made this 23rd day of June, 2016 A.D.

By **FLOYD R. MOODIE**, an unmarried man, whose address is: 2355 South Marion Street, Lake City, Florida 32025, hereinafter called the grantor,

to **FLOYD R. MOODIE and SHARON DUNCAN**, as Joint Tenants with Right of Survivorship, whose post office address is: 2355 South Marion Street, Lake City, Florida 320554, hereinafter called the grantee:

(Whenever used herein the term "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth, that the grantor, for and in consideration of the sum of Ten Dollars, (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee, all that certain land situate in Columbia County, Florida, viz:

LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, and 10, BLOCK 3 of LAKESIDE HEIGHTS SUBDIVISION, a subdivision according to the plat thereof as recorded in Plat Book 1, page 20, of the public records of **COLUMBIA COUNTY, FLORIDA**.

Parcel ID Number: 08214-000

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2015.

In Witness Whereof, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in our presence:

Dorothy Spencer
Witness Printed Name Dorothy Spencer

Floyd R. Moodie (Seal)
FLOYD R. MOODIE
Address: 2355 South Marion Street, Lake City, Florida 32025

Sheldon D. Merritt
Witness Printed Name Sheldon D. Merritt

State of Florida
County of Columbia

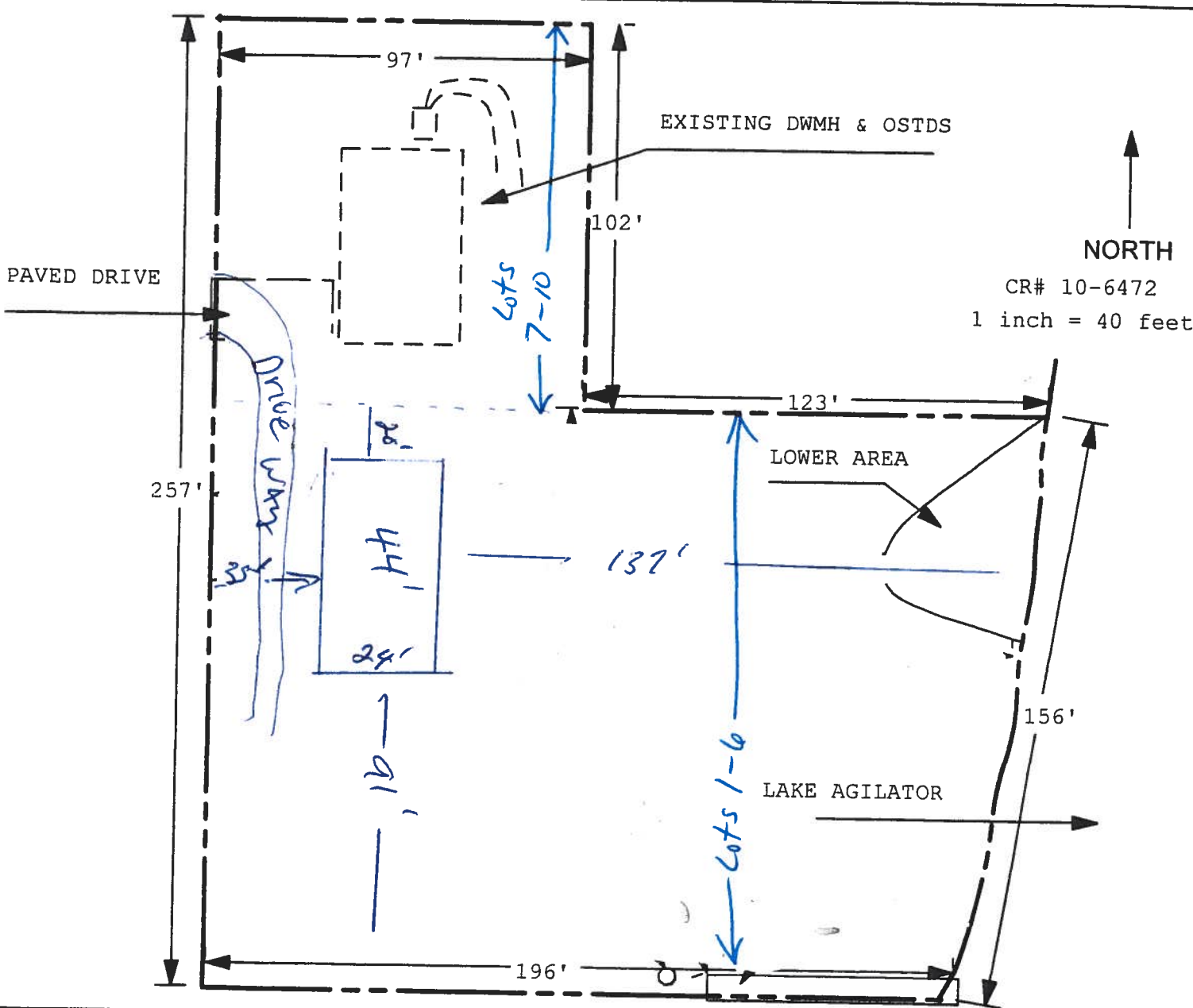
The foregoing instrument was acknowledged before me this 23rd day of June, 2016, by FLOYD R. MOODIE, who is/are personally known to me or who has produced FL DRIVER'S LICENSE as identification.

Maggie Bennett
 **MAGGIE BENNETT** Notary Public
Notary Public, State of Florida Name: Maggie Bennett
Commission# FF 213921
My comm. expires Mar. 29, 2019 Commission Expires: _____

(Site Plan Only)

Application for Onsite Sewage Disposal System Construction Permit. Part II Site Plan Permit Application Number: _____

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH UNIT



Site Plan Submitted By [Signature] Date 3/17/17
Plan Approved Not Approved Date _____

By _____ PHU

Notes: _____

City of Lake City

Customer Service

205 North Marion Avenue
Lake City, Florida 32055-3918
Telephone (386) 752-2031 / Fax (386)719-5837

July 3, 2017

This letter is to verify that the City of Lake City has water service available to, parcel 08-4S-17-08214-000.

Please note, a tap will need to be completed before access to the service is available. If you have any questions, please feel free to contact me at (386) 719-5786 during our normal business hours of 8:00 am to 4:30 pm, Monday through Friday. I will be happy to assist you.

Sincerely,



Shasta M. Pelham
Utility Service Coordinator

Cc: Jason Dumas
Customer Service Manager



STATE OF FLORIDA
DEPARTMENT OF HEALTH
ONSITE SEWAGE TREATMENT AND DISPOSAL
SYSTEM

APPLICATION FOR CONSTRUCTION PERMIT

17-0449E
CR # 10-6472

PERMIT NO: 17-0449E
DATE PAID: 3/13/17
FEE PAID: 310.55
RECEIPT #: 1235440

APPLICATION FOR:

New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary

APPLICANT: FLOYD MOODIE

AGENT: PAUL LLOYD

TELEPHONE: (386) 752-7850

MAILING ADDRESS: 2355 S. MARION ST.

LAKE CITY

FL 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 1-10 BLOCK: 3 SUBDIVISION: LAKE SIDE HEIGHTS

these lots
PLATTED: 1990

PROPERTY ID #: 08-4S17-08214-000 ZONING: RES I/M OR EQUIVALENT: NO

PROPERTY SIZE: 0.580 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? NO DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 2355 S. MARION ST. LAKE CITY

DIRECTIONS TO PROPERTY: 41 SOUTH ON LEFT BEFORE THE HIGH SCHOOL

BUILDING INFORMATION RESIDENTIAL COMMERCIAL

Unit No.	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>NEW Home</u>	<u>2</u>	<u>1104</u>	
2				
3				
4				

Floor/Equipment Drains Other (Specify)

SIGNATURE: Paul Lloyd

DATE: 3/14/17

1707-11

STATE OF FLORIDA
COUNTY OF COLUMBIA

LAND OWNER AFFIDAVIT

This is to certify that I (We), Sharon DUNCAN
FLOYD R MOODIE

as the owner of the below described property:

Property tax Parcel ID number 08-45-17-08214-000

Subdivision (Name, lot, Block, Phase) LAKE SIDE HEIGHTS

Give my permission for TIMMY JOHN SEN to place a

Circle one - Mobile Home Travel Trailer Utility Pole Only Single Family Home
Barn Shed Garage Culvert Other

I (We) understand that the named person(s) above will be allowed to receive a building permit on the property number I (we) have listed above and this could result in an assessment for solid waste and fire protection services levied on this property.

Floyd R Moodie 7-24-17
Owner Signature Date

Sharon Duncan 7-24-17
Owner Signature Date

Owner Signature Date

Sworn to and subscribed before me this 24th day of July, 2017. This

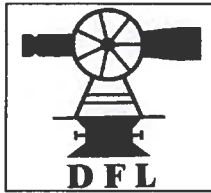
(These) person(s) are personally known to me or produced ID FSL

M. Bennett
Notary Public Signature



Notary Stamp

35609



Donald F. Lee & Associates, Inc.

LAND SURVEYORS • ENGINEERS

140 NW Ridgewood Avenue
Lake City, Florida 32055
PH 386-755-6166 FAX 386-755-6167
email: donald@dfa.com
website: www.dfa.com

- Highway & Route Surveys
- Topographic Surveys
- Land & Subdivision Surveys
- Control Surveying
- Civil Engineering



Since 1984

DATE: Friday, October 20, 2017

TO: Columbia County Building Department

FROM: Tim Delbene – Donald F. Lee & Associates

CC: Floyd Moodie

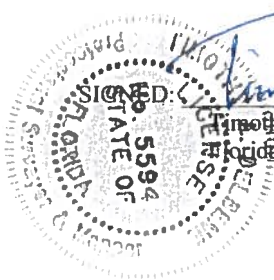
RE: Floor Elevation – Lots 1-10, Block 3 Lakeside Heights Subdivision

This is to certify that an elevation was obtained on the finished floor for a dwelling constructed on the above referenced lands. The results are as follows:

TOP OF STEMWALL: 109.74 feet

DATUM: NAVD 1988

The elevation was projected from a Benchmark set by the Florida Department of Transportation for Marion Avenue.



Timothy A. Delbene, PSM
Florida Regl Cert. No. LS 5594

Mark Disosway, P.E.
POB 868, Lake City, FL 32056, Ph 386-754-5419, Fax 386-269-4871

6/20/17

Building and Zoning, Columbia County, Florida

Re: Hometown Homes, 2355 S MARION AVE, Lake City, FL, Lake City, FL, Columbia County, FL, 08-4S-17-08214-000

Dear Building Inspector:

The planned elevation of the finished floor, on a monolithic slab foundation is less than one foot above the elevation of the county road, S MARION AVE, at a point immediately in front of the house.

Based on topo maps, FEMA Flood Insurance Rate Map, and visual inspection the proposed finished floor elevation is at an adequate elevation to avoid flooding.

Flood Zone of Home Site: Zone AH 103.5'; Based on the FEMA rate map, attached.

Home Site Planned Elevation: about 106' fill; per Jimmy Johnson.

Zone A flood zone: Planned slab elevation is about 3' above adjacent Zone AH elevation.

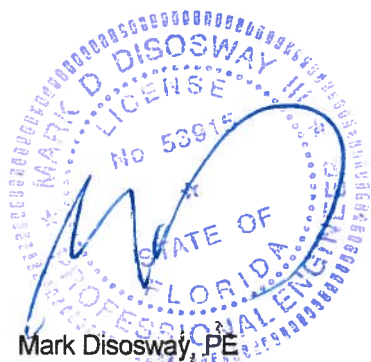
Proposed Finished Floor Elevation: about 106.5'; per Jimmy Johnson.

Observations:

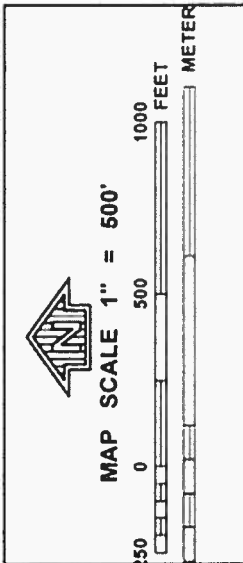
Grading: The finished floor elevation must be minimum 6" above finished grade per 5th Edition FBC. The finished grade must slope down from that elevation for 6" minimum within 10 feet away from the house in all directions so that all runoff drains away from the house. From that level the lot should be graded with swales, slopes, and ditches continuously downward toward the lake. The owner must maintain the swales, slopes, culverts, and ditch to provide free drainage to the creek and prevent any possibility of storm water backing up into the house.

The owner should be aware that if free drainage is not maintained thru fields and across roads and thru culverts to the river, or if future development in the area causes increased storm water runoff, or if rainfall occurs with greater flooding effect than the design storm, the flood level could rise higher than anticipated and his house would be more susceptible to flooding.

Sincerely,



Mark Disosway, PE
20 Jun 2017



NFIP NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0292C

FIRM
 FLOOD INSURANCE RATE MAP
 COLUMBIA COUNTY,
 FLORIDA
 AND INCORPORATED AREAS

PANEL 292 OF 552
 (SEE MAP INDEX FOR FIRM PANEL LAYOUT)

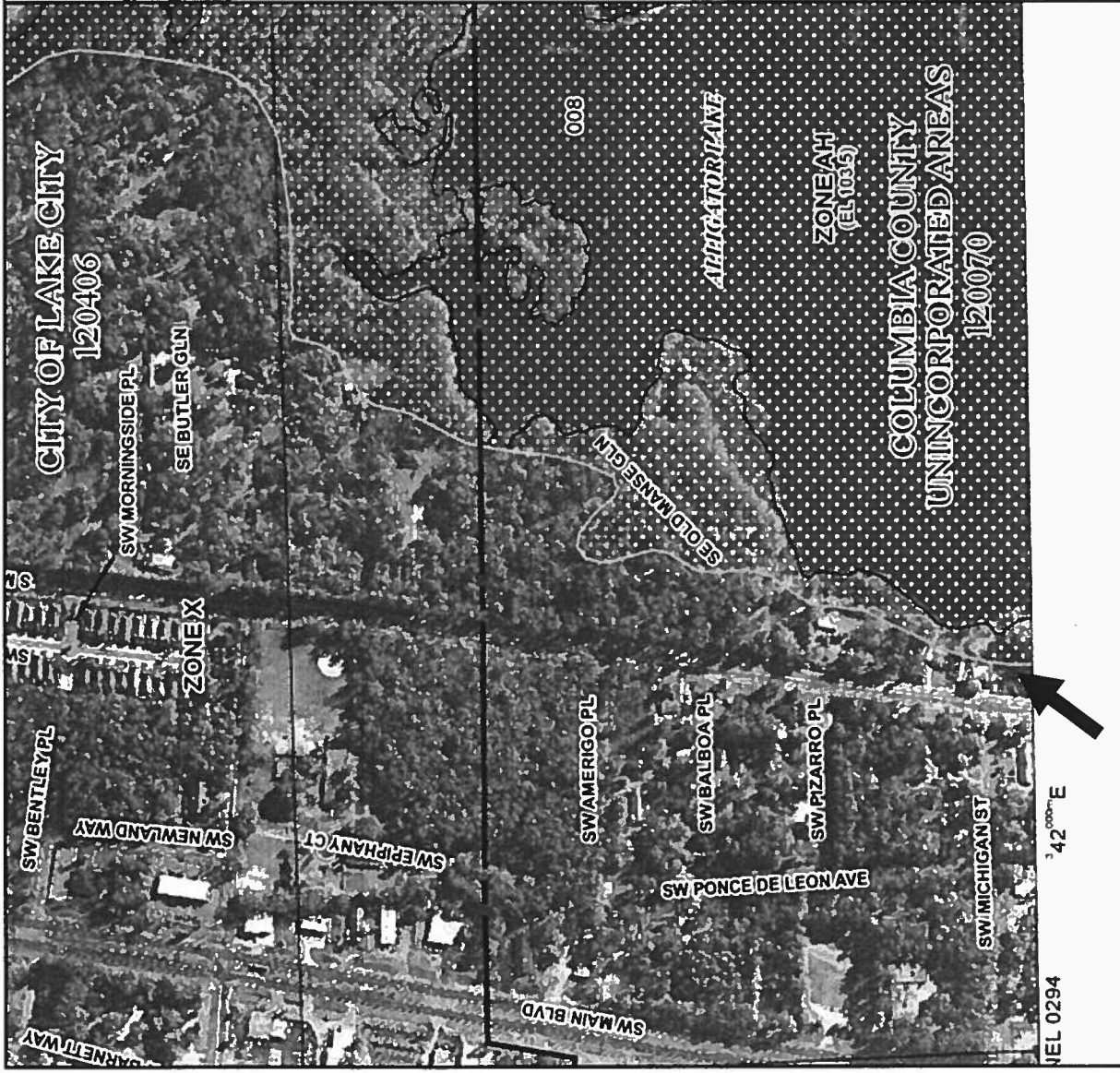
CONTAINS:
 COMMUNITY: COLUMBIA COUNTY
 MAPSHEET: PANEL 0292C

Circle to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on invoice applications for the subject community.

SEAL OF THE STATE OF FLORIDA

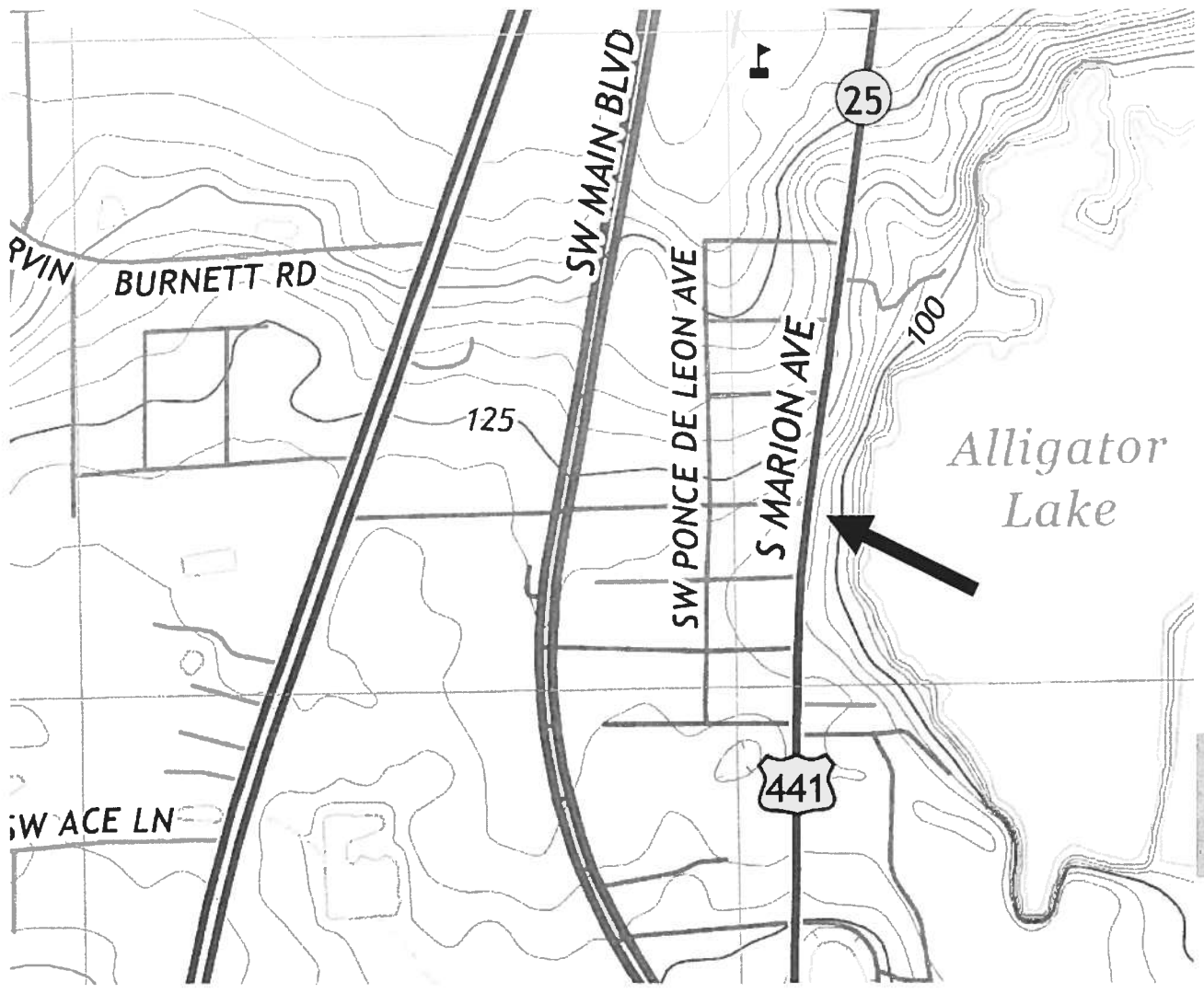
MAP NUMBER: 12023C0292C
 EFFECTIVE DATE: FEBRUARY 4, 2009
 Federal Emergency Management Agency

