

2nd main drive, barn on Southside Clay 386-288-8895 #2608 house

**Columbia County Property Appraiser**

Jeff Hampton

**2019 Preliminary Certified Values**

updated: 8/14/2019

Parcel: << 27-4S-17-08752-000 >>

Aerial Viewer Pictometry Google Maps

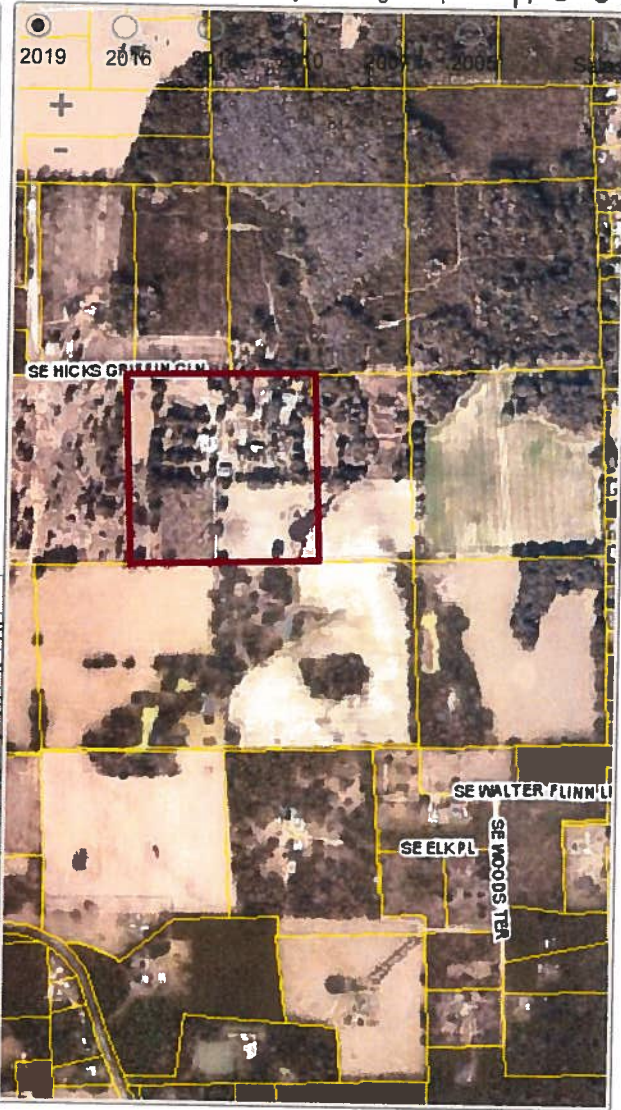
#38628

**Owner & Property Info**

Result: 1 of 1

Owner	JW 3 LLC P O BOX 1546 LAKE CITY, FL 32056		
Site	632 HICKS GRIFFIN WAY, LAKE CITY		
Description*	N1/2 OF NE1/4 & NE1/4 OF NW1/4 EX RD & EX NE1/4 OF NW1/4 & W1/2 OF NW1/4 OF NE1/4 & E1/2 OF NE1/4 OF NE1/4. ORB 350-494-508, 787-1562, 793-1594, WD 1071- 1508.		
Area	40.04 AC	S/T/R	27-4S-17
Use Code**	IMPROVED A (005000)	Tax District	3

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.  
 \*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



**Property & Assessment Values**

2018 Certified Values		2019 Preliminary Certified	
Mkt Land (1)	\$3,965	Mkt Land (1)	\$3,965
Ag Land (1)	\$9,291	Ag Land (1)	\$9,564
Building (1)	\$47,472	Building (1)	\$57,053
XFOB (6)	\$47,531	XFOB (6)	\$47,531
Just	\$280,057	Just	\$289,638
Class	\$108,259	Class	\$118,113
Appraised	\$108,259	Appraised	\$118,113
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$108,259	Assessed	\$118,113
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$108,259 city:\$108,259 other:\$108,259 school:\$108,259	Total Taxable	county:\$118,113 city:\$118,113 other:\$118,113 school:\$118,113