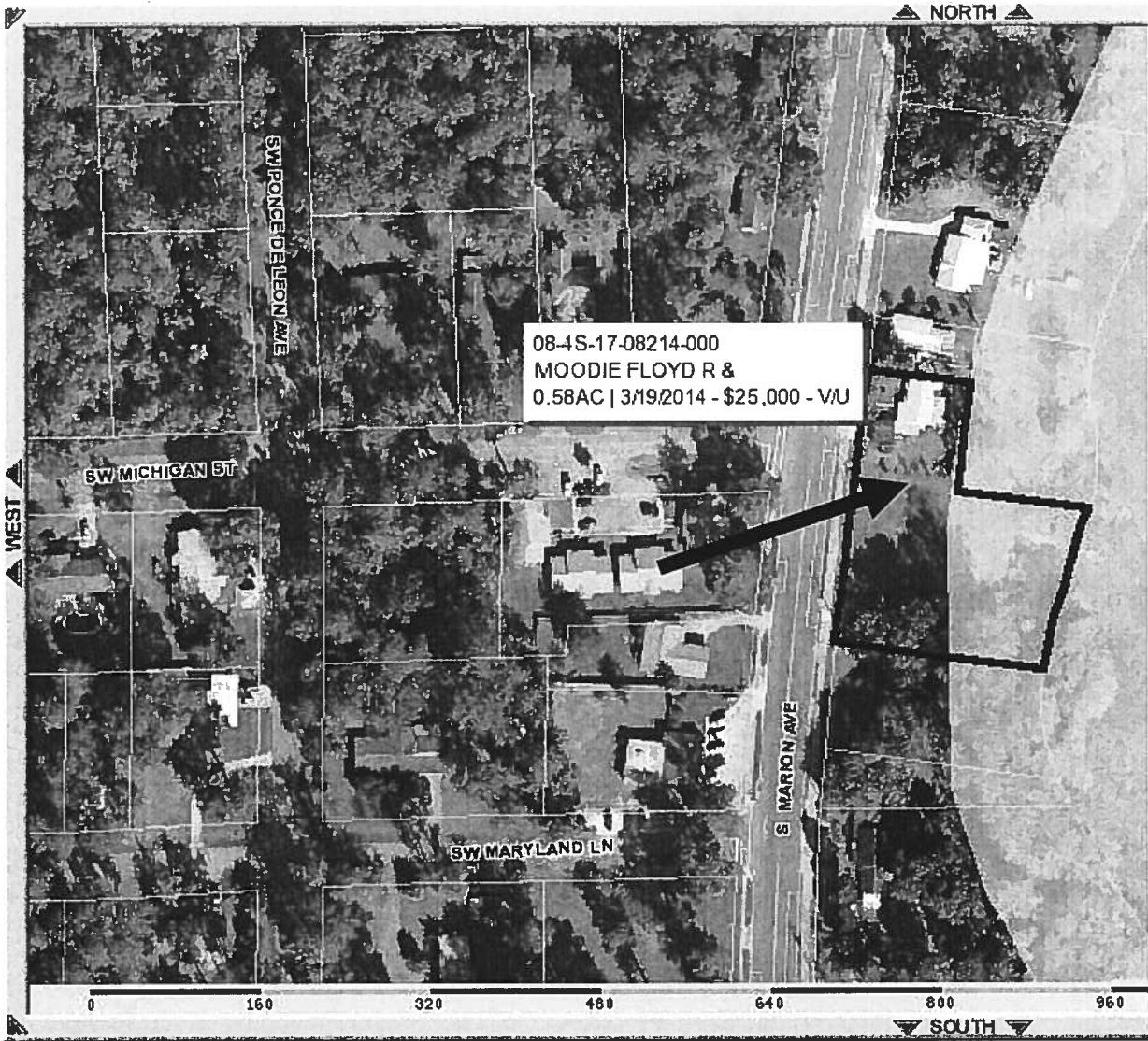
This is an official copy of a portion of the above referenced flood map. It is not to be used for any other purpose. The user assumes all liability for any errors or omissions which may have been made subsequent to the date of the title block. For the latest product information about National Flood Insurance Program flood maps, check the FEMA Flood Map Store at www.fema.gov.



3 42' E

JEL 0294





OK T.C.



COLUMBIA COUNTY BUILDING DEPARTMENT

Blower Door Test Results Form

Date: 11-1-17

Permit Number: 000035609

Job Address: 2379 S MARION AVE, LAKE CITY, FL 32025

AIR INFILTRATION TEST RESULTS	
CFM (50) =	<u>697</u>
Volume =	<u>8448</u>
ACH (50) = CFM (50) X 60 / Volume =	<u>4.95</u>
<input checked="" type="checkbox"/>	PASS
<input type="checkbox"/>	FAIL

CERTIFICATION OF TEST RESULTS

R402.4.1.2 Testing. The Building or dwelling unit shall be tested and verified as having as air leakage rate of not exceeding 7 air changes per hour in Climate Zones 1 and 2, and 3 air changes per hour in Climate Zones 3 through 8. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Testing shall be conducted by either individuals as defined in Section 553.993(5) or (7), Florida Statutes or individuals licensed as set forth in Section 489.105(3)(f), (g), or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

I hereby certify that the above Air Infiltration Test results demonstrate compliance with Florida Energy Code requirements in accordance with the 5th Edition 2014 Florida Building Code-Energy Conservation R402.4.1.2.

Testing Company Name: TC Testing Service LLC

Tester Name: Tanya C. Sikes Lic./Cert.#: 5059953

Tester Signature: Tanya C. Sikes

RESIDENTIAL ENERGY CONSERVATION CODE DOCUMENTATION CHECKLIST

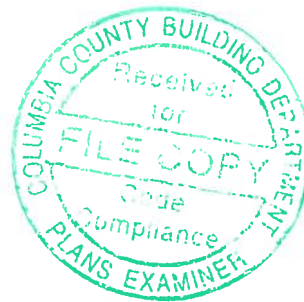
Florida Department of Business and Professional Regulation Simulated Performance Alternative (Performance) Method

Applications for compliance with the 2014 Florida Building Code, Energy Conservation via the residential Simulated Performance method shall include

- This checklist
- A Form R405 report that documents that the Proposed Design complies with Section R405.3 of the Florida Energy Code. This form shall include a summary page indicating home address, e-ratio and the pass or fail status along with summary areas and types of components, whether the home was simulated as a worst-case orientation, name and version of the compliance software tool, name of individual completing the compliance report (1 page) and an input summary checklist that can be used for field verification (usually 4 pages/may be greater).
- Energy Performance Level (EPL) Display Card (one page)
- Mandatory Requirements(three pages)

Required prior to CO for the Performance Method:

- Air Barrier and Insulation Inspection Component Criteria checklist (Table R402.4.1.1 - one page)
- A completed Envelope Leakage Test Report(usually one page)
- If Form R405 duct leakage type indicates anything other than "default leakage", then a completed Form R405 Duct Leakage Test Report (usually one page)




FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Florida Department of Business and Professional Regulation - Residential Performance Method

Project Name: 170712 Moody Res Street: 2355 S Marion Ave City, State, Zip: Lake City, FL, 32025 Owner: Moody Res Design Location: FL, Gainesville	Builder Name: Hometown Homes Permit Office: Permit Number: Jurisdiction: County: Columbia (Florida Climate Zone 2)
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<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:30%;">1. New construction or existing</td> <td style="width:30%;">New (From Plans)</td> <td style="width:40%;"></td> </tr> <tr> <td>2. Single family or multiple family</td> <td>Single-family</td> <td></td> </tr> <tr> <td>3. Number of units, if multiple family</td> <td>1</td> <td></td> </tr> <tr> <td>4. Number of Bedrooms</td> <td>2</td> <td></td> </tr> <tr> <td>5. Is this a worst case?</td> <td>No</td> <td></td> </tr> <tr> <td>6. Conditioned floor area above grade (ft²)</td> <td>1056</td> <td></td> </tr> <tr> <td> Conditioned floor area below grade (ft²)</td> <td>0</td> <td></td> </tr> <tr> <td>7. Windows(90.0 sqft.)</td> <td>Description</td> <td>Area</td> </tr> <tr> <td> a. U-Factor:</td> <td>DbI, U=0.35</td> <td>90.00 ft²</td> </tr> <tr> <td> SHGC:</td> <td>SHGC=0.25</td> <td></td> </tr> <tr> <td> b. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td> SHGC:</td> <td></td> <td></td> </tr> <tr> <td> c. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td> SHGC:</td> <td></td> <td></td> </tr> <tr> <td> d. U-Factor:</td> <td>N/A</td> <td>ft²</td> </tr> <tr> <td> SHGC:</td> <td></td> <td></td> </tr> <tr> <td> Area Weighted Average Overhang Depth:</td> <td>2.000 ft.</td> <td></td> </tr> <tr> <td> Area Weighted Average SHGC:</td> <td>0.250</td> <td></td> </tr> <tr> <td>8. Floor Types (1056.0 sqft.)</td> <td>Insulation</td> <td>Area</td> </tr> <tr> <td> a. Slab-On-Grade Edge Insulation</td> <td>R=0.0</td> <td>1056.00 ft²</td> </tr> <tr> <td> b. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td> c. N/A</td> <td>R=</td> <td>ft²</td> </tr> </table>	1. New construction or existing	New (From Plans)		2. Single family or multiple family	Single-family		3. Number of units, if multiple family	1		4. Number of Bedrooms	2		5. Is this a worst case?	No		6. Conditioned floor area above grade (ft ²)	1056		Conditioned floor area below grade (ft ²)	0		7. Windows(90.0 sqft.)	Description	Area	a. U-Factor:	DbI, U=0.35	90.00 ft ²	SHGC:	SHGC=0.25		b. U-Factor:	N/A	ft ²	SHGC:			c. U-Factor:	N/A	ft ²	SHGC:			d. U-Factor:	N/A	ft ²	SHGC:			Area Weighted Average Overhang Depth:	2.000 ft.		Area Weighted Average SHGC:	0.250		8. Floor Types (1056.0 sqft.)	Insulation	Area	a. Slab-On-Grade Edge Insulation	R=0.0	1056.00 ft ²	b. N/A	R=	ft ²	c. N/A	R=	ft ²	<table style="width:100%; border-collapse: collapse;"> <tr> <td style="width:30%;">9. Wall Types (1088.0 sqft.)</td> <td style="width:30%;">Insulation</td> <td style="width:40%;">Area</td> </tr> <tr> <td> a. Frame - Wood, Exterior</td> <td>R=13.0</td> <td>1088.00 ft²</td> </tr> <tr> <td> b. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td> c. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td> d. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>10. Ceiling Types (1056.0 sqft.)</td> <td>Insulation</td> <td>Area</td> </tr> <tr> <td> a. Under Attic (Vented)</td> <td>R=38.0</td> <td>1056.00 ft²</td> </tr> <tr> <td> b. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td> c. N/A</td> <td>R=</td> <td>ft²</td> </tr> <tr> <td>11. Ducts</td> <td></td> <td>R ft²</td> </tr> <tr> <td> a. Sup: Attic, Ret: Main, AH: Main</td> <td></td> <td>6 211.2</td> </tr> <tr> <td>12. Cooling systems</td> <td>kBtu/hr</td> <td>Efficiency</td> </tr> <tr> <td> a. Central Unit</td> <td>21.0</td> <td>SEER:15.00</td> </tr> <tr> <td>13. Heating systems</td> <td>kBtu/hr</td> <td>Efficiency</td> </tr> <tr> <td> a. Electric Heat Pump</td> <td>21.0</td> <td>HSPF:8.80</td> </tr> <tr> <td>14. Hot water systems</td> <td></td> <td>Cap: 40 gallons</td> </tr> <tr> <td> a. Electric</td> <td></td> <td>EF: 0.950</td> </tr> <tr> <td> b. Conservation features</td> <td></td> <td>None</td> </tr> <tr> <td>15. Credits</td> <td></td> <td>Pstat</td> </tr> </table>	9. Wall Types (1088.0 sqft.)	Insulation	Area	a. Frame - Wood, Exterior	R=13.0	1088.00 ft ²	b. N/A	R=	ft ²	c. N/A	R=	ft ²	d. N/A	R=	ft ²	10. Ceiling Types (1056.0 sqft.)	Insulation	Area	a. Under Attic (Vented)	R=38.0	1056.00 ft ²	b. N/A	R=	ft ²	c. N/A	R=	ft ²	11. Ducts		R ft ²	a. Sup: Attic, Ret: Main, AH: Main		6 211.2	12. Cooling systems	kBtu/hr	Efficiency	a. Central Unit	21.0	SEER:15.00	13. Heating systems	kBtu/hr	Efficiency	a. Electric Heat Pump	21.0	HSPF:8.80	14. Hot water systems		Cap: 40 gallons	a. Electric		EF: 0.950	b. Conservation features		None	15. Credits		Pstat
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Glass/Floor Area: 0.085	Total Proposed Modified Loads: 31.43 Total Baseline Loads: 31.62	PASS
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<p>I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.</p> <p>PREPARED BY: <u>Evan Beamsley</u> DATE: <u>2017-06-30</u></p> <p>I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.</p> <p>OWNER/AGENT: _____ DATE: _____</p>	<p>Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.</p> <div style="text-align: center;">  </div> <p>BUILDING OFFICIAL: _____ DATE: _____</p>
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- Compliance requires certification by the air handler unit manufacturer that the air handler enclosure qualifies as certified factory-sealed in accordance with R403.2.2.1.
- Compliance requires an Air Barrier and Insulation Inspection Checklist in accordance with R402.4.1.1 and an envelope leakage test report in accordance with R402.4.1.2.

PROJECT

Title:	170712 Moody Res	Bedrooms:	2	Address Type:	Street Address
Building Type:	User	Conditioned Area:	1056	Lot #	
Owner:	Moody Res	Total Stories:	1	Block/SubDivision:	
# of Units:	1	Worst Case:	No	PlatBook:	
Builder Name:	Hometown Homes	Rotate Angle:	135	Street:	2355 S Marion Ave
Permit Office:		Cross Ventilation:		County:	Columbia
Jurisdiction:		Whole House Fan:		City, State, Zip:	Lake City , FL , 32025
Family Type:	Single-family				
New/Existing:	New (From Plans)				
Comment:					

CLIMATE

✓	Design Location	TMY Site	IECC Zone	Design Temp 97.5 %	Design Temp 2.5 %	Int Design Temp Winter	Int Design Temp Summer	Heating Degree Days	Design Moisture	Daily Temp Range
_____	FL, Gainesville	FL_GAINESVILLE_REGI	2	32	92	70	75	1305.5	51	Medium

BLOCKS

Number	Name	Area	Volume
1	Block1	1056	8448

SPACES

Number	Name	Area	Volume	Kitchen	Occupants	Bedrooms	Infil ID	Finished	Cooled	Heated
1	Main	1056	8448	Yes	4	2	1	Yes	Yes	Yes

FLOORS

✓	#	Floor Type	Space	Perimeter	R-Value	Area	Tile	Wood	Carpet	
_____	1	Slab-On-Grade Edge Insulatio	Main	136 ft	0	1056 ft²	---	0.3	0.3	0.4

ROOF

✓	#	Type	Materials	Roof Area	Gable Area	Roof Color	Solar Absor.	SA Tested	Emitt	Emitt Tested	Deck Insul.	Pitch (deg)
_____	1	Gable or shed	Composition shingles	1144 ft²	220 ft²	Dark	0.92	No	0.9	No	0	22.6

ATTIC

✓	#	Type	Ventilation	Vent Ratio (1 in)	Area	RBS	IRCC
_____	1	Full attic	Vented	300	1056 ft²	N	N

CEILING

✓	#	Ceiling Type	Space	R-Value	Ins Type	Area	Framing Frac	Truss Type
_____	1	Under Attic (Vented)	Main	38	Blown	1056 ft²	0.11	Wood

WALLS

✓ #	Ornt	Adjacent To	Wall Type	Space	Cavity R-Value	Width Ft	In	Height Ft	In	Area	Sheathing R-Value	Framing Fraction	Solar Absor	Below Grade%
1	N=>SE	Exterior	Frame - Wood	Main	13	44	0	8		352.0 ft²		0.23	0.75	0
2	E=>SW	Exterior	Frame - Wood	Main	13	24		8		192.0 ft²		0.23	0.75	0
3	S=>NW	Exterior	Frame - Wood	Main	13	44	0	8		352.0 ft²		0.23	0.75	0
4	W=>NE	Exterior	Frame - Wood	Main	13	24		8		192.0 ft²		0.23	0.75	0

DOORS

✓ #	Ornt	Door Type	Space	Storms	U-Value	Width Ft	In	Height Ft	In	Area
1	N=>SE	Insulated	Main	None	.4	3		6	8	20 ft²
2	S=>NW	Insulated	Main	None	.4	3		6	8	20 ft²

WINDOWS

Orientation shown is the entered orientation (=>) changed to As Built (rotated 135 degrees).

✓ #	Ornt	Wall ID	Frame	Panes	NFRC	U-Factor	SHGC	Area	Overhang Depth	Separation	Int Shade	Screening
1	N=>SE	1	Metal	Low-E Double	Yes	0.35	0.25	45.0 ft²	2 ft 0 in	0 ft 6 in	None	None
2	S=>NW	3	Metal	Low-E Double	Yes	0.35	0.25	45.0 ft²	2 ft 0 in	0 ft 6 in	None	None

INFILTRATION

#	Scope	Method	SLA	CFM 50	ELA	EqLA	ACH	ACH 50
1	Wholehouse	Proposed ACH(50)	.000356	985.6	54.11	101.76	.274	7

HEATING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Block	Ducts
1	Electric Heat Pump	None	HSPF:8.8	21 kBtu/hr	1	sys#1

COOLING SYSTEM

✓ #	System Type	Subtype	Efficiency	Capacity	Air Flow	SHR	Block	Ducts
1	Central Unit	None	SEER: 15	21 kBtu/hr	630 cfm	0.75	1	sys#1

HOT WATER SYSTEM

✓ #	System Type	SubType	Location	EF	Cap	Use	SetPnt	Conservation
1	Electric	None	Main	0.95	40 gal	50 gal	120 deg	None

SOLAR HOT WATER SYSTEM

✓ FSEC Cert #	Company Name	System Model #	Collector Model #	Collector Area	Storage Volume	FEF
None	None			ft²		

DUCTS

✓	#	— Supply —		— Return —		Leakage Type	Air Handler	CFM 25 TOT	CFM25 OUT	QN	RLF	HVAC #	
		Location	R-Value Area	Location	Area							Heat	Cool
	1	Attic	6 211.2 ft	Main	1 ft²	Default Leakage	Main	(Default)	(Default)			1	1

TEMPERATURES

Programable Thermostat: Y

Ceiling Fans:

Cooling	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input checked="" type="checkbox"/> Jun	<input checked="" type="checkbox"/> Jul	<input checked="" type="checkbox"/> Aug	<input checked="" type="checkbox"/> Sep	<input type="checkbox"/> Oct	<input type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec
Heating	<input checked="" type="checkbox"/> Jan	<input checked="" type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input checked="" type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input checked="" type="checkbox"/> Nov	<input type="checkbox"/> Dec
Venting	<input checked="" type="checkbox"/> Jan	<input type="checkbox"/> Feb	<input checked="" type="checkbox"/> Mar	<input type="checkbox"/> Apr	<input type="checkbox"/> May	<input type="checkbox"/> Jun	<input type="checkbox"/> Jul	<input type="checkbox"/> Aug	<input type="checkbox"/> Sep	<input checked="" type="checkbox"/> Oct	<input type="checkbox"/> Nov	<input checked="" type="checkbox"/> Dec

Thermostat Schedule:	HERS 2006 Reference											
Schedule Type	Hours											
	1	2	3	4	5	6	7	8	9	10	11	12
Cooling (WD)	AM 78	78	78	78	78	78	78	78	80	80	80	80
	PM 80	80	78	78	78	78	78	78	78	78	78	78
Cooling (WEH)	AM 78	78	78	78	78	78	78	78	78	78	78	78
	PM 78	78	78	78	78	78	78	78	78	78	78	78
Heating (WD)	AM 66	66	66	66	66	68	68	68	68	68	68	68
	PM 68	68	68	68	68	68	68	68	68	68	68	66
Heating (WEH)	AM 66	66	66	66	66	68	68	68	68	68	68	68
	PM 68	68	68	68	68	68	68	68	68	68	68	66

ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

ESTIMATED ENERGY PERFORMANCE INDEX* = 99

The lower the EnergyPerformance Index, the more efficient the home.

2355 S Marion Ave, Lake City, FL, 32025

<p>1. New construction or existing 2. Single family or multiple family 3. Number of units, if multiple family 4. Number of Bedrooms 5. Is this a worst case? 6. Conditioned floor area (ft²)</p>	<p>New (From Plans) Single-family 1 2 No 1056</p>	<p>9. Wall Types a. Frame - Wood, Exterior b. N/A c. N/A d. N/A</p>	<p>Insulation Area R=13.0 1088.00 ft² R= ft² R= ft² R= ft²</p>																																								
<p>7. Windows**</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 15%;">a. U-Factor:</td> <td style="width: 45%;">Dbl, U=0.35</td> <td style="width: 15%;">Area</td> <td style="width: 25%;">90.00 ft²</td> </tr> <tr> <td>SHGC:</td> <td>SHGC=0.25</td> <td></td> <td></td> </tr> <tr> <td>b. U-Factor:</td> <td>N/A</td> <td>ft²</td> <td></td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> <td></td> </tr> <tr> <td>c. U-Factor:</td> <td>N/A</td> <td>ft²</td> <td></td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> <td></td> </tr> <tr> <td>d. U-Factor:</td> <td>N/A</td> <td>ft²</td> <td></td> </tr> <tr> <td>SHGC:</td> <td></td> <td></td> <td></td> </tr> <tr> <td colspan="2">Area Weighted Average Overhang Depth:</td> <td>2.000 ft.</td> <td></td> </tr> <tr> <td colspan="2">Area Weighted Average SHGC:</td> <td>0.250</td> <td></td> </tr> </table>	a. U-Factor:	Dbl, U=0.35	Area	90.00 ft ²	SHGC:	SHGC=0.25			b. U-Factor:	N/A	ft ²		SHGC:				c. U-Factor:	N/A	ft ²		SHGC:				d. U-Factor:	N/A	ft ²		SHGC:				Area Weighted Average Overhang Depth:		2.000 ft.		Area Weighted Average SHGC:		0.250		<p>10. Ceiling Types a. Under Attic (Vented) b. N/A c. N/A</p>	<p>Insulation Area R=38.0 1056.00 ft² R= ft² R= ft²</p>	<p>11. Ducts a. Sup: Attic, Ret: Main, AH: Main R ft² 6 211.2</p>
a. U-Factor:	Dbl, U=0.35	Area	90.00 ft ²																																								
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SHGC:																																											
Area Weighted Average Overhang Depth:		2.000 ft.																																									
Area Weighted Average SHGC:		0.250																																									
<p>8. Floor Types</p> <table border="0" style="width: 100%;"> <tr> <td style="width: 15%;">a. Slab-On-Grade Edge Insulation</td> <td style="width: 45%;">R=0.0</td> <td style="width: 15%;">Area</td> <td style="width: 25%;">1056.00 ft²</td> </tr> <tr> <td>b. N/A</td> <td>R=</td> <td>ft²</td> <td></td> </tr> <tr> <td>c. N/A</td> <td>R=</td> <td>ft²</td> <td></td> </tr> </table>	a. Slab-On-Grade Edge Insulation	R=0.0	Area	1056.00 ft ²	b. N/A	R=	ft ²		c. N/A	R=	ft ²		<p>12. Cooling systems a. Central Unit kBTu/hr Efficiency 21.0 SEER:15.00</p>	<p>13. Heating systems a. Electric Heat Pump kBTu/hr Efficiency 21.0 HSPF:8.80</p>	<p>14. Hot water systems a. Electric Cap: 40 gallons EF: 0.95</p>																												
a. Slab-On-Grade Edge Insulation	R=0.0	Area	1056.00 ft ²																																								
b. N/A	R=	ft ²																																									
c. N/A	R=	ft ²																																									
		<p>15. Credits Pstat</p>																																									

I certify that this home has complied with the Florida Energy Efficiency Code for Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____ Date: _____

Address of New Home: _____ City/FL Zip: _____



*Note: This is not a Building Energy Rating. If your Index is below 70, your home may qualify for energy efficient mortgage (EEM) incentives if you obtain a Florida EnergyGauge Rating. Contact the EnergyGauge Hotline at (321) 638-1492 or see the EnergyGauge web site at energygauge.com for information and a list of certified Raters. For information about the Florida Building Code, Energy Conservation, contact the Florida Building Commission's support staff.

**Label required by Section R303.1.3 of the Florida Building Code, Energy Conservation, if not DEFAULT.

Florida Department of Business and Professional Regulations Residential Whole Building Performance and Prescriptive Methods

ADDRESS: 2355 S Marion Ave
Lake City, FL, 32025

Permit Number:

MANDATORY REQUIREMENTS See individual code sections for full details.

- 401.3 Energy Performance Level (EPL) display card (Mandatory).** The building official shall require that an energy performance level (EPL) display card be completed and certified by the builder to be accurate and correct before final approval of the building for occupancy. Florida law [Section 553.9085, Florida Statutes] requires the EPL display card to be included as an addendum to each sales contract for both presold and nonpresold residential buildings. The EPL display card contains information indicating the energy performance level and efficiencies of components installed in a dwelling unit. The building official shall verify that the EPL display card completed and signed by the builder accurately reflects the plans and specifications submitted to demonstrate compliance for the building. A copy of the EPL display card can be found in Appendix C.
- R402.4 Air leakage (Mandatory).** The building thermal envelope shall be constructed to limit air leakage in accordance with the requirements of Sections R402.1 through R402.4.4.
 - R402.4.1 Building thermal envelope.** The building thermal envelope shall comply with Sections R402.4.1.1 and R402.4.1.2. The sealing methods between dissimilar materials shall allow for differential expansion and contraction.
 - **R402.4.1.1 Installation.** The components of the building thermal envelope as listed in Table R402.4.1.1 shall be installed in accordance with the manufacturer's instructions and the criteria listed in Table 402.4.1.1, as applicable to the method of construction. Where required by the code official, an approved third party shall inspect all components and verify compliance.
 - **R402.4.1.2 Testing.** The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour in Climate Zones 1 and 2, and 3 air changes per hour in Climate Zones 3 through 8. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

During testing:

 1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures;
 2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures;
 3. Interior doors, if installed at the time of the test, shall be open;
 4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed;
 5. Heating and cooling systems, if installed at the time of the test, shall be turned off; and
 6. Supply and return registers, if installed at the time of the test, shall be fully open.
 - R402.4.2 Fireplaces.** New wood-burning fireplaces shall have tight-fitting flue dampers and outdoor combustion air.
 - R402.4.3 Fenestration air leakage** Windows, skylights and sliding glass doors shall have an air infiltration rate of no more than 0.3 cfm per square foot (1.5 L/s/m²), and swinging doors no more than 0.5 cfm per square foot (2.6 L/s/m²), when tested according to NFRC 400 or AAMA/WDMA/CSA 101/I.S.2/A440 by an accredited, independent laboratory and listed and labeled by the manufacturer.
Exception: Site-built windows, skylights and doors.
 - R402.4.4 Recessed lighting.** Recessed luminaires installed in the building thermal envelope shall be sealed to limit air leakage between conditioned and unconditioned spaces. All recessed luminaires shall be IC-rated and labeled as having an air leakage rate not more than 2.0 cfm (0.944 L/s) when tested in accordance with ASTM E 283 at a 1.57 psf (75 Pa) pressure differential. All recessed luminaires shall be sealed with a gasket or caulk between the housing and the interior wall or ceiling covering.
- R403.1.1 Thermostat provision (Mandatory).** At least one thermostat shall be provided for each separate heating and cooling system.
- R403.1.3 Heat pump supplementary heat (Mandatory).** Heat pumps having supplementary electric-resistance heat shall have controls that, except during defrost, prevent supplemental heat operation when the heat pump compressor can meet the heating load.
- R403.2.2 Sealing (Mandatory)** All ducts, air handlers, and filter boxes and building cavities that form the primary air containment passageways for air distribution systems shall be considered ducts and plenum chambers, shall be constructed and sealed in accordance with Section C403.2.7.2 of the Commercial Provisions of this code and shall be shown to meet duct tightness criteria by post-construction or rough-in testing below.

Duct tightness shall be verified by testing to Section 803 of the RESNET Standards by either an energy rater certified in accordance with Section 553.99, Florida Statutes, or as authorized by Florida Statutes, to be "substantially leak free" by either of the following:

 1. Post-construction test: Total leakage shall be less than or equal to 4 cfm (113 L/min) per 100 square feet (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25 Pa) across the entire system, including the manufacturer's air handler enclosure. All register boots shall be taped or otherwise sealed during the test.
 2. Rough-in test: Total leakage shall be less than or equal to 4 cfm (113 L/min) per 100 square feet (9.29 m²) of conditioned floor area when tested at a pressure differential of 0.1 inches w.g. (25Pa) across the system, including the manufacturer's air handler enclosure. All registers shall be taped or otherwise sealed during the test. If the air handler is not installed at the time of the test, total leakage shall be less than or equal to 3 cfm (85 L/min) per 100 square feet (9.29 m²) of conditioned floor area.

Exceptions:

 1. The total leakage test is not required for ducts and air handlers located entirely within the building envelope.
 2. Duct testing is not mandatory for buildings complying by Section R405 of this code.

MANDATORY REQUIREMENTS - (Continued)

- R403.2.3 Building Cavities (Mandatory).** Building framing cavities shall not be used as ducts or plenums.
- R403.3 Mechanical system piping insulation (Mandatory).** Mechanical system piping capable of carrying fluids above 105°F (41°C) or below 55°F (13°C) shall be insulated to a minimum of R-3.
 - R403.3.1 Protection of piping insulation.**
- R403.4.1 Circulating hot water systems (Mandatory).** Circulating hot water systems shall be provided with an automatic or readily accessible manual switch that can turn off the hot-water circulating pump when the system is not in use.
- R403.4.3 Heat traps (Mandatory).** Storage water heaters not equipped with integral heat traps and having vertical pipe risers shall have heat traps installed on both the inlets and outlets. External heat traps shall consist of either a commercially available heat trap or a downward and upward bend of at least 3 ½ inches (89 mm) in the hot water distribution line and cold water line located as close as possible to the storage tank.
- R403.4.4 Water heater efficiencies (Mandatory).**
 - R403.4.4.1 Storage water heater temperature controls**
 - **R403.4.4.1.1 Automatic controls.** Service water heating systems shall be equipped with automatic temperature controls capable of adjustment from the lowest to the highest acceptable temperature settings for the intended use. The minimum temperature setting range shall be from 100°F to 140°F (38°C to 60°C).
 - **R403.4.4.1.2 Shut down.** A separate switch or a clearly marked circuit breaker shall be provided to permit the power supplied to electric service systems to be turned off. A separate valve shall be provided to permit the energy supplied to the main burner(s) of combustion types of service water heating systems to be turned off.
 - R403.4.4.2 Water heating equipment.** Water heating equipment installed in residential units shall meet the minimum efficiencies of Table C404.2 in Chapter 4 of the Florida Building Code, Energy Conservation, Commercial Provisions, for the type of equipment installed. Equipment used to provide heating functions as part of a combination system shall satisfy all stated requirements for the appropriate water heating category. Solar water heaters shall meet the criteria Section R403.4.4.2.1.
 - **R403.4.4.2.1 Solar water heating systems.** Solar systems for domestic hot water production are rated by the annual solar energy factor of the system. The solar energy factor of a system shall be determined from the Florida Solar Energy Center Directory of Certified Solar Systems. Solar collectors shall be tested in accordance with ISO Standard 9806, Test Methods for Solar Collectors, and SRCC Standard TM-1, Solar Domestic Hot Water System and Component Test Protocol. Collectors in installed solar water heating systems should meet the following criteria:
 1. Be installed with a tilt angle between 10 degrees and 40 degrees of the horizontal; and
 2. Be installed at an orientation within 45 degrees of true south.
- R403.5 Mechanical ventilation (Mandatory).** The building shall be provided with ventilation that meets the requirements of the Florida Building Code, Residential or Florida Building Code, Mechanical, as applicable, or with other approved means of ventilation. Outdoor air intakes and exhausts shall have automatic or gravity dampers that close when the ventilation system is not operating.
- R403.6 Heating and cooling equipment (Mandatory).** The following sections are mandatory for cooling and heating equipment.
 - R403.6.1 Equipment sizing.** Heating and cooling equipment shall be sized in accordance with ACCA Manual S based on the equipment loads calculated in accordance with ACCA Manual J or other approved heating and cooling calculation methodologies, based on building loads for the directional orientation of the building. The manufacturer and model number of the outdoor and indoor units (if split system) shall be submitted along with the sensible and total cooling capacities at the design conditions described in Section R302.1. This code does not allow designer safety factors, provisions for future expansion or other factors which affect equipment sizing. System sizing calculations shall not include loads created by local intermittent mechanical ventilation such as standard kitchen and bathroom exhaust systems.
 - **R403.6.1.1 Cooling equipment capacity.** Cooling only equipment shall be selected so that its total capacity is not less than the calculated total load, but not more than 1.15 times greater than the total load calculated according to the procedure selected in Section 403.6, or the closest available size provided by the manufacturer's product lines. The corresponding latent capacity of the equipment shall not be less than the calculated latent load.

MANDATORY REQUIREMENTS - (Continued)

- R403.6.1.1 Cooling equipment capacity. (continued)** The published value for AHRI total capacity is a nominal, rating-test value and shall not be used for equipment sizing. Manufacture's expanded performance data shall be used to select cooling-only equipment. This selection shall be used to select cooling-only equipment. This selection shall be based on the outdoor design dry bulb temperature for the load calculation (or entering water temperature for water-source equipment), the blower cfm provided by the expanded performance data, the design value for entering wet bulb temperature and the design value for entering dry bulb temperature.

Design values for entering wet bulb and dry bulb temperature shall be for the indoor dry bulb and relative humidity used for the load calculation and shall be adjusted for return side gains if the return duct(s) is installed in an unconditioned space.

Exceptions:

1. Attached single- and multi-family residential equipment sizing may be selected so that its cooling capacity is less than the calculated total sensible load but not less than 80 percent of that load.
2. When signed and sealed by a Florida-registered engineer, in attached single- and multi-family units, the capacity of equipment may be sized in accordance with good design practice.

- R403.6.1.2 Heating equipment capacity**

- **R403.6.1.2.1 Heat pumps.** Heat pumps sizing shall be based on the cooling requirements as calculated according to Section R403.6.1.1 and the heat pump total cooling capacity shall not be more than 1.15 times greater than the design cooling load.
- **R403.6.1.2.2 Electric resistance furnaces.** Electric resistance furnaces shall be sized within 4 kW of the design requirements calculated according to the procedure selected in Section R403.6.1.
- **R403.6.1.2.3 Fossil fuel heating equipment.** The capacity of fossil fuel heating equipment with natural draft atmospheric burners shall not be less than the design load calculated in accordance with Section R403.6.1.

- R403.6.1.3 Extra capacity required for special occasions.** Residences requiring excess cooling or heating equipment capacity on an intermittent basis, such as anticipated additional loads caused by major entertainment events, shall have equipment sized or controlled to prevent continuous space cooling or heating within that space by one or more of the following options:

1. A separate cooling or heating system is utilized to provide cooling or heating to the major entertainment areas.
2. A variable capacity system sized for optimum performance during base load periods is utilized.

- R403.7 Systems serving multiple dwelling units (Mandatory).** Systems serving multiple dwelling units shall comply with Sections C403 and C404 of the Commercial Provisions in lieu of Section R403.

- R403.8 Snow melt system controls (Mandatory).** Snow and ice-melting systems, supplied through energy service to the building, shall include automatic controls capable of shutting off the system when the pavement temperature is above 55°F, and no precipitation is falling and an automatic or manual control that will allow shutoff when the outdoor temperature is above 40°F.

- R403.9 Swimming pools, inground spas and portable spas (Mandatory).** The energy requirements for residential pools and inground spas shall be as specified in Sections R403.9.1 through R403.9.3 and in accordance with ANSI/APSP-15. The energy requirements for portable spas shall be in accordance with ANSI/APSP-14.

- R403.9.1 Pool and spa heaters.** All pool heaters shall be equipped with a readily accessible on-off switch that is mounted outside the heater to allow shutting off the heater without adjusting the thermostat setting.

- **R403.9.1.1 Gas and oil-fired pool and spa heaters.** All gas- and oil-fired pool and space heaters shall have a minimum thermal efficiency of 82 percent for heaters manufactured on or after April 16, 2013 when tested in accordance with ANSI Z 21.56. Pool heaters fired by natural gas or LP gas shall not have continuously burning pilot lights.
- **R403.9.1.2 Heat pump pool heaters.** Heat pump pool heaters shall have a minimum COP of 4.0 when tested in accordance with AHRI 1160, Table 2, Standard Rating Conditions-Low Air Temperature. A test report from an independent laboratory is required to verify procedure compliance. Geothermal swimming pool heat pumps are not required to meet this standard.

- R403.9.2 Time switches.** Time switches or other control method that can automatically turn off and on heaters and pumps according to a preset schedule shall be installed on all heaters and pumps. Heaters, pumps and motors that have built in timers shall be deemed in compliance with this equipment.

Exceptions:

- 1. Where public health standards require 24-hour pump operations.
- 2. Where pumps are required to operate solar- and waste-heat-recovery pool heating systems.
- 3. Where pumps are powered exclusively from on-site renewable generation.

- R403.9.3 Covers.** Heated swimming pools and inground permanently installed spas shall be equipped with a vapor-retardant cover on or at the water surface or a liquid cover or other means proven to reduce heat loss.

- **Exception:** Outdoor pools deriving over 70 percent of the energy for heating from site-recovered energy, such as a heat pump or solar energy source computed over an operating season.

- RR404.1 Lighting equipment (Mandatory).** A minimum of 75 percent of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or a minimum of 75 percent of permanently installed lighting fixtures shall contain only high efficacy lamps.

Exception: Low-voltage lighting shall not be required to utilize high-efficacy lamps.

- R404.1.1 Lighting equipment (Mandatory).** Fuel gas lighting systems shall not have continuously burning pilot lights

- R405.2 Performance ONLY.** All ducts not entirely inside the building thermal envelope shall be insulated to a minimum of R-6.

- R405.2.1 Performance ONLY.** Ceilings shall have minimum insulation of R-19. Where single assembly of the exposed deck and beam type or concrete deck roofs do not have sufficient space, R-10 is allowed.