**Sales History**

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
12/23/2013	\$0	1267/2716	WD	I	U	30
12/23/2013	\$0	1267/2715	WD	I	U	30
1/19/2006	\$196,800	1071/1508	WD	I	U	08
7/19/1994	\$0	793/1594	PR	I	U	11

**Building Characteristics**

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	1942	2060	3082	\$57,053

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

**Extra Features & Out Buildings (Codes)**

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
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STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO - 19-0693  
DATE PAID: 9/10/19  
FEE PAID: 105.00  
RECEIPT #: 1453749

APPLICATION FOR:

- New System       Existing System       Holding Tank       Innovative
- Repair             Abandonment         Temporary         Power Pole

APPLICANT: JW 3 LLC

AGENT: Jeff Willis      TELEPHONE: 356-288-8895

MAILING ADDRESS: 632 SE Hicks Griffin Glen  
Lake City FL 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_ PLATTED: \_\_\_\_\_

PROPERTY ID #: 27-45-17-08752-000 ZONING: Ag I/M OR EQUIVALENT: [ Y / N ]

PROPERTY SIZE: 40 ACRES WATER SUPPLY: [  ] PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y /  N ] DISTANCE TO SEWER: N/A FT

PROPERTY ADDRESS: 632 SE Hicks Griffin Glen Lake City FL 32025

DIRECTIONS TO PROPERTY: 41 S turn (L) on Race Track Rd, turn (R) on Old Country Club, turn (L) on Hicks Griffin Glen follow drive through metal double gates

BUILDING INFORMATION       RESIDENTIAL      [ ] COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>Barn-Agriculture</u>	<u>N/A</u>		
2				
3				
4				