TABLE 402.4.1.1

AIR BARRIER AND INSULATION INSPECTION COMPONENT CRITERIA

Project Name: 170712 Moody Res Street: 2355 S Marion Ave City, State, Zip: Lake City , FL , 32025 Owner: Moody Res Design Location: FL, Gainesville		Builder Name: Hometown Homes Permit Office: Permit Number: Jurisdiction:	
COMPONENT	CRITERIA	CHECK	
Air barrier and thermal barrier	<p>A continuous air barrier shall be installed in the building envelope.</p> <p>Exterior thermal envelope contains a continuous barrier.</p> <p>Breaks or joints in the air barrier shall be sealed.</p> <p>Air-permeable insulation shall not be used as a sealing material.</p>		
Ceiling/attic	<p>The air barrier in any dropped ceiling/soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed.</p> <p>Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.</p>		
Walls	<p>Corners and headers shall be insulated and the junction of the foundation and sill plate shall be sealed.</p> <p>The junction of the top plate and the top or exterior walls shall be sealed.</p> <p>Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.</p> <p>Knee walls shall be sealed.</p>		
Windows, skylights and doors	<p>The space between window/door jambs and framing and skylights and framing shall be sealed.</p>		
Rim joists	<p>Rim joists are insulated and include an air barrier.</p>		
Floors (including above-garage and cantilevered floors)	<p>Insulation shall be installed to maintain permanent contact with underside of subfloor decking.</p> <p>The air barrier shall be installed at any exposed edge of insulation.</p>		
Crawl space walls	<p>Where provided in lieu of floor insulation, insulation shall be permanently attached to the crawlspace walls.</p> <p>Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.</p>		
Shafts, penetrations	<p>Duct shafts, utility penetrations, and flue shaft openings to exterior or unconditioned space shall be sealed.</p>		
Narrow cavities	<p>Batts in narrow cavities shall be cut to fit, or narrow cavities shall be filled by insulation that on installation readily conforms to the available cavity spaces.</p>		
Garage separation	<p>Air sealing shall be provided between the garage and conditioned spaces.</p>		
Recessed lighting	<p>Recessed light fixtures installed in the building thermal envelope shall be air tight, IC rated, and sealed to the drywall.</p>		
Plumbing and wiring	<p>Batt insulation shall be cut neatly to fit around wiring and plumbing in exterior walls, or insulation that on installation readily conforms to available space shall extend behind piping and wiring.</p>		
Shower/tub on exterior wall	<p>Exterior walls adjacent to showers and tubs shall be insulated and the air barrier installed separating them from the showers and tubs.</p>		
Electrical/phone box on	<p>The air barrier shall be installed behind electrical or communication boxes or air sealed boxes shall be installed.</p>		
HVAC register boots	<p>HVAC register boots that penetrate building thermal envelope shall be sealed to the sub-floor or drywall.</p>		
Fireplace	<p>An air barrier shall be installed on fireplace walls. Fireplaces shall have gasketed doors</p>		

FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

Envelope Leakage Test Report Prescriptive and Performance Method

Project Name: 170712 Moody Res Street: 2355 S Marion Ave City, State, Zip: Lake City, FL, 32025 Design Location: FL, Gainesville Cond. Floor Area: 1056 sq.ft.	Builder Name: Hometown Homes Permit Office: Permit Number: Jurisdiction: Cond. Volume: 8448 cu ft.
--	--

Envelope Leakage Test Results

Regression Data:

C: _____ n: _____ R: _____

Single or Multi Point Test Data

	HOUSE PRESSURE	FLOW:
1	Pa	cfm
2	Pa	cfm
3	Pa	cfm
4	Pa	cfm
5	Pa	cfm
6	Pa	cfm

Leakage Characteristics

CFM(50): _____

ELA: _____

EqLA: _____

ACH: _____

ACH(50): _____

SLA: _____

R402.4.1.2 Testing. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 5 air changes per hour in Climate Zones 1 and 2, 3 air changes per hour in Climate Zones 3 through 8. Testing shall be conducted with a blower door at a pressure of 0.2 inches w.g. (50 Pascals). Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

During testing:

1. Exterior windows and doors, fireplace and stove doors shall be closed, but not sealed, beyond the intended weatherstripping or other infiltration control measures;
2. Dampers including exhaust, intake, makeup air, backdraft and flue dampers shall be closed, but not sealed beyond intended infiltration control measures;
3. Interior doors, if installed at the time of the test, shall be open;
4. Exterior doors for continuous ventilation systems and heat recovery ventilators shall be closed and sealed;
5. Heating and cooling systems, if installed at the time of the test, shall be turned off; and
6. Supply and return registers, if installed at the time of the test, shall be fully open.

I hereby certify that the above envelope leakage performance results demonstrate compliance with Florida Energy Code requirements in accordance with Section R402.4.1.2.

SIGNATURE: _____

PRINTED NAME: _____

DATE: _____

Where required by the code official, testing shall be conducted by an approved third party. A written report of the results of the test shall be signed by the third party conducting the test and provided to the code official.



BUILDING OFFICIAL: _____

DATE: _____

Residential System Sizing Calculation

Summary

Moody Res
2355 S Marion Ave
Lake City, FL 32025

Project Title:
170712 Moody Res

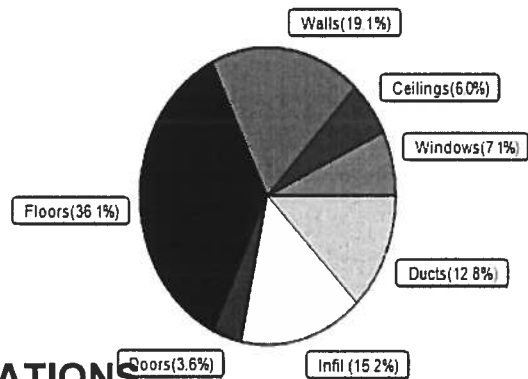
6/30/2017

Location for weather data: Gainesville, FL - Defaults: Latitude(29.7) Altitude(152 ft.) Temp Range(M)					
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(51gr.)					
Winter design temperature(TMY3 99%) 30 F			Summer design temperature(TMY3 99%) 94 F		
Winter setpoint 70 F			Summer setpoint 75 F		
Winter temperature difference 40 F			Summer temperature difference 19 F		
Total heating load calculation 17776 Btuh			Total cooling load calculation 14032 Btuh		
Submitted heating capacity		% of calc Btuh	Submitted cooling capacity		% of calc Btuh
Total (Electric Heat Pump)		118.1 21000	Sensible (SHR = 0.75)		140.5 15750
Heat Pump + Auxiliary(0.0kW)		118.1 21000	Latent		186.2 5250
			Total (Electric Heat Pump)		149.7 21000

WINTER CALCULATIONS

Winter Heating Load (for 1056 sqft)

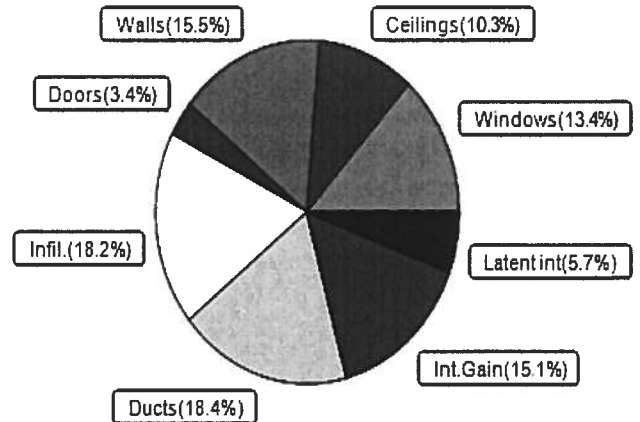
Load component			Load	
Window total	90	sqft	1260	Btuh
Wall total	958	sqft	3401	Btuh
Door total	40	sqft	640	Btuh
Ceiling total	1056	sqft	1072	Btuh
Floor total	1056	sqft	6419	Btuh
Infiltration	62	cfm	2703	Btuh
Duct loss			2281	Btuh
Subtotal			17776	Btuh
Ventilation	0	cfm	0	Btuh
TOTAL HEAT LOSS			17776	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 1056 sqft)

Load component			Load	
Window total	90	sqft	1874	Btuh
Wall total	958	sqft	2168	Btuh
Door total	40	sqft	480	Btuh
Ceiling total	1056	sqft	1447	Btuh
Floor total			0	Btuh
Infiltration	46	cfm	963	Btuh
Internal gain			2120	Btuh
Duct gain			2160	Btuh
Sens. Ventilation	0	cfm	0	Btuh
Blower Load			0	Btuh
Total sensible gain			11213	Btuh
Latent gain(ducts)			422	Btuh
Latent gain(infiltration)			1598	Btuh
Latent gain(ventilation)			0	Btuh
Latent gain(internal/occupants/other)			800	Btuh
Total latent gain			2819	Btuh
TOTAL HEAT GAIN			14032	Btuh



8th Edition

EnergyGauge® System Sizing
PREPARED BY: Evan Beamsley
DATE: 2017-06-30

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Moody Res
2355 S Marion Ave
Lake City, FL 32025

Project Title:
170712 Moody Res
Building Type: User

6/30/2017

Reference City: Gainesville, FL (Defaults) Winter Temperature Difference: 40.0 F (TMY3 99%)

Component Loads for Whole House								
Window	Panes/Type	Frame	U	Orientation	Area(sqft)	X	HTM=	Load
1	2, NFRC 0.25	Metal	0.35	SE	45.0		14.0	630 Btuh
2	2, NFRC 0.25	Metal	0.35	NW	45.0		14.0	630 Btuh
	Window Total					90.0(sqft)		1260 Btuh
Walls	Type	Ornt.	Ueff.	R-Value (Cav/Sh)	Area	X	HTM=	Load
1	Frame - Wood	- Ext	(0.089)	13.0/0.0	287		3.55	1019 Btuh
2	Frame - Wood	- Ext	(0.089)	13.0/0.0	192		3.55	682 Btuh
3	Frame - Wood	- Ext	(0.089)	13.0/0.0	287		3.55	1019 Btuh
4	Frame - Wood	- Ext	(0.089)	13.0/0.0	192		3.55	682 Btuh
	Wall Total					958(sqft)		3401 Btuh
Doors	Type	Storm	Ueff.		Area	X	HTM=	Load
1	Insulated - Exterior,	n	(0.400)		20		16.0	320 Btuh
2	Insulated - Exterior,	n	(0.400)		20		16.0	320 Btuh
	Door Total					40(sqft)		640Btuh
Ceilings	Type/Color/Surface	Ueff.	R-Value	Area	X	HTM=	Load	
1	Vented Attic/D/Shing	(0.025)	38.0/0.0	1056		1.0	1072 Btuh	
	Ceiling Total					1056(sqft)		1072Btuh
Floors	Type	Ueff.	R-Value	Size	X	HTM=	Load	
1	Slab On Grade	(1.180)	0.0	136.0 ft(perim.)		47.2	6419 Btuh	
	Floor Total					1056 sqft		6419 Btuh
Envelope Subtotal:								12792 Btuh
Infiltration	Type	Wholehouse	ACH	Volume(cuft)	Wall Ratio	CFM=	Load	
	Natural		0.44	8448	1.00	61.7	2703 Btuh	
Duct load	Average sealed, R6.0, Supply(Att), Return(Con)					(DLM of 0.147)		2281 Btuh
All Zones	Sensible Subtotal All Zones							17776 Btuh

WHOLE HOUSE TOTALS

Totals for Heating	Subtotal Sensible Heat Loss Ventilation Sensible Heat Loss Total Heat Loss	17776 Btuh 0 Btuh 17776 Btuh
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Manual J Winter Calculations

Residential Load - Component Details (continued)

Moody Res
2355 S Marion Ave
Lake City, FL 32025

Project Title:
170712 Moody Res
Building Type: User

6/30/2017

EQUIPMENT

1. Electric Heat Pump	#	21000 Btuh
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Key: Window types - NFRC (Requires U-Factor and Shading coefficient(SHGC) of glass as numerical values)
or - Glass as 'Clear' or 'Tint' (Uses U-Factor and SHGC defaults)

U - (Window U-Factor)

HTM - (ManualJ Heat Transfer Multiplier)



Version 8

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Moody Res
2355 S Marion Ave
Lake City, FL 32025

Project Title:
170712 Moody Res

6/30/2017

Reference City: Gainesville, FL Temperature Difference: 19.0F(TMY3 99%) Humidity difference: 51gr.

Component Loads for Whole House

Window	Type*						Overhang		Window Area(sqft)			HTM		Load	
	Panes	SHGC	U	InSh	IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2 NFRC	0.25, 0.35	No	No	SE	2.0ft.	0.5ft.	45.0	25.1	19.9	12	25	787	Btuh	
2	2 NFRC	0.25, 0.35	No	No	NW	2.0ft.	0.5ft.	45.0	0.0	45.0	12	23	1055	Btuh	
	Excursion													31	Btuh
	Window Total								90 (sqft)					1874 Btuh	
Walls	Type	U-Value		R-Value		Area(sqft)		HTM		Load					
				Cav/Sheath											
1	Frame - Wood - Ext	0.09	13.0/0.0			287.0		2.3	650		Btuh				
2	Frame - Wood - Ext	0.09	13.0/0.0			192.0		2.3	435		Btuh				
3	Frame - Wood - Ext	0.09	13.0/0.0			287.0		2.3	650		Btuh				
4	Frame - Wood - Ext	0.09	13.0/0.0			192.0		2.3	435		Btuh				
	Wall Total				958 (sqft)				2168		Btuh				
Doors	Type	Area (sqft)		HTM		Load									
1	Insulated - Exterior	20.0		12.0		240 Btuh									
2	Insulated - Exterior	20.0		12.0		240 Btuh									
	Door Total		40 (sqft)		480 Btuh										
Ceilings	Type/Color/Surface	U-Value	R-Value	Area(sqft)	HTM	Load									
1	Vented Attic/DarkShingle	0.025	38.0/0.0	1056.0	1.37	1447 Btuh									
	Ceiling Total		1056 (sqft)		1447 Btuh										
Floors	Type	R-Value	Size	HTM	Load										
1	Slab On Grade	0.0	1056 (ft-perimeter)	0.0	0 Btuh										
	Floor Total		1056.0 (sqft)		0 Btuh										
Envelope Subtotal:											5970 Btuh				
Infiltration	Type	Average ACH	Volume(cuft)	Wall Ratio	CFM=	Load									
	Natural	0.33	8448	1	46.3	963 Btuh									
Internal gain	Occupants	Btuh/occupant	Appliance	Load											
	4	X 230	+ 1200	2120 Btuh											
Sensible Envelope Load:											9052 Btuh				
Duct load	Average sealed, Supply(R6.0-Attic), Return(R6.0-Condi)				(DGM of 0.239)	2160 Btuh									
Sensible Load All Zones											11213 Btuh				

Manual J Summer Calculations

Residential Load - Component Details (continued)

Moody Res
2355 S Marion Ave
Lake City, FL 32025

Project Title: Climate:FL_GAINESVILLE_REGIONAL_A
170712 Moody Res

6/30/2017

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	9052 Btuh
	Sensible Duct Load	2160 Btuh
	Total Sensible Zone Loads	11213 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	11213 Btuh
	Latent infiltration gain (for 51 gr. humidity difference)	1598 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	422 Btuh
	Latent occupant gain (4.0 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	Latent total gain	2819 Btuh
	TOTAL GAIN	14032 Btuh

EQUIPMENT

1. Central Unit	#	21000 Btuh
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*Key: Window types (Panels - Number and type of panes of glass)
 (SHGC - Shading coefficient of glass as SHGC numerical value)
 (U - Window U-Factor)
 (InSh - Interior shading device: none(No), Blinds(B), Draperies(D) or Roller Shades(R))
 - For Blinds: Assume medium color, half closed
 For Draperies: Assume medium weave, half closed
 For Roller shades: Assume translucent, half closed
 (IS - Insect screen: none(N), Full(F) or Half(½))
 (Ornt - compass orientation)



Version 8



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST**

MINIMUM PLAN REQUIREMENTS: FLORIDA BUILDING CODE RESIDENTIAL 2014 EFFECTIVE 1 JULY 2015 AND THE NATIONAL ELECTRICAL CODE 2011 EFFECTIVE 1 JULY 2015

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE WITH THE CURRENT 2014 FLORIDA BUILDING CODES RESIDENTIAL, EFFECTIVE 1 JULY 2015. NATIONAL ELECTRICAL CODE 2011 EFFECTIVE 1 JULY 2015. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

**FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FLORIDA BUILDING CODE FIGURE 1609-A THROUGH 1609-C ULTIMATE DESIGN WIND SPEEDS FOR RISK CATEGORY AND BUILDINGS AND OTHER STRUCTURES
Revised 12/2016**

**GENERAL REQUIREMENTS:
APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL**

Items to Include-
Each Box shall be
Marked as
Applicable

Select From the Dropdown

1	Two (2) complete sets of plans containing the following:	-		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void	-		
3	Condition space (Sq. Ft.)		Total (Sq. Ft.) under roof	YES NO N/A

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land	-		
5	Dimensions of all building set backs	-		
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.	-		
7	Provide a full legal description of property.	-		

Wind-load Engineering Summary, calculations and any details are required.

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Marked as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	YES	NO	N/A
Select From the Dropdown				
9	Basic wind speed (3-second gust), miles per hour	-		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)	-		
11	Wind importance factor and nature of occupancy	-		
12	The applicable internal pressure coefficient, Components and Cladding	-		
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.	-		

Elevations Drawing including:

14	All side views of the structure	-		
15	Roof pitch	-		
16	Overhang dimensions and detail with attic ventilation	-		
17	Location, size and height above roof of chimneys	-	N/A	
18	Location and size of skylights with Florida Product Approval	-	N/A	
18	Number of stories	-		
20A	Building height from the established grade to the roofs highest peak	-		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	- <input checked="" type="checkbox"/>
21	Raised floor surfaces located more than 30 inches above the floor or grade	- <input checked="" type="checkbox"/>
22	All exterior and interior shear walls indicated	- <input checked="" type="checkbox"/>
23	Shear wall opening shown (Windows, Doors and Garage doors)	- <input checked="" type="checkbox"/>
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBC 1405.13.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	- <input checked="" type="checkbox"/>
25	Safety glazing of glass where needed	- <input checked="" type="checkbox"/>
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 and chapter 24 of FBCR)	- <input checked="" type="checkbox"/>
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails	- <input checked="" type="checkbox"/>
28	Identify accessibility of bathroom (see FBCR SECTION 320)	- <input checked="" type="checkbox"/>

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Marked as Applicable
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YES / NO / N/A

FBCR 403: Foundation Plans

Select From the Dropdown

29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	- <input checked="" type="checkbox"/>
30	All posts and/or column footing including size and reinforcing	- <input checked="" type="checkbox"/>
31	Any special support required by soil analysis such as piling.	- <input checked="" type="checkbox"/>
32	Assumed load-bearing value of soil _____ Pound Per Square Foot	- <input checked="" type="checkbox"/>
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	- <input checked="" type="checkbox"/>

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	- <input checked="" type="checkbox"/>
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	- <input checked="" type="checkbox"/>

FBCR 318: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Submit other approved termite protection methods. Protection shall be provided by registered termiticides	- <input checked="" type="checkbox"/>
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FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type	- <input checked="" type="checkbox"/>
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement	- <input checked="" type="checkbox"/>

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer	- <input checked="" type="checkbox"/>
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40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers	-	N/A
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers	-	N/A
42	Attachment of joist to girder	-	N/A
43	Wind load requirements where applicable	-	N/A
44	Show required under-floor crawl space	-	N/A
45	Show required amount of ventilation opening for under-floor spaces	-	N/A
46	Show required covering of ventilation opening	-	N/A
47	Show the required access opening to access to under-floor spaces	-	N/A
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & intermediate of the areas structural panel sheathing	-	N/A
49	Show Draftstopping, Fire caulking and Fire blocking	-	N/A
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 302.6	-	N/A
51	Provide live and dead load rating of floor framing systems (psf).	-	N/A

YES / NO / N/A

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Marked as Applicable	
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Select From the Dropdown

52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	-	/
53	Fastener schedule for structural members per table IRC 602.3 are to be shown	-	/
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	-	/
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	-	/
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per IRC Table 502.5 (1)	-	/
57	Indicate where pressure treated wood will be placed	-	/
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	-	/
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	-	/

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.1.6.1 Wood trusses	-	/
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	-	/
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	-	/
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	-	/
64	Provide dead load rating of trusses	-	/

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing	-	N/A
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating	-	N/A
67	Valley framing and support details	-	N/A
68	Provide dead load rating of rafter system	-	N/A

FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	-	/
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	-	/

ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	-	/
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	-	/

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted.** *N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600.A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.*

YES / NO / N/A

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Marked as Applicable
--	---

Select From the Dropdown

73	Show the insulation R value for the following areas of the structure	-		
74	Attic space	-		
75	Exterior wall cavity	-		
76	Crawl space	-		N/A

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	-		
78	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	-		
79	Show clothes dryer route and total run of exhaust duct	-		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan	-		
81	Show the location of water heater	-		

Private Potable Water

82	Pump motor horse power	-		N/A
83	Reservoir pressure tank gallon capacity	-		N/A
84	Rating of cycle stop valve if used	-		N/A

Electrical layout shown including

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	-		
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	-		
87	Show the location of smoke detectors & Carbon monoxide detectors	-		
88	Show service panel, sub-panel, location(s) and total ampere ratings	-		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	-		
90	Appliances and HVAC equipment and disconnects	-		
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter , Protection device.	-		

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
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THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application is to be completed. by following the Checklist all supporting documents must be submitted. There is a \$15.00 application fee. The completed application with attached documents and application fee can be mailed.	NO		
93	Parcel Number The parcel number (Tax ID number) from the Property Appraisers Office (386) 758-1083 is required. A copy of property deed is also required. www.columbiacountyfla.com	NO		
94	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White, an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.	NO		
***	BELOW ITEMS ONLY NEEDED AFTER ZONING APPROVAL HAS GIVEN.	****	***	***
95	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058	NO		
96	City of Lake City A City Water and/or Sewer letter. Call 386-752-2031	NO		
97	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations	NO		
98	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the approved FIRM Flood Maps show the property is in a AE, Floodway, and AH flood zones. Additionally One Foot Rise letters are required for AE and AH zones. In the Floodway Flood zones a Zero Rise letter is required.			
99	A Flood development permit is also required for AE, Floodway & AH. Development permit cost is \$50.00			
100	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. County Public Works Dept. determines the size and length of every culvert before instillation and completes a final inspection before permanent power is granted. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00) Separate Check when issued. If the project is to be located on an F.D.O.T. maintained road, then an F.D.O.T. access permit is required.	NO		
101	911 Address: An application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125.	NO		

TOILET FACILITIES SHALL BE PROVIDED FOR ALL CONSTRUCTION SITES. NO

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

Notification:

When the application is approved for permitting the applicant will be notified by phone as to the status by the Columbia County Building & Zoning Department.

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCTURAL METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER			
5. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Contractor OR Agent Signature

Date

NOTES: _____

FLORIDA PRODUCT APPROVALS
10-16-15

Item:	Manufacturer	Product Description:	Approval Number:
Exterior Doors:	Masonite	Inswing & Outswing Fiberglass	FL-8228-R7
	Masonite	Inswing & Outswing Steel	FL-4904-R7
	Plastpro	8'0" Inswing & Outswing Fiberglass	FL-15220-R1
	Plastpro	Inswing & Outswing Steel	FL-15962-R2
	Plastpro	6'8" Inswing & Outswing Fiberglass	FL-15215-R3 flush glazed
Windows:	MI	6'8" Fib-blazed door	FL-17347
		Aluiminum 185 Single Hung	FL-17499
		Aluiminum 185 Picture Window	FL-15349
		* 53" x 50" 3580 Hcr. Slider	FL-13349-2
		Vinyl 3540 Single Hung	FL-17676-R1
		Vinyl 3500 Picture Window	FL-18644
	Atrium	150/160	FL-11834
	Magnolia	Vinyl 400 Single Hung	FL-16475-R3
		Vinyl 400 Picture Window	FL-16474-R2
		400 Hcr. slider	FL 16476-1
Soffit:	Kaycan	Vinyl/PVC & Aluminum Soffit	FL-16503
		Vinyl Siding	FL-15867-R1
Underlayment:	Woodland	30# Felt	FL-17206-R3
Roofing:	Certainteed	Asphalt Shingles	FL-5444
	GAF	Asphalt Shingles	FL-10124-R16
	Tamko	Asphalt Shingles	FL-18355
	Certainteed	Flintlastic SBS & APP	FL-16709-1
Siding:	Allura of Plycem	Cement board lap siding	FL-17482-R2
	James Hardie	Cement board lap siding	FL-13192-R4
Simpson		LSTA - MSTA, SPH4 *	FL-13872-R2
	GAF	Tiger Paw Underlayment	FL-15487-R5
Metal Roofing		5V Roofing	FL-9555-R3
		Master Rib Roofing	FL-9557-R3

5-17-1
Per Dave
SF. b Per
15187
Plastpro

1-7-16

Finless covers 1/2" x 1/2" & finless per Jason

5-16

Hardie
Union

Complank

13192.1

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Product Approval
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Search Criteria

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Code Version	2014	FL#	ALL
Application Type	ALL	Product Manufacturer	Andersen Corporation
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

Search Results - Applications

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FL #	Type	Manufacturer	Validated By	Status
11-10000-02 View	Revision	Andersen Corporation Category: Windows Subcategory: Fixed	Window and Door Manufacturers Association (715) 551-5062	Approved *
11-10001-03 View	Revision	Andersen Corporation Category: Windows Subcategory: Casement	Window and Door Manufacturers Association (715) 551-5062	Approved *
11-10002-01 View	Affirmation	Andersen Corporation Category: Windows Subcategory: Double Hung	Window and Door Manufacturers Association (715) 551-5062	Approved
11-10002-02 View	Revision	Andersen Corporation Category: Windows Subcategory: Double Hung	Window and Door Manufacturers Association (715) 551-5062	Re-Apply
11-10003-01 View	Revision	Andersen Corporation Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	Locke Bowden (334) 300-1800	Approved
11-10003-02 View	Revision	Andersen Corporation Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	Locke Bowden (334) 300-1800	Approved
11-10003-03 View	Revision	Andersen Corporation Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	Locke Bowden (334) 300-1800	Approved
11-10003-04 View	Revision	Andersen Corporation Category: Exterior Doors Subcategory: Sliding Exterior Door Assemblies	Locke Bowden (334) 300-1800	Approved
11-10003-05 View	Revision	Andersen Corporation Category: Windows Subcategory: Fixed	Locke Bowden (334) 300-1800	Approved
11-10003-06 View	Revision	Andersen Corporation Category: Windows Subcategory: Double Hung	Window and Door Manufacturers Association (715) 551-5062	Approved *
11-10003-07 View	Affirmation	Andersen Corporation Category: Windows Subcategory: Mullions	Miami-Dade BCCO - VAL (786) 315-2590	Approved
11-10003-08 View	Affirmation	Andersen Corporation Category: Windows Subcategory: Awning	Window and Door Manufacturers Association (715) 551-5062	Approved

Home				
About Us	Affirmation	Andersen Corporation Category: Windows Subcategory: Casement	Window and Door Manufacturers Association (715) 551-5062	Approved
Contact Us	Revision	Andersen Corporation Category: Windows Subcategory: Fixed	Window and Door Manufacturers Association (715) 551-5062	Approved *
FAQ	Revision	Andersen Corporation Category: Windows Subcategory: Double Hung	Locke Bowden (334) 300-1800	Approved

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*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.

[Contact Us](mailto:info@floridabuilding.org) :: [2601 Blair Stone Road, Tallahassee FL 32399](http://2601-Blair-Stone-Road-Tallahassee-FL-32399) Phone: 850-487-1824

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Search Criteria

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Code Version	2014	FL#	ALL
Application Type	ALL	Product Manufacturer	GAF
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

Search Results - Applications

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FL#	Type	Manufacturer	Validated By	Status
11200 RZ1 10/1/12	Revision	GAF Category: Roofing Subcategory: Single Ply Roof Systems	John W. Knezevich, PE (954) 772-6224	Approved
11200 R12 10/1/12	Revision	GAF Category: Roofing Subcategory: Modified Bitumen Roof System	John W. Knezevich, PE (954) 772-6224	Approved
11200 R13 10/1/12	Revision	GAF Category: Roofing Subcategory: Roofing Accessories that are an Integral Part of the Roofing System	John W. Knezevich, PE (954) 772-6224	Approved
11200 R14 10/1/12	Revision	GAF Category: Roofing Subcategory: Roofing Accessories that are an Integral Part of the Roofing System	John W. Knezevich, PE (954) 772-6224	Pending FBC Approval
11200 R15 10/1/12	Revision	GAF Category: Roofing Subcategory: Asphalt Shingles	John W. Knezevich, PE (954) 772-6224	Approved

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Search Criteria

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Code Version	2014	FL#	ALL
Application Type	ALL	Product Manufacturer	JELD-WEN
Category	ALL	Subcategory	ALL
Application Status	ALL	Compliance Method	ALL
Quality Assurance Entity	ALL	Quality Assurance Entity Contract Expired	ALL
Product Model, Number or Name	ALL	Product Description	ALL
Approved for use in HVHZ	ALL	Approved for use outside HVHZ	ALL
Impact Resistant	ALL	Design Pressure	ALL
Other	ALL		

Search Results - Applications

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FL#	Type	Manufacturer	Validated By	Status
11111111	Revision	JELD-WEN Category: Windows Subcategory: Horizontal Slider	National Accreditation & Management Institute (804) 684-5124	Approved *
11111112	Editorial Change	JELD-WEN Category: Windows Subcategory: Horizontal Slider	National Accreditation & Management Institute (804) 684-5124	Validated
11111113	Affirmation	JELD-WEN Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	National Accreditation & Management Institute (804) 684-5124	Approved
11111114	Revision	JELD-WEN Category: Windows Subcategory: Fixed	Window and Door Manufacturers Association (715) 551-5062	Approved *
11111115	Revision	JELD-WEN Category: Windows Subcategory: Double Hung	Window and Door Manufacturers Association (715) 551-5062	Approved *
11111116	Revision	JELD-WEN Category: Windows Subcategory: Single Hung	National Accreditation & Management Institute (804) 684-5124	Approved *
11111117	Editorial Change	JELD-WEN Category: Windows Subcategory: Single Hung	National Accreditation & Management Institute (804) 684-5124	Validated
11111118	Revision	JELD-WEN Category: Windows Subcategory: Fixed	National Accreditation & Management Institute (804) 684-5124	Approved *
11111119	Revision	JELD-WEN Category: Exterior Doors Subcategory: Sliding Exterior Door Assemblies	American Architectural Manufacturers Association (214) 878-1642	Approved *
11111120	Revision	JELD-WEN Category: Exterior Doors Subcategory: Sliding Exterior Door Assemblies	National Accreditation & Management Institute (804) 684-5124	Approved *
11111121	Revision	JELD-WEN Category: Exterior Doors Subcategory: Swinging Exterior Door Assemblies	National Accreditation & Management Institute (804) 684-5124	Approved *
11111122	Revision	JELD-WEN Category: Windows Subcategory: Single Hung	National Accreditation & Management Institute (804) 684-5124	Approved *

Date Approved

09/29/2015

Summary of Products

FL #	Model, Number or Name	Description
11861.1	Custom Clad	Outswing Side Hinged Door (OXO) Insulated Glass (1/8 tempered in - 1/8 tempered out)
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel		Certification Agency Certificate FL11861 R5 C CAC_3-419-H-1042-00.pdf Quality Assurance Contract Expiration Date 01/20/2020 Installation Instructions FL11861 R5 H SW2011 153 Custom Clad Out Swing Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
11861.2	Custom Clad	French Outswing Side Hinged Door (XX) Insulated Glass (1/8 tempered in - 1/8 tempered out)
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: Multi-Point Hardware: 3 Point Active Panel, 2 Point Passive Panel		Certification Agency Certificate FL11861 R5 C CAC_2-419-H-1048-00.pdf Quality Assurance Contract Expiration Date 12/08/2019 Installation Instructions FL11861 R5 H SW2011 154 Custom Clad Out Swing Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
11861.3	Custom Clad	Outswing Side Hinged Door Center Swing (OX) Insulated Glass (1/8 tempered in - 1/8 tempered out)
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: Multi-Point Hardware: 3 Point Active Panel		Certification Agency Certificate FL11861 R5 C CAC_3-419-H-1049-00.pdf Quality Assurance Contract Expiration Date 12/06/2019 Installation Instructions FL11861 R5 H SW2011 158 Custom Clad Out Swing Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
11861.4	Custom Clad	Inswing Side Hinged Door (OXO) Insulated Glass (1/8 tempered in - 1/8 tempered out)
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel		Certification Agency Certificate FL11861 R5 C CAC_3-419-H-1050-00.pdf Quality Assurance Contract Expiration Date 12/14/2019 Installation Instructions FL11861 R5 H SW2011 155 Custom Clad In Swing Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
11861.5	Custom Clad	French Inswing Side Hinged Door (XX) Insulated Glass (1/8 tempered in - 1/8 tempered out)
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel, 2 Point Passive Panel		Certification Agency Certificate FL11861 R5 C CAC_3-419-H-1050-00.pdf Quality Assurance Contract Expiration Date 12/14/2019 Installation Instructions FL11861 R5 H SW2011 156 Custom Clad In Swing Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:
11861.6	Custom Clad	Inswing Side Hinged Door Center Swing (XO) Insulated Glass (1/8 tempered in - 1/8 tempered out)

<p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel</p>		<p>Certification Agency Certificate FL11861_P5_C_CAC_11-119-11-1060.00.pdf Quality Assurance Contract Expiration Date 12/06/2019 Installation Instructions FL11861_P5_H_SIW2011_157_Custom_Glad_In_Swing_Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>11861.7</p>	<p>Custom Wood</p>	<p>Outswing Side Hinged Door (OXO) Insulated Glass (1/8 tempered in - 1/8 tempered out)</p>
<p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel</p>		<p>Certification Agency Certificate FL11861_P5_C_CAC_12-119-11-1090.00.pdf Quality Assurance Contract Expiration Date 12/16/2019 Installation Instructions FL11861_P5_H_SIW2011_164_Custom_Wood_Out_Swing_Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>11861.8</p>	<p>Custom Wood</p>	<p>French Inswing Side Hinged Door (XX) Insulated Glass (1/8 tempered in - 1/8 tempered out)</p>
<p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel, 2 Point Passive Panel</p>		<p>Certification Agency Certificate FL11861_P5_C_CAC_12-119-11-1051.00.pdf Quality Assurance Contract Expiration Date 12/19/2019 Installation Instructions FL11861_P5_H_SIW2011_160_Custom_Wood_In_Swing_Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>11861.9</p>	<p>Custom Wood</p>	<p>Outswing Side Hinged Door Center Swing (OX) Insulated Glass (1/8 tempered in - 1/8 tempered out)</p>
<p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: Multi-Point Hardware: 3 Point Active Panel</p>		<p>Certification Agency Certificate FL11861_P5_C_CAC_11-119-11-1052.00.pdf Quality Assurance Contract Expiration Date 12/09/2019 Installation Instructions FL11861_P5_H_SIW2011_165_Custom_Wood_Out_Swing_Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>11861.10</p>	<p>Custom Wood</p>	<p>Inswing Side Hinged Door Center Swing (XO) Insulated Glass (1/8 tempered in - 1/8 tempered out)</p>
<p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel</p>		<p>Certification Agency Certificate FL11861_P5_C_CAC_10-119-11-1054.00.pdf Quality Assurance Contract Expiration Date 12/07/2019 Installation Instructions FL11861_P5_H_SIW2011_161_Custom_Wood_In_Swing_Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:</p>
<p>11861.11</p>	<p>Custom Wood</p>	<p>French Outswing Side Hinged Door (XX) Insulated Glass (1/8 tempered in - 1/8 tempered out)</p>
<p>Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +50/-50 Other: Multi-Point Hardware: 3 Point Active Panel, 2 Point Passive Panel</p>		<p>Certification Agency Certificate FL11861_P5_C_CAC_13-119-11-1057.00.pdf Quality Assurance Contract Expiration Date 01/23/2020 Installation Instructions FL11861_P5_H_SIW2011_166_Custom_Wood_Out_Swing_Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party:</p>

		Evaluation Reports Created by Independent Third Party:
11861.12	Custom Wood	Inswing Side Hinged Door (OXO) Insulated Glass (1/8 tempered in - 1/8 tempered out)
Limits of Use Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: No Design Pressure: +35/-35 Other: Multi-Point Hardware: 3 Point Active Panel		Certification Agency Certificate 111861 R5 C CAC 0116160300.pdf Quality Assurance Contract Expiration Date 01/16/2020 Installation Instructions 111861 R5 H SW2011 150 Custom Wood Inswing Install.pdf Verified By: Window and Door Manufacturers Association Created by Independent Third Party: Evaluation Reports Created by Independent Third Party:

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Lumber design values are in accordance with ANSI/TPI 1 section 6.3
 These truss designs rely on lumber values established by others.

RE: 1112324 - HOME TOWN HOMES - MOODY RES.

MiTek USA, Inc.

6904 Parke East Blvd.
 Tampa, FL 33610-4115

Site Information:

Customer Info: Home Town Homes Project Name: 1112324 Model: Moody Res.
 Lot/Block: Subdivision:
 Address: TBD Marion Street
 City: Columbia Cty State: FL

Name Address and License # of Structural Engineer of Record, If there is one, for the building.

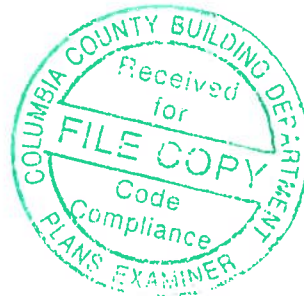
Name: Unknown at time of seals License #: Unknown at time of seals
 Address: Unknown at time of seals
 City: Unknown at time of seals State: Unknown at time of seals

General Truss Engineering Criteria & Design Loads (Individual Truss Design Drawings Show Special Loading Conditions):

Design Code: FBC2014/TPI2007 Design Program: MiTek 20/20 7.6
 Wind Code: ASCE 7-10 Wind Speed: 130 mph
 Roof Load: 37.0 psf Floor Load: N/A psf

This package includes 4 individual, Truss Design Drawings and 0 Additional Drawings.
 With my seal affixed to this sheet, I hereby certify that I am the Truss Design Engineer and this index sheet conforms to 61G15-31.003, section 5 of the Florida Board of Professional Engineers Rules.

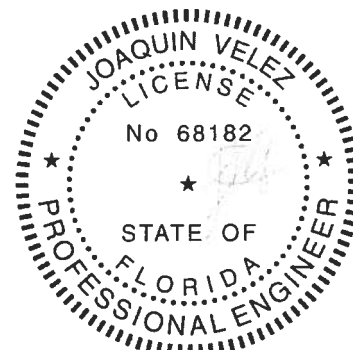
No.	Seal#	Truss Name	Date
1	T11365926	T01	6/15/17
2	T11365927	T01G	6/15/17
3	T11365928	T02	6/15/17
4	T11365929	T02G	6/15/17



The truss drawing(s) referenced above have been prepared by MiTek USA, Inc. under my direct supervision based on the parameters provided by Builders FirstSource-Jacksonville.

Truss Design Engineer's Name: Velez, Joaquin
 My license renewal date for the state of Florida is February 28, 2019.

IMPORTANT NOTE: The seal on these truss component designs is a certification that the engineer named is licensed in the jurisdiction(s) identified and that the designs comply with ANSI/TPI 1. These designs are based upon parameters shown (e.g., loads, supports, dimensions, shapes and design codes), which were given to MiTek. Any project specific information included is for MiTek's customers file reference purpose only, and was not taken into account in the preparation of these designs. MiTek has not independently verified the applicability of the design parameters or the designs for any particular building. Before use, the building designer should verify applicability of design parameters and properly incorporate these designs into the overall building design per ANSI/TPI 1, Chapter 2.



Joaquin Velez PE No.68182
 MiTek USA, Inc. FL Cert 6634
 6904 Parke East Blvd. Tampa FL 33610
 Date:

June 15,2017

Job 1112324	Truss T01	Truss Type COMMON	Qty 21	Ply 1	HOME TOWN HOMES - MOODY RES.	T11365926
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Builders FirstSource, Lake City, FL 32055
 7 640 s Apr 19 2015 MiTek Industries, Inc. Wed Jun 14 18 04 27 2017 Page 1
 ID s8y_4lkCDDikApCLRjTb6Zz6J5Z-iyYK_rDZ_okFug0DsDvj25l_ZeWRS1buDy8wDvz6lql

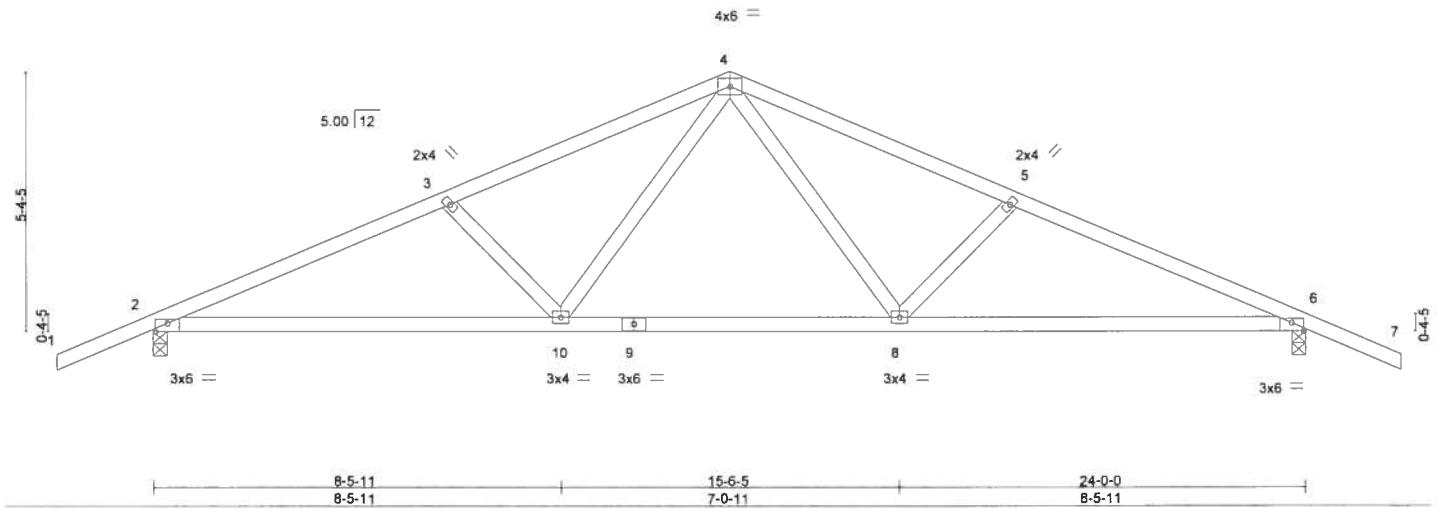
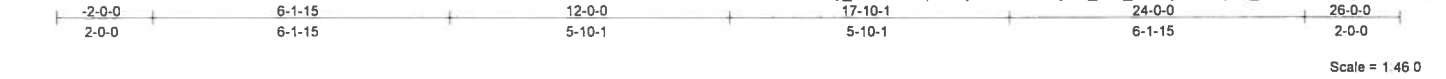


Plate Offsets (X,Y) - [2:0-3-0,Edge], [6:0-3-0,Edge]	8-5-11 8-5-11	15-6-5 7-0-11	24-0-0 8-5-11	
LOADING (psf)	SPACING- 2-0-0	CSI.	DEFL. in (loc) l/defl L/d	PLATES GRIP
TCLL 20.0	Plate Grip DOL 1.25	TC 0.35	Vert(LL) -0.09 10-13 >999 240	MT20 244/190
TCDL 7.0	Lumber DOL 1.25	BC 0.60	Vert(TL) -0.25 10-13 >999 180	
BCLL 0.0 *	Rep Stress Incr YES	WB 0.18	Horz(TL) 0.06 6 n/a n/a	
BCDL 10.0	Code FBC2014/TPI2007	(Matrix-M)		Weight: 109 lb FT = 20%

LUMBER-
 TOP CHORD 2x4 SP No.2
 BOT CHORD 2x4 SP No.2
 WEBS 2x4 SP No.3

BRACING-
 TOP CHORD Structural wood sheathing directly applied or 4-4-7 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 8-2-4 oc bracing.

REACTIONS. (lb/size) 2=996/0-3-8, 6=996/0-3-8
 Max Horz 2=-97(LC 13)
 Max Uplift 2=-284(LC 12), 6=-284(LC 13)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-1671/670, 3-4=-1445/603, 4-5=-1445/603, 5-6=-1671/670
 BOT CHORD 2-10=-516/1493, 9-10=-259/1009, 8-9=-259/1009, 6-8=-522/1493
 WEBS 4-8=-164/477, 5-8=-334/246, 4-10=-164/477, 3-10=-334/246

- NOTES-** (7)
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=4.2psf, BCDL=3.0psf, h=18ft, Cat. II; Exp B; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 284 lb uplift at joint 2 and 284 lb uplift at joint 6.
 - "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
 - This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 10/03/2015 BEFORE USE.

Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.



6904 Parke East Blvd
 Tampa, FL 36610

Job 1112324	Truss T01G	Truss Type Common Supported Gable	Qty 2	Ply 1	HOME TOWN HOMES - MOODY RES	T11365927
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Builders FirstSource, Lake City, FL 32055

Job Reference (optional)
7.640 s Apr 19 2016 MiTek Industries, Inc Wed Jun 14 18 04 28 2017 Page 1
ID s8y_4lkcDDikApCLRjTb6Zz6J5Z-B86jBBDBI5s6VqbPQwRyalHBC1_VBWY2ScuUllz6lqH

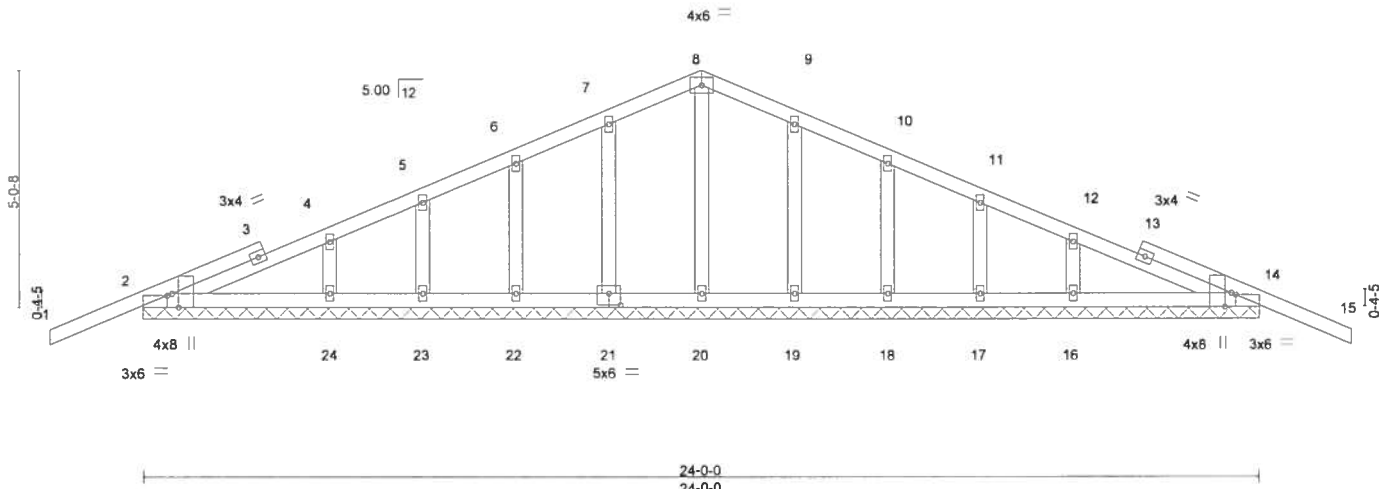


Plate Offsets (X, Y) - [2:0-3-8, Edge], [2:0-1-3, Edge], [14:0-3-8, Edge], [14:0-1-3, Edge], [21:0-3-0, 0-3-0]

LOADING (psf)	SPACING-	CSi.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	2-0-0	TC 0.23	Vert(LL)	-0.02	15	n/r	MT20	244/190
TCDL 7.0	Plate Grip DOL 1.25	BC 0.10	Vert(TL)	-0.02	15	n/r		
BCLL 0.0 *	Lumber DOL 1.25	WB 0.05	Horz(TL)	0.00	14	n/a		
BCDL 10.0	Rep Stress Incr YES	(Matrix)					Weight: 123 lb	FT = 20%
	Code FBC2014/TPI2007							

LUMBER-
TOP CHORD 2x4 SP No.2
BOT CHORD 2x4 SP No.2
OTHERS 2x4 SP No.3

BRACING-
TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 6-0-0 oc bracing.

REACTIONS. All bearings 24-0-0.
(lb) - Max Horz 2=92(LC 17)
Max Uplift All uplift 100 lb or less at joint(s) 21, 22, 23, 24, 19, 18, 17, 16 except 2=103(LC 8), 14=107(LC 9)
Max Grav All reactions 250 lb or less at joint(s) 20, 21, 22, 23, 24, 19, 18, 17, 16 except 2=266(LC 23), 14=266(LC 24)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.

- NOTES-** (11)
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TC DL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp B; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
 - All plates are 2x4 MT20 unless otherwise indicated.
 - Gable requires continuous bottom chord bearing.
 - Gable studs spaced at 2-0-0 oc.
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 21, 22, 23, 24, 19, 18, 17, 16 except (jt=lb) 2=103, 14=107.
 - "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
 - This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 10/03/2015 BEFORE USE.

Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSITPH Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.



6904 Parke East Blvd
Tampa, FL 36610

Job 1112324	Truss T02	Truss Type Common	Qty 2	Ply 1	HOME TOWN HOMES - MOODY RES T11365928
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Builders FirstSource, Lake City, FL 32055
 7.640 s Apr 19 2016 MiTek Industries, Inc Wed Jun 14 18 04 29 2017 Page 1
 ID sBy_4lkDDikApCLRjTb6Zz6J5Z-fKg5PXEpWP_z7_Ab_dyB7WqMxRICwz2BhGd1Hnz6IqG



Scale = 1 22 7

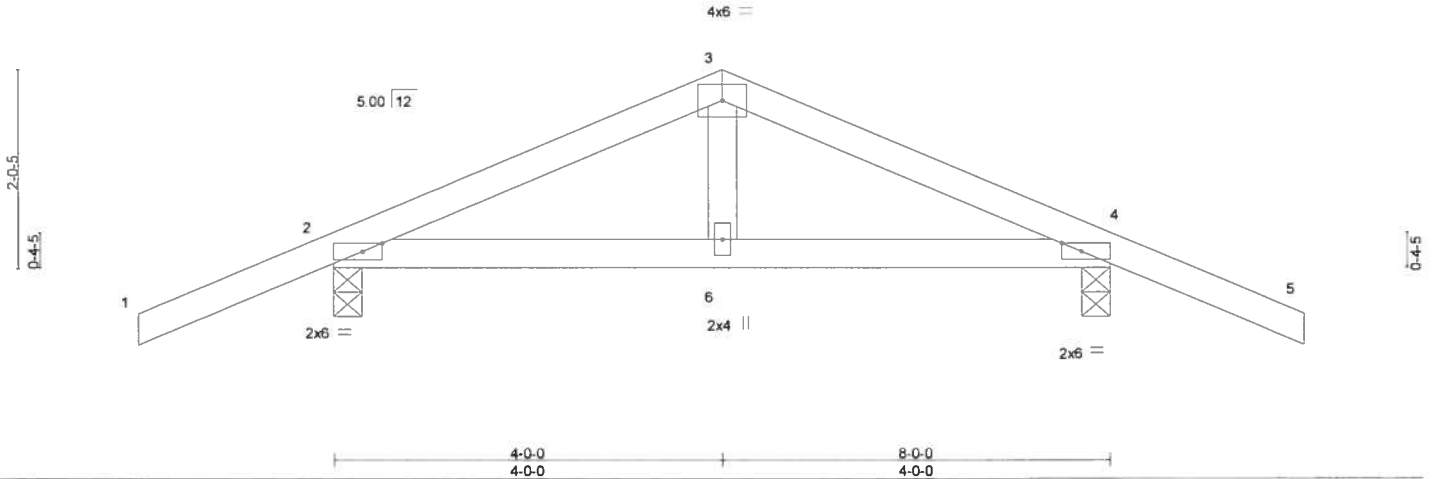


Plate Offsets (X,Y)-- [2:0-2-7,Edge], [4:0-2-7,Edge]

LOADING (psf)	SPACING- 2-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plate Grip DOL 1.25	TC 0.23	Vert(LL) 0.01	6-12	>999	240	MT20	244/190
TCDL 7.0	Lumber DOL 1.25	BC 0.14	Vert(TL) -0.01	6-12	>999	180		
BCLL 0.0 *	Rep Stress Incr YES	WB 0.06	Horz(TL) 0.00	4	n/a	n/a		
BCDL 10.0	Code FBC2014/TPI2007	(Matrix-M)					Weight: 34 lb	FT = 20%

LUMBER-
 TOP CHORD 2x4 SP No.2
 BOT CHORD 2x4 SP No.2
 WEBS 2x4 SP No.3

BRACING-
 TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

REACTIONS. (lb/size) 2=404/0-3-8, 4=404/0-3-8
 Max Horz 2=-42(LC 13)
 Max Uplift 2=-192(LC 8), 4=-192(LC 9)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-359/425, 3-4=-359/425
 BOT CHORD 2-6=-296/296, 4-6=-296/296

NOTES- (7)

- 1) Unbalanced roof live loads have been considered for this design.
- 2) Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp B; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; porch left and right exposed;C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 3) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
- 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 2=192, 4=192.
- 6) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
- 7) This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.

WARNING - Verify design parameters and READ NOTES ON THIS AND INCLUDED MITEK REFERENCE PAGE MII-7473 rev. 10/03/2015 BEFORE USE.

Design valid for use only with MiTek® connectors. This design is based only upon parameters shown, and is for an individual building component, not a truss system. Before use, the building designer must verify the applicability of design parameters and properly incorporate this design into the overall building design. Bracing indicated is to prevent buckling of individual truss web and/or chord members only. Additional temporary and permanent bracing is always required for stability and to prevent collapse with possible personal injury and property damage. For general guidance regarding the fabrication, storage, delivery, erection and bracing of trusses and truss systems, see ANSI/TPI1 Quality Criteria, DSB-89 and BCSI Building Component Safety Information available from Truss Plate Institute, 218 N. Lee Street, Suite 312, Alexandria, VA 22314.



6904 Parke East Blvd.
 Tampa, FL 36610

Job 1112324	Truss T02G	Truss Type KINGPOST	Qty 1	Ply 1	HOME TOWN HOMES - MOODY RES T11365929
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Builders FirstSource, Lake City, FL 32055
 Job Reference (optional)
 7 640 s Apr 19 2016 MiTek Industries, Inc Wed Jun 14 18 04 29 2017 Page 1
 ID s8y_4lkCDDiApCLRjTb6Zz6J5Z-fKg5PXEpWP_z7_Ab_dyB7WqLLRJMwzABhGd1Hnz6lqG



Scale = 1/23.5

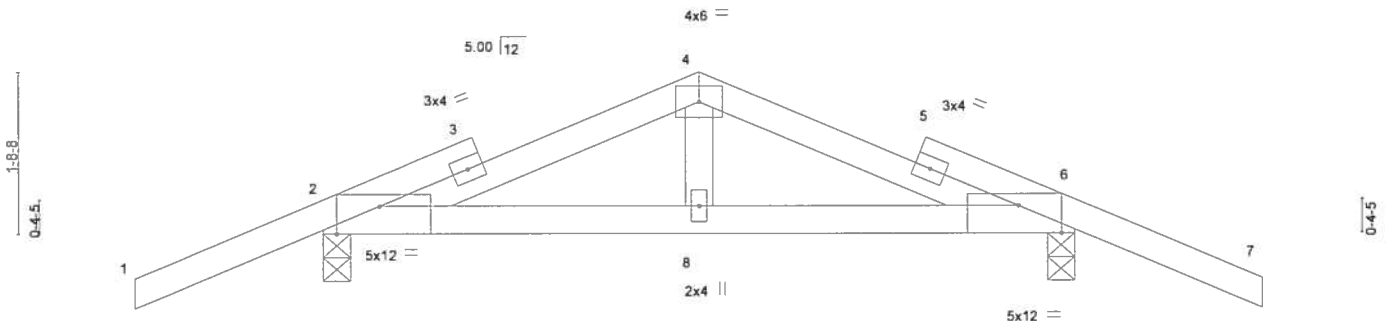


Plate Offsets (X,Y)-	[2:0-5-8,Edge], [6:0-5-8,Edge]
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LOADING (psf)	SPACING- 2-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plate Grip DOL 1.25	TC 0.27	Vert(LL)	0.02	8-15	>999	240	244/190
TCDL 7.0	Lumber DOL 1.25	BC 0.13	Vert(TL)	-0.03	8	>999	180	
BCLL 0.0 *	Rep Stress Incr YES	WB 0.05	Horz(TL)	0.00	6	n/a	n/a	
BCDL 10.0	Code FBC2014/TPI2007	(Matrix-M)						
							Weight: 36 lb	FT = 20%

LUMBER-	BRACING-
TOP CHORD 2x4 SP No.2	TOP CHORD Structural wood sheathing directly applied or 6-0-0 oc purlins.
BOT CHORD 2x4 SP No.2	BOT CHORD Rigid ceiling directly applied or 8-10-14 oc bracing.
WEBS 2x4 SP No.3	

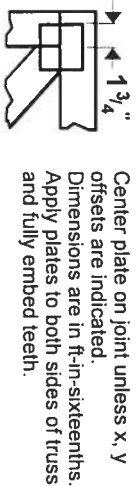
REACTIONS. (lb/size) 2=401/0-3-8, 6=401/0-3-8
 Max Horz 2=36(LC 16)
 Max Uplift 2=-196(LC 8), 6=-196(LC 9)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-229/289, 3-4=-330/420, 4-5=-330/419, 5-6=-229/289
 BOT CHORD 2-8=-429/357, 6-8=-429/357

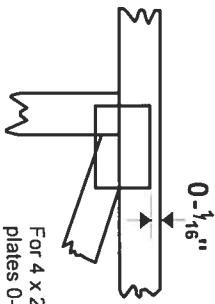
- NOTES-** (7)
- Unbalanced roof live loads have been considered for this design.
 - Wind: ASCE 7-10; Vult=130mph (3-second gust) Vasd=101mph; TCDL=4.2psf; BCDL=3.0psf; h=18ft; Cat. II; Exp B; Encl., GCpi=0.18; MWFRS (envelope) gable end zone and C-C Exterior(2) zone; porch left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
 - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) except (jt=lb) 2=196, 6=196.
 - "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.
 - This manufactured product is designed as an individual building component. The suitability and use of this component for any particular building is the responsibility of the building designer per ANSI TPI 1 as referenced by the building code.

Symbols

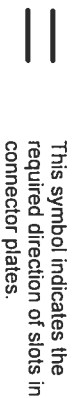
PLATE LOCATION AND ORIENTATION



Center plate on joint unless X, Y offsets are indicated. Dimensions are in 1/16-in-sixteenths. Apply plates to both sides of truss and fully embed teeth.



For 4 X 2 orientation, locate plates 0- 1/16" from outside edge of truss.



This symbol indicates the required direction of slots in connector plates.

PLATE SIZE

4 X 4

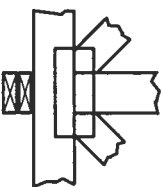
The first dimension is the plate width measured perpendicular to slots. Second dimension is the length parallel to slots.

LATERAL BRACING LOCATION



Indicated by symbol shown and/or by text in the bracing section of the output. Use T or I bracing if indicated.

BEARING

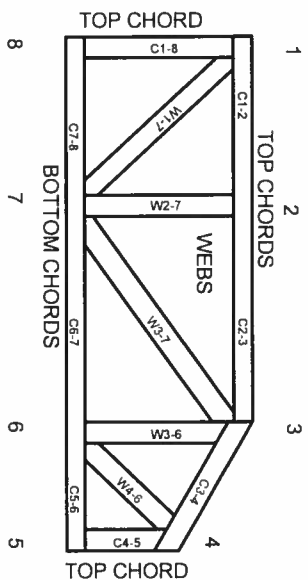
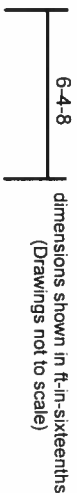


Indicates location where bearings (supports) occur. Icons vary but reaction section indicates joint number where bearings occur. Min size shown is for crushing only.

Industry Standards:

ANSI/TP1: National Design Specification for Metal Plate Connected Wood Truss Construction.
DSB-89: Design Standard for Bracing.
BCSI: Building Component Safety Information, Guide to Good Practice for Handling, Installing & Bracing of Metal Plate Connected Wood Trusses.

Numbering System



JOINTS ARE GENERALLY NUMBERED/CLOCKWISE AROUND THE TRUSS STARTING AT THE JOINT FARTHEST TO THE LEFT.

CHORDS AND WEBS ARE IDENTIFIED BY END JOINT NUMBERS/LETTERS.

PRODUCT CODE APPROVALS

ICC-ES Reports:

ESR-1311, ESR-1352, ESR1988
ER-3907, ESR-2362, ESR-1397, ESR-3282

Trusses are designed for wind loads in the plane of the truss unless otherwise shown.

Lumber design values are in accordance with ANSI/TP1 section 6.3. These truss designs rely on lumber values established by others.

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MITek Engineering Reference Sheet: Mill-7473 rev. 10/03/2015



General Safety Notes

Failure to Follow Could Cause Property Damage or Personal Injury

1. Additional stability bracing for truss system, e.g. diagonal or X-bracing, is always required. See BCSI.
2. Truss bracing must be designed by an engineer. For wide truss spacing, individual lateral braces themselves may require bracing, or alternative 1 or 1 bracing should be considered.
3. Never exceed the design loading shown and never stack materials on inadequately braced trusses.
4. Provide copies of this truss design to the building designer, erection supervisor, property owner and all other interested parties.
5. Cut members to bear tightly against each other.
6. Place plates on each face of truss at each joint and embed fully. Knots and wane at joint locations are regulated by ANSI/TP1 1.
7. Design assumes trusses will be suitably protected from the environment in accord with ANSI/TP1 1.
8. Unless otherwise noted, moisture content of lumber shall not exceed 19% at time of fabrication.
9. Unless expressly noted, this design is not applicable for use with fire retardant, preservative treated, or green lumber.
10. Camber is a non-structural consideration and is the responsibility of truss fabricator. General practice is to camber for dead load deflection.
11. Plate type, size, orientation and location dimensions indicated are minimum plating requirements.
12. Lumber used shall be of the species and size, and in all respects, equal to or better than that specified.
13. Top chords must be sheathed or purfins provided at spacing indicated on design.
14. Bottom chords require lateral bracing at 10 ft. spacing, or less, if no ceiling is installed, unless otherwise noted.
15. Connections not shown are the responsibility of others.
16. Do not cut or alter truss member or plate without prior approval of an engineer.
17. Install and load vertically unless indicated otherwise.
18. Use of green or treated lumber may pose unacceptable environmental, health or performance risks. Consult with project engineer before use.
19. Review all portions of this design (front, back, words and pictures) before use. Reviewing pictures alone is not sufficient.
20. Design assumes manufacture in accordance with ANSI/TP1 1 Quality Criteria.

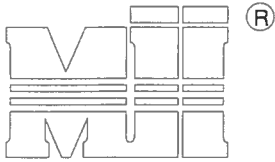
Kim Holloway

From: Ella Haas <ella_haas47@hotmail.com>
Sent: Thursday, June 15, 2017 5:56 AM
To: Kim Holloway
Subject: Wainright Plans

Hey Kim

I had to move the center part of the house 2" back to get the stairs to work out. It is only the half bath a/c closet and stair landing and closet below the stairs. Hope that makes sense. E-mail me if you have any questions.

Thanks Dale



MiTek USA, Inc.

Note: T-Bracing / I-Bracing to be used when continuous lateral bracing is impractical. T-Brace / I-Brace must cover 90% of web length.

Note: This detail NOT to be used to convert T-Brace / I-Brace webs to continuous lateral braced webs.

Nailing Pattern		
T-Brace size	Nail Size	Nail Spacing
2x4 or 2x6 or 2x8	10d	6" o.c.
Note: Nail along entire length of T-Brace / I-Brace (On Two-Ply's Nail to Both Plies)		

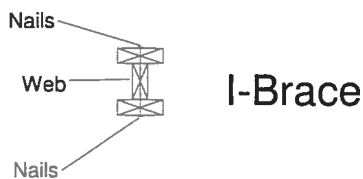
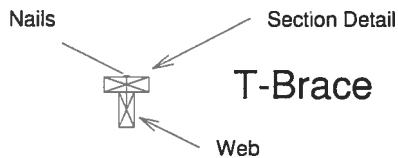
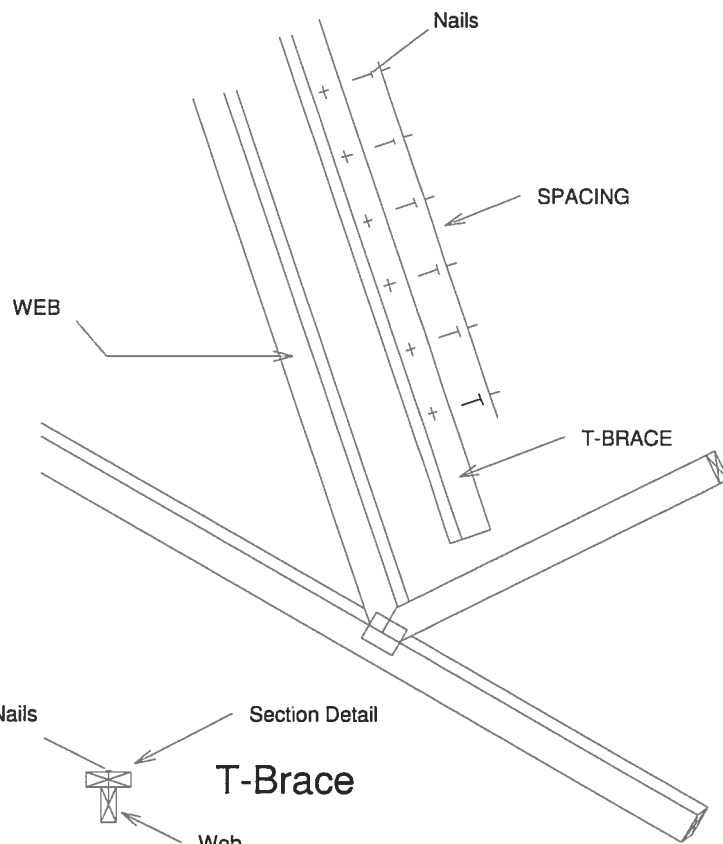
Brace Size for One-Ply Truss		
Specified Continuous Rows of Lateral Bracing		
Web Size	1	2

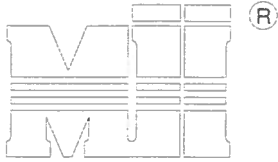
2x3 or 2x4	2x4 T-Brace	2x4 I-Brace
2x6	2x6 T-Brace	2x6 I-Brace
2x8	2x8 T-Brace	2x8 I-Brace

Brace Size for Two-Ply Truss		
Specified Continuous Rows of Lateral Bracing		
Web Size	1	2

2x3 or 2x4	2x4 T-Brace	2x4 I-Brace
2x6	2x6 T-Brace	2x6 I-Brace
2x8	2x8 T-Brace	2x8 I-Brace

T-Brace / I-Brace must be same species and grade (or better) as web member.

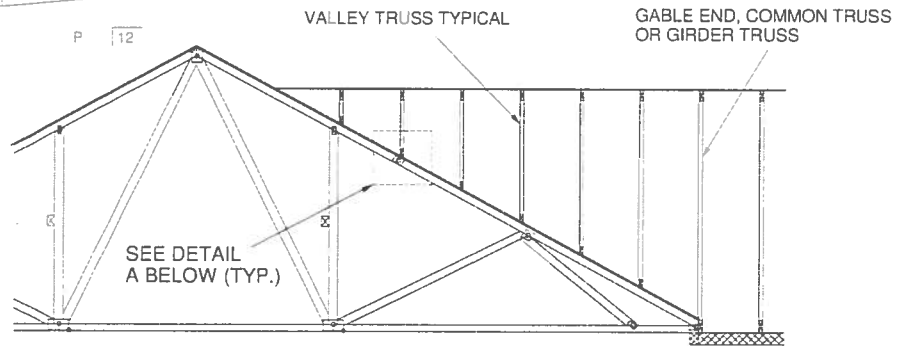
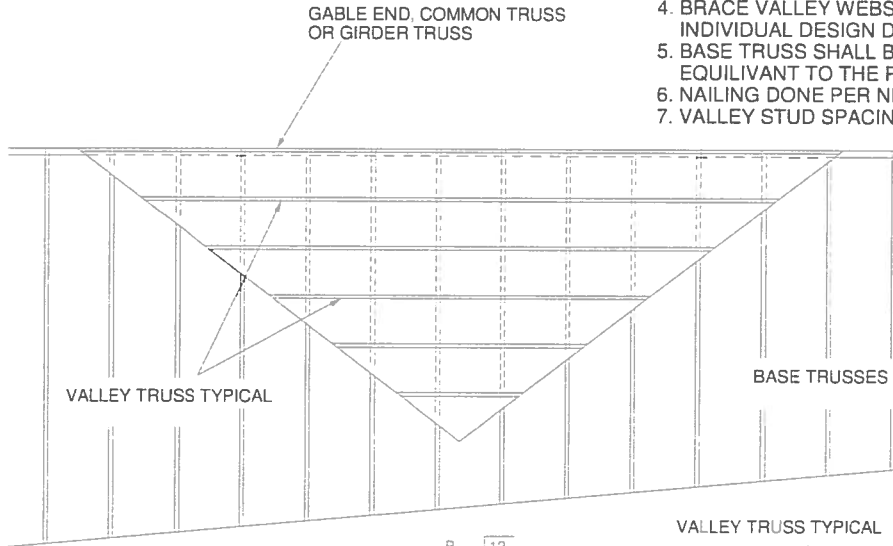




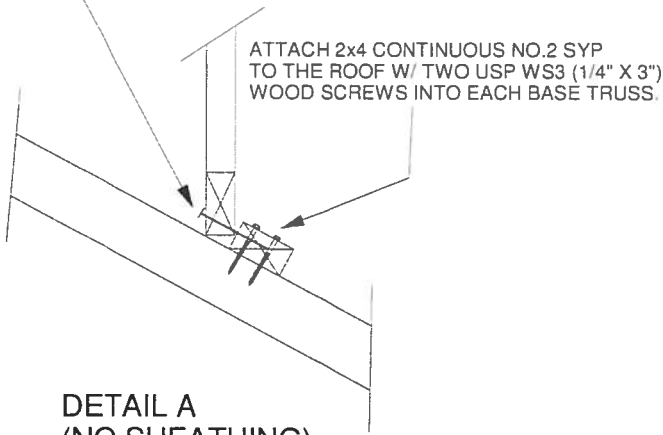
MiTek USA, Inc.

GENERAL SPECIFICATIONS

1. NAIL SIZE = 3" X 0.131" = 10d
2. WOOD SCREW = 3" WS3 USP OR EQUIVALENT
DO NOT USE DRYWALL OR DECKING TYPE SCREW
3. INSTALL VALLEY TRUSSES (24" O.C. MAXIMUM) AND SECURE PER DETAIL A
4. BRACE VALLEY WEBS IN ACCORDANCE WITH THE INDIVIDUAL DESIGN DRAWINGS.
5. BASE TRUSS SHALL BE DESIGNED WITH A PURLIN SPACING EQUIVALENT TO THE RAKE DIMENSION OF THE VALLEY TRUSS SPACING.
6. NAILING DONE PER NDS - 01
7. VALLEY STUD SPACING NOT TO EXCEED 48" O.C.

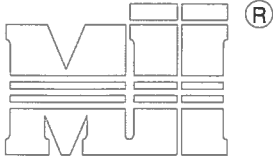


SECURE VALLEY TRUSS
W/ ONE ROW OF 10d
NAILS 6" O.C.



DETAIL A
(NO SHEATHING)
N.T.S.

WIND DESIGN PER ASCE 7-98, ASCE 7-02, ASCE 7-05 146 MPH
 WIND DESIGN PER ASCE 7-10 160 MPH
 MAX MEAN ROOF HEIGHT = 30 FEET
 ROOF PITCH = MINIMUM 3/12 MAXIMUM 6/12
 CATEGORY II BUILDING
 EXPOSURE C
 WIND DURATION OF LOAD INCREASE : 1.60
 MAX TOP CHORD TOTAL LOAD = 50 PSF
 MAX SPACING = 24" O.C. (BASE AND VALLEY)
 MINIMUM REDUCED DEAD LOAD OF 6 PSF
 ON THE TRUSSES



MiTek USA, Inc.

NOTES:

1. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 45 DEGREES WITH THE MEMBER AND MUST HAVE FULL WOOD SUPPORT. (NAIL MUST BE DRIVEN THROUGH AND EXIT AT THE BACK CORNER OF THE MEMBER END AS SHOWN).
2. THE END DISTANCE, EDGE DISTANCE, AND SPACING OF NAILS SHALL BE SUCH AS TO AVOID UNUSUAL SPLITTING OF THE WOOD.
3. ALLOWABLE VALUE SHALL BE THE LESSER VALUE OF THE TWO SPECIES FOR MEMBERS OF DIFFERENT SPECIES.

TOE-NAIL SINGLE SHEAR VALUES PER NDS 2001 (lb/nail)

	DIAM.	SP	DF	HF	SPF	SPF-S
3.5" LONG	.131	88.0	80.6	69.9	68.4	59.7
	.135	93.5	85.6	74.2	72.6	63.4
	.162	108.8	99.6	86.4	84.5	73.8
3.25" LONG	.128	74.2	67.9	58.9	57.6	50.3
	.131	75.9	69.5	60.3	59.0	51.1
	.148	81.4	74.5	64.6	63.2	52.5

VALUES SHOWN ARE CAPACITY PER TOE-NAIL.
 APPLICABLE DURATION OF LOAD INCREASES MAY BE APPLIED.

EXAMPLE:

(3) - 16d NAILS (.162" diam. x 3.5") WITH SPF SPECIES BOTTOM CHORD

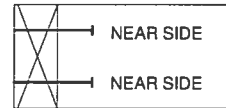
For load duration increase of 1.15:

3 (nails) X 84.5 (lb/nail) X 1.15 (DOL) = 291.5 lb Maximum Capacity

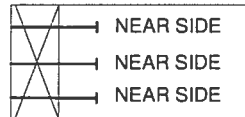
THIS DETAIL APPLICABLE TO THE THREE END DETAILS SHOWN BELOW

VIEWS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY

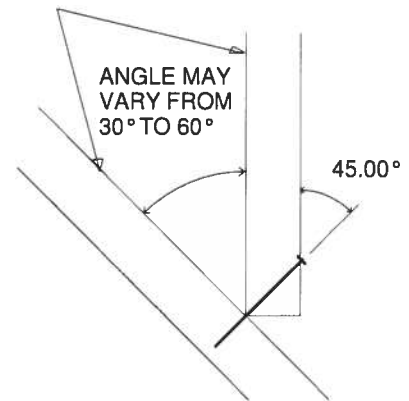
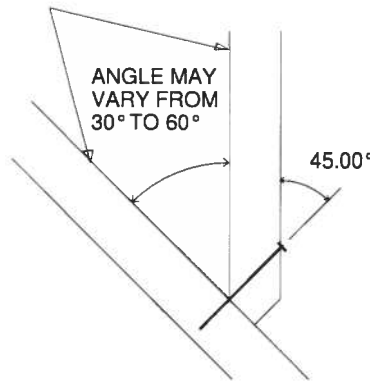
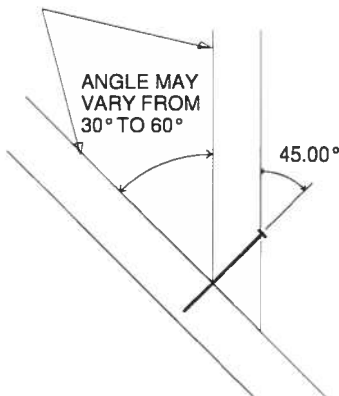
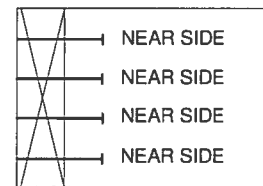
SIDE VIEW
(2x3)
2 NAILS

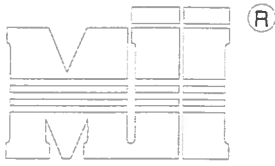


SIDE VIEW
(2x4)
3 NAILS



SIDE VIEW
(2x6)
4 NAILS



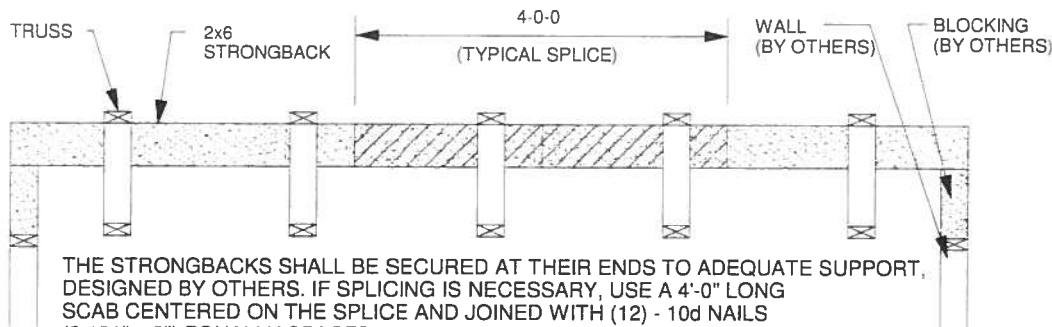
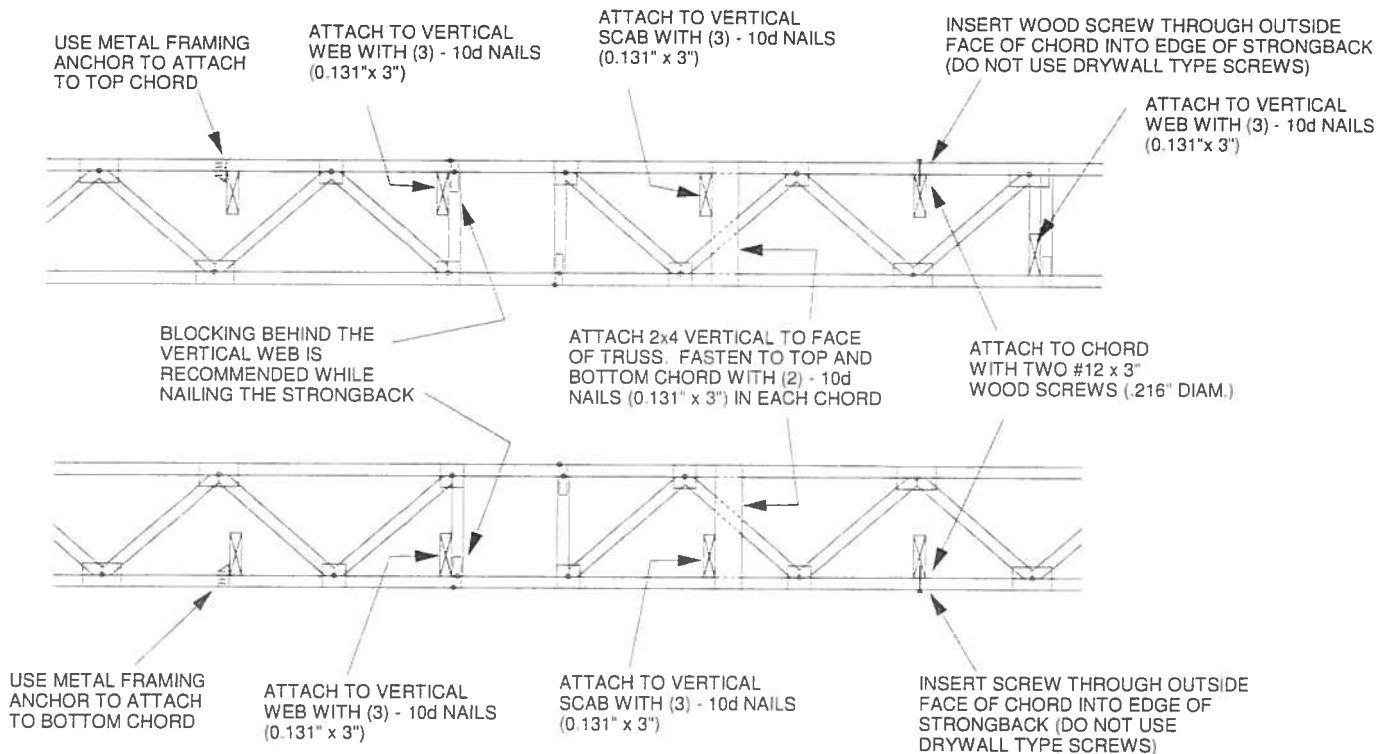


MiTek USA, Inc.

TO MINIMIZE VIBRATION COMMON TO ALL SHALLOW FRAMING SYSTEMS, 2x6 "STRONGBACK" IS RECOMMENDED, LOCATED EVERY 8 TO 10 FEET ALONG A FLOOR TRUSS.

NOTE 1: 2X6 STRONGBACK ORIENTED VERTICALLY MAY BE POSITIONED DIRECTLY UNDER THE TOP CHORD OR DIRECTLY ABOVE THE BOTTOM CHORD. SECURELY FASTENED TO THE TRUSS USING ANY OF THE METHODS ILLUSTRATED BELOW.

NOTE 2: STRONGBACK BRACING ALSO SATISFIES THE LATERAL BRACING REQUIREMENTS FOR THE BOTTOM CHORD OF THE TRUSS WHEN IT IS PLACED ON TOP OF THE BOTTOM CHORD, IS CONTINUOUS FROM END TO END, CONNECTED WITH A METHOD OTHER THAN METAL FRAMING ANCHOR, AND PROPERLY CONNECTED, BY OTHERS, AT THE ENDS.



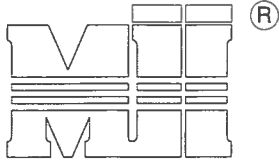
ALTERNATE METHOD OF SPLICING:
 OVERLAP STRONGBACK MEMBERS A MINIMUM OF 4'-0" AND FASTEN WITH (12) - 10d NAILS (0.131" x 3") STAGGERED AND EQUALLY SPACED.
 (TO BE USED ONLY WHEN STRONGBACK IS NOT ALIGNED WITH A VERTICAL)

FEBRUARY 14, 2012

STANDARD PIGGYBACK TRUSS CONNECTION DETAIL

ST-PIGGY-7-10

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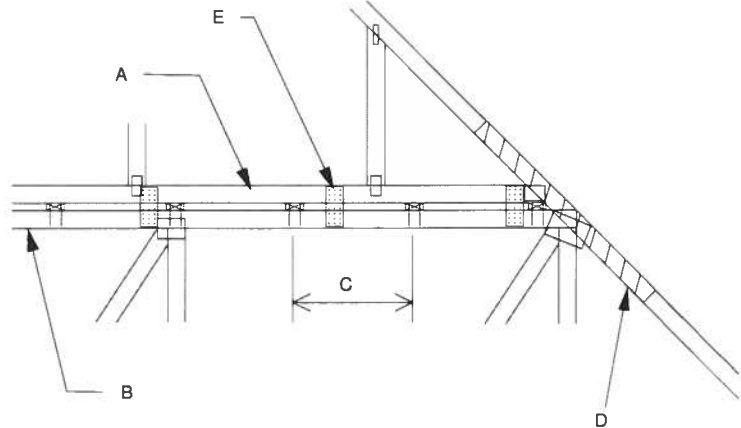


MiTek USA, Inc.

MAXIMUM WIND SPEED = REFER TO NOTES D AND OR E
 MAX MEAN ROOF HEIGHT = 30 FEET
 MAX TRUSS SPACING = 24" O.C.
 CATEGORY II BUILDING
 EXPOSURE B or C
 ASCE 7-10
 DURATION OF LOAD INCREASE : 1.60

DETAIL IS NOT APPLICABLE FOR TRUSSES TRANSFERRING DRAG LOADS (SHEAR TRUSSES). ADDITIONAL CONSIDERATIONS BY BUILDING ENGINEER/DESIGNER ARE REQUIRED.

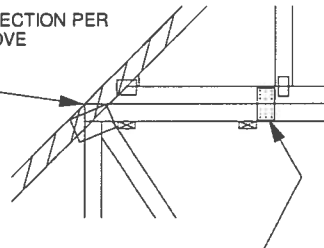
- A - PIGGYBACK TRUSS, REFER TO MITEK TRUSS DESIGN DRAWING. SHALL BE CONNECTED TO EACH PURLIN WITH (2) 0.131" X 3.5" TOE NAILED.
- B - BASE TRUSS, REFER TO MITEK TRUSS DESIGN DRAWING.
- C - PURLINS AT EACH BASE TRUSS JOINT AND A MAXIMUM 24" O.C. UNLESS SPECIFIED CLOSER ON MITEK TRUSS DESIGN DRAWING. CONNECT TO BASE TRUSS WITH (2) 0.131" X 3.5" NAILS EACH.
- D - 2 X $\frac{1}{2}$ " X 4'-0" SCAB, SIZE AND GRADE TO MATCH TOP CHORD OF PIGGYBACK TRUSS, ATTACHED TO ONE FACE, CENTERED ON INTERSECTION, WITH (2) ROWS OF 0.131" X 3" NAILS @ 4" O.C. SCAB MAY BE OMITTED PROVIDED THE TOP CHORD SHEATHING IS CONTINUOUS OVER INTERSECTION AT LEAST 1 FT. IN BOTH DIRECTIONS AND:
 - 1. WIND SPEED OF 115 MPH OR LESS FOR ANY PIGGYBACK SPAN, OR
 - 2. WIND SPEED OF 116 MPH TO 160 MPH WITH A MAXIMUM PIGGYBACK SPAN OF 12 ft.
- E - FOR WIND SPEEDS BETWEEN 126 AND 160 MPH, ATTACH MITEK 3X8 20 GA Nail-On PLATES TO EACH FACE OF TRUSSES AT 72" O.C. W/ (4) 0.131" X 1.5" PER MEMBER. STAGGER NAILS FROM OPPOSING FACES. ENSURE 0.5" EDGE DISTANCE. (MIN. 2 PAIRS OF PLATES REQ. REGARDLESS OF SPAN)



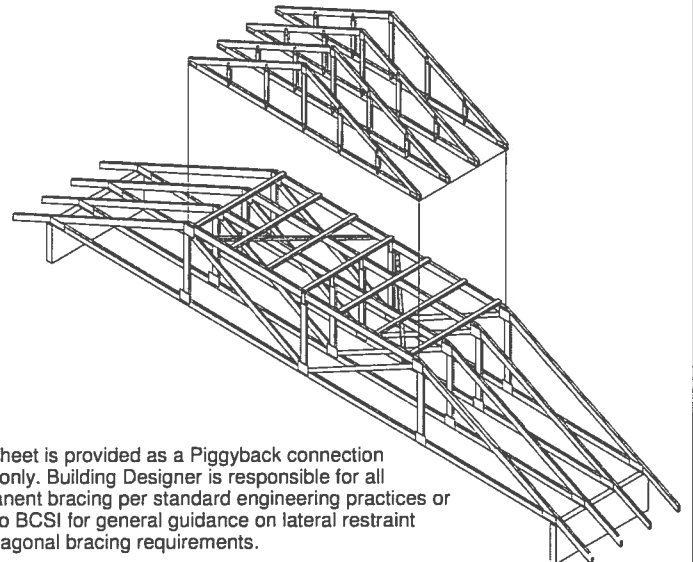
WHEN NO GAP BETWEEN PIGGYBACK AND BASE TRUSS EXISTS:

REPLACE TOE NAILING OF PIGGYBACK TRUSS TO PURLINS WITH Nail-On PLATES AS SHOWN, AND INSTALL PURLINS TO BOTTOM EDGE OF BASE TRUSS TOP CHORD AT SPECIFIED SPACING SHOWN ON BASE TRUSS MITEK DESIGN DRAWING.

SCAB CONNECTION PER NOTE D ABOVE

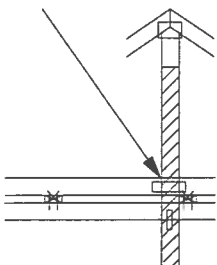


FOR ALL WIND SPEEDS, ATTACH MITEK 3X6 20 GA Nail-On PLATES TO EACH FACE OF TRUSSES AT 48" O.C. W/ (4) 0.131" X 1.5" PER MEMBER. STAGGER NAILS FROM OPPOSING FACES ENSURE 0.5" EDGE DISTANCE.



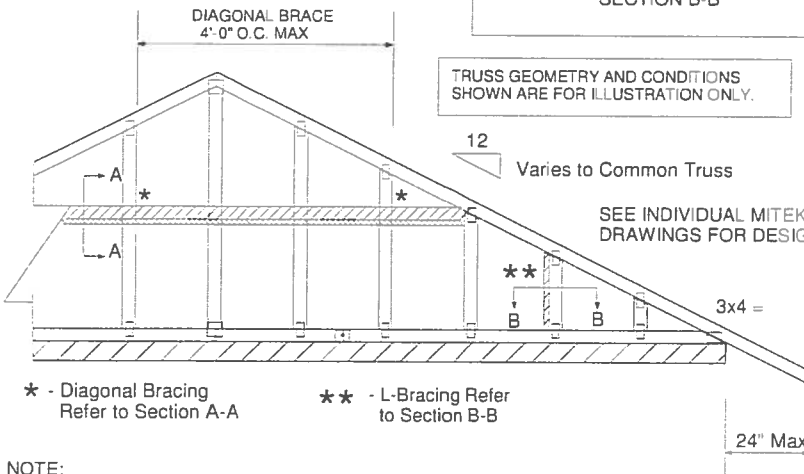
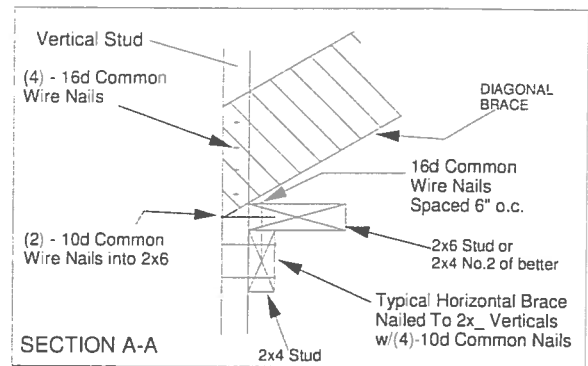
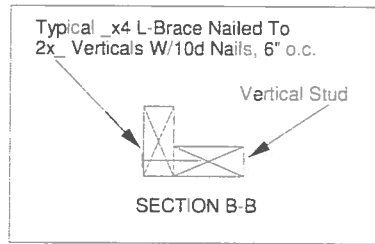
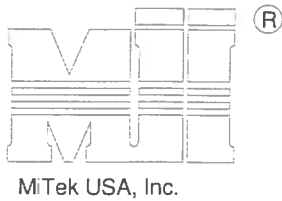
This sheet is provided as a Piggyback connection detail only. Building Designer is responsible for all permanent bracing per standard engineering practices or refer to BCSI for general guidance on lateral restraint and diagonal bracing requirements.

VERTICAL WEB TO EXTEND THROUGH BOTTOM CHORD OF PIGGYBACK



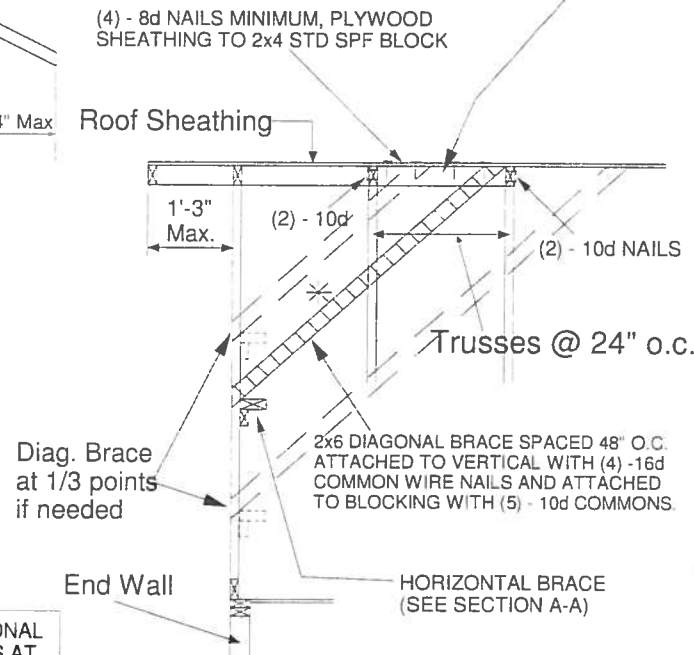
FOR LARGE CONCENTRATED LOADS APPLIED TO CAP TRUSS REQUIRING A VERTICAL WEB:

- 1) VERTICAL WEBS OF PIGGYBACK AND BASE TRUSS MUST MATCH IN SIZE, GRADE, AND MUST LINE UP AS SHOWN IN DETAIL.
- 2) ATTACH 2 x $\frac{1}{2}$ " x 4'-0" SCAB TO EACH FACE OF TRUSS ASSEMBLY WITH 2 ROWS OF 10d (0.131" X 3") NAILS SPACED 4" O.C. FROM EACH FACE. (SIZE AND GRADE TO MATCH VERTICAL WEBS OF PIGGYBACK AND BASE TRUSS.) (MINIMUM 2X4)
- 3) THIS CONNECTION IS ONLY VALID FOR A MAXIMUM CONCENTRATED LOAD OF 4000 LBS (@1.15). REVIEW BY A QUALIFIED ENGINEER IS REQUIRED FOR LOADS GREATER THAN 4000 LBS.
- 4) FOR PIGGYBACK TRUSSES CARRYING GIRDER LOADS, NUMBER OF PLYS OF PIGGYBACK TRUSS TO MATCH BASE TRUSS.
- 5) CONCENTRATED LOAD MUST BE APPLIED TO BOTH THE PIGGYBACK AND THE BASE TRUSS DESIGN.



* - Diagonal Bracing Refer to Section A-A
 ** - L-Bracing Refer to Section B-B

- NOTE:
1. MINIMUM GRADE OF #2 MATERIAL IN THE TOP AND BOTTOM CHORDS.
 2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL TO BE PROVIDED BY PROJECT ENGINEER OR ARCHITECT.
 3. BRACING SHOWN IS FOR INDIVIDUAL TRUSS ONLY. CONSULT BLDG. ARCHITECT OR ENGINEER FOR TEMPORARY AND PERMANENT BRACING OF ROOF SYSTEM.
 4. "L" BRACES SPECIFIED ARE TO BE FULL LENGTH. GRADES: 1x4 SRB OR 2x4 STUD OR BETTER WITH ONE ROW OF 10d NAILS SPACED 6" O.C.
 5. DIAGONAL BRACE TO BE APPROXIMATELY 45 DEGREES TO ROOF DIAPHRAM AT 4'-0" O.C.
 6. CONSTRUCT HORIZONTAL BRACE CONNECTING A 2x6 STUD AND A 2x4 STUD AS SHOWN WITH 16d NAILS SPACED 6" O.C. HORIZONTAL BRACE TO BE LOCATED AT THE MIDSPAN OF THE LONGEST STUD. ATTACH TO VERTICAL STUDS WITH (4) 10d NAILS THROUGH 2x4. (REFER TO SECTION A-A)
 7. GABLE STUD DEFLECTION MEETS OR EXCEEDS L/240.
 8. THIS DETAIL DOES NOT APPLY TO STRUCTURAL GABLES.
 9. DO NOT USE FLAT BOTTOM CHORD GABLES NEXT TO SCISSOR TYPE TRUSSES.

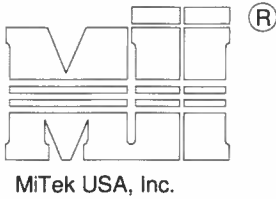


Minimum Stud Size Species and Grade	Stud Spacing	Without Brace	1x4 L-Brace	2x4 L-Brace	DIAGONAL BRACE	2 DIAGONAL BRACES AT 1/3 POINTS
2x4 SPF Std/Stud	12" O.C.	4-0-7	4-3-2	6-0-4	8-0-15	12-1-6
2x4 SPF Std/Stud	16" O.C.	3-7-0	3-8-4	5-2-10	7-1-15	10-8-15
2x4 SPF Std/Stud	24" O.C.	2-11-1	3-0-2	4-3-2	5-10-3	8-9-4

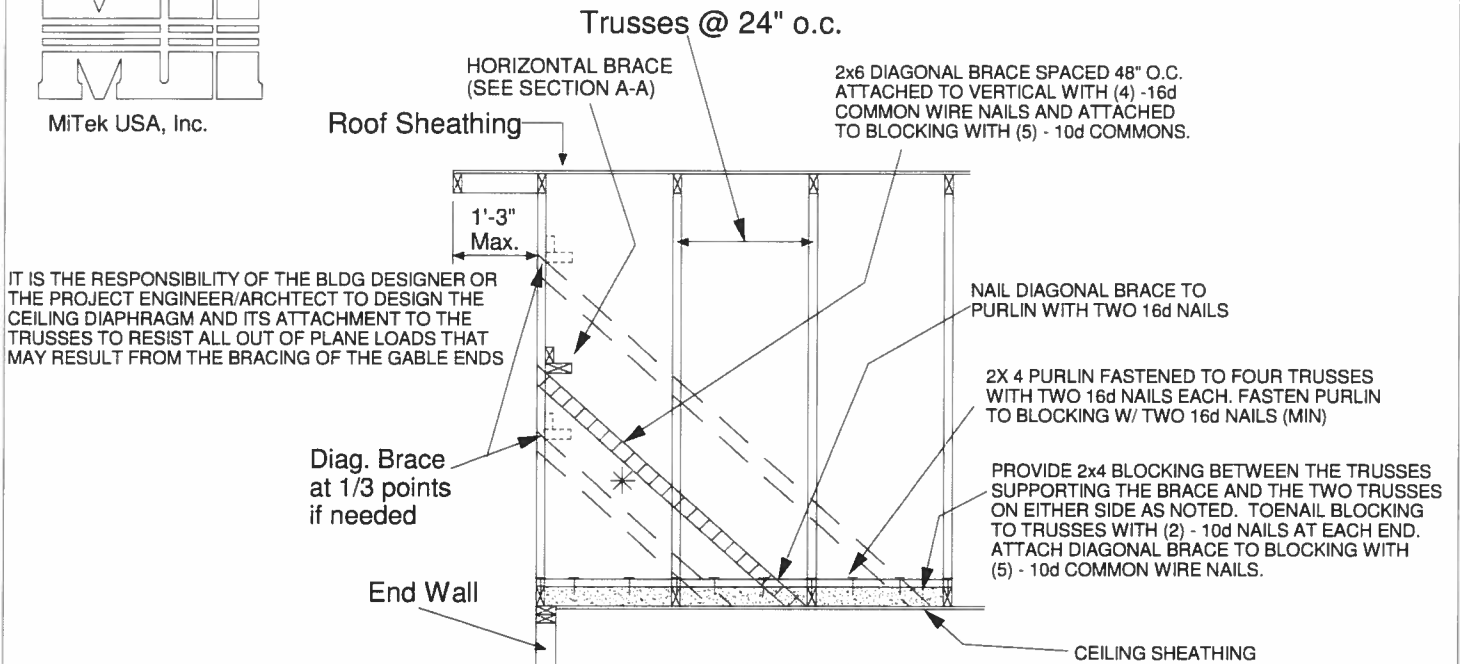
* Diagonal braces over 6'-3" require a 2x4 T-Brace attached to one edge. Diagonal braces over 12'-6" require 2x4 I-braces attached to both edges. Fasten T and I braces to narrow edge of web with 10d common wire nails 8in o.c., with 3in minimum end distance. Brace must cover 90% of diagonal length.

MAX MEAN ROOF HEIGHT = 30 FEET
 CATEGORY II BUILDING
 EXPOSURE B or C
 ASCE 7-98, ASCE 7-02, ASCE 7-05 130 MPH
 ASCE 7-10 160 MPH
 DURATION OF LOAD INCREASE : 1.60

STUD DESIGN IS BASED ON COMPONENTS AND CLADDING.
 CONNECTION OF BRACING IS BASED ON MWFRS.



ALTERNATE DIAGONAL BRACING TO THE BOTTOM CHORD



BRACING REQUIREMENTS FOR STRUCTURAL GABLE TRUSSES

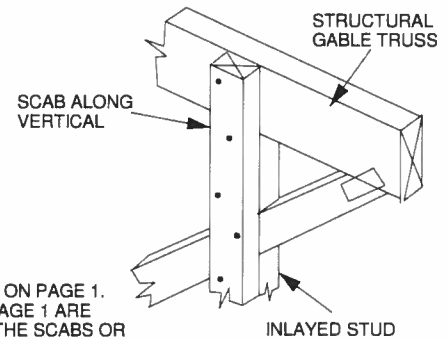
STRUCTURAL GABLE TRUSSES MAY BE BRACED AS NOTED:

METHOD 1 : ATTACH A MATCHING GABLE TRUSS TO THE INSIDE FACE OF THE STRUCTURAL GABLE AND FASTEN PER THE FOLLOWING NAILING SCHEDULE.

METHOD 2 : ATTACH 2X SCABS TO THE FACE OF EACH VERTICAL MEMBER ON THE STRUCTURAL GABLE PER THE FOLLOWING NAILING SCHEDULE. SCABS ARE TO BE OF THE SAME SIZE, GRADE AND SPECIES AS THE TRUSS VERTICALS

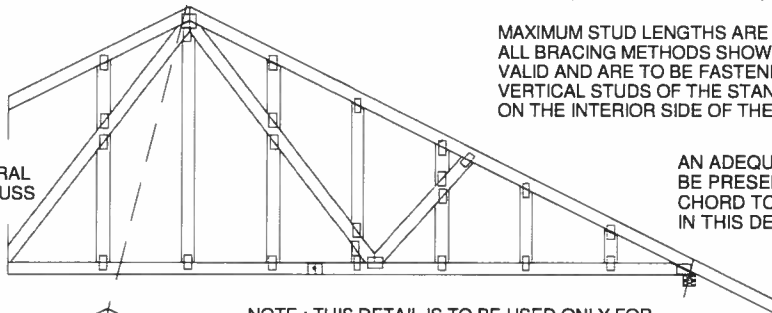
NAILING SCHEDULE:

- FOR WIND SPEEDS 120 MPH (ASCE 7-98, 02, 05), 150 MPH (ASCE 7-10) OR LESS, NAIL ALL MEMBERS WITH ONE ROW OF 10d (.131" X 3") NAILS SPACED 6" O.C.
- FOR WIND SPEEDS GREATER 120 MPH (ASCE 7-98, 02, 05), 150 MPH (ASCE 7-10) NAIL ALL MEMBERS WITH TWO ROWS OF 10d (.131" X 3") NAILS SPACED 6" O.C. (2X 4 STUDS MINIMUM)



MAXIMUM STUD LENGTHS ARE LISTED ON PAGE 1. ALL BRACING METHODS SHOWN ON PAGE 1 ARE VALID AND ARE TO BE FASTENED TO THE SCABS OR VERTICAL STUDS OF THE STANDARD GABLE TRUSS ON THE INTERIOR SIDE OF THE STRUCTURE.

STRUCTURAL GABLE TRUSS



AN ADEQUATE DIAPHRAGM OR OTHER METHOD OF BRACING MUST BE PRESENT TO PROVIDE FULL LATERAL SUPPORT OF THE BOTTOM CHORD TO RESIST ALL OUT OF PLANE LOADS. THE BRACING SHOWN IN THIS DETAIL IS FOR THE VERTICAL/STUDS ONLY.

NOTE : THIS DETAIL IS TO BE USED ONLY FOR STRUCTURAL GABLES WITH INLAYS STUDS. TRUSSES WITHOUT INLAYS STUDS ARE NOT ADDRESSED HERE.