[ ] Floor/Equipment Drains      [ ] Other (Specify) \_\_\_\_\_

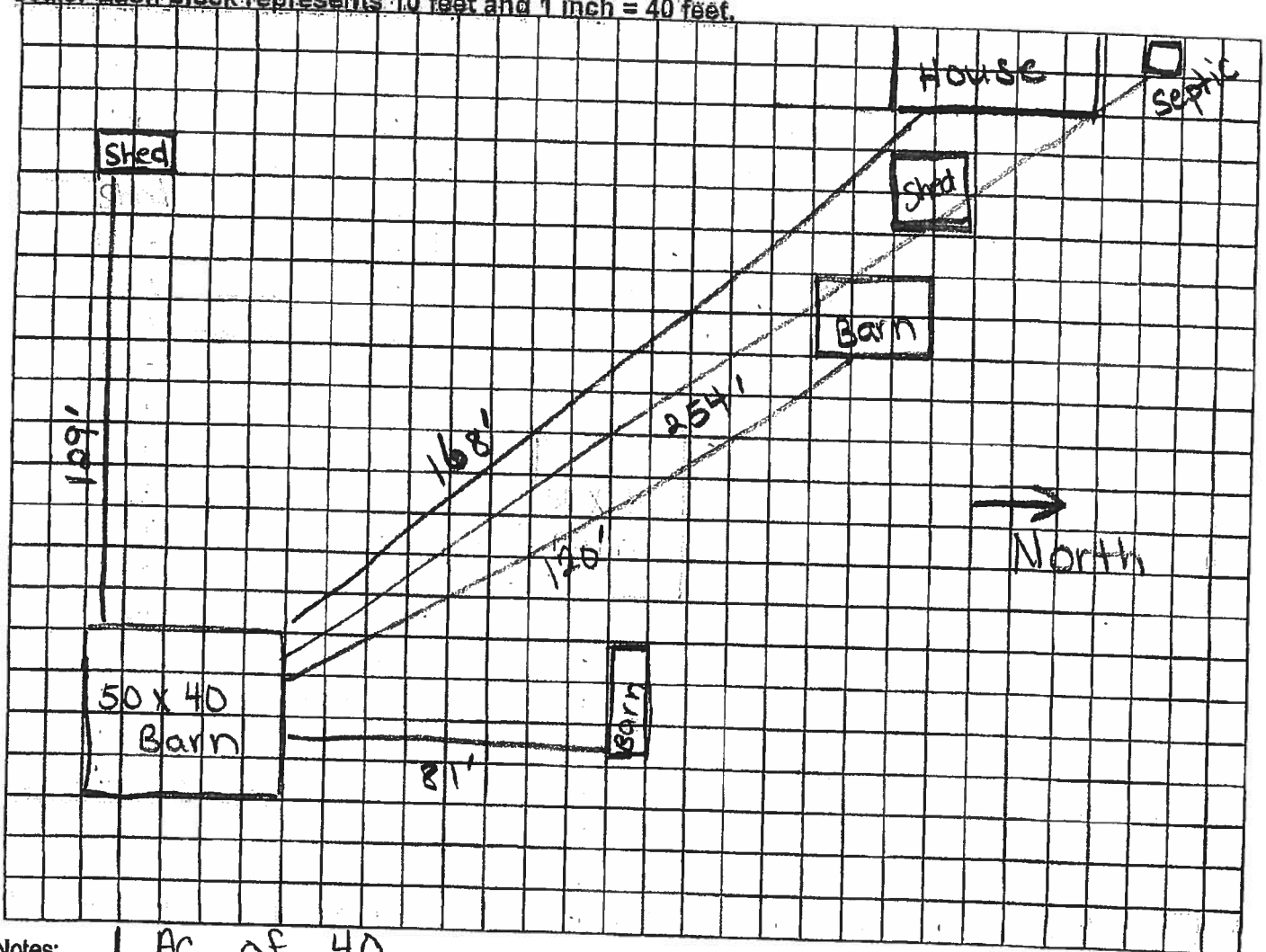
SIGNATURE: Jeff Willis      DATE: 9/10/19

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 19-0693

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes: 1 AC of 40

Site Plan submitted by: Jeff Wilkin

Plan Approved [Signature]

By [Signature]

TITLE Owner DATE: 9/10/19

Date 9/17/19

Not Approved  
**Columbia CHD**

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Detail By Document Number](#) /

## Detail by Entity Name

Florida Limited Liability Company

JW 3 LLC

### Filing Information

**Document Number** L12000139252  
**FEI/EIN Number** 46-1780100  
**Date Filed** 11/02/2012  
**Effective Date** 10/30/2012  
**State** FL  
**Status** ACTIVE

### Principal Address

4557 SOUTH US HIGHWAY 441  
 LAKE CITY, FL 32025

### Mailing Address

P O BOX 1546  
 LAKE CITY, FL 32056

### Registered Agent Name & Address

WILLIS, JEFF M  
 4557 SOUTH US HIGHWAY 441  
 LAKE CITY, FL 32025

### Authorized Person(s) Detail

#### **Name & Address**

Title MGRM

WILLIS, JEFF M  
 4557 SO US HIGHWAY 441  
 LAKE CITY, FL 32025

Title LIMITED MEMBER

JDWF LLC  
 4557 SO US HIGHWAY 441  
 LAKE CITY, FL 32025

### Annual Reports

<b>Report Year</b>	<b>Filed Date</b>
2017	01/26/2017
2018	04/17/2018



**LIEN SEARCH PROFESSIONALS, INC.**

2200 W. Commercial Blvd, Suite 100  
Ft. Lauderdale, Florida 33309  
Fax: 954-843-9874

September 13, 2019

Columbia County  
Permit Dept  
Phone: (386) 758-1008  
Fax: (386) 758-2160

Client File No: 19-8780  
Seller: Wilmington Savings Fund Society, PSB, d/b/a Christiana Trust, not individually but as Trustee for Pretium Mortgage Acquisition Trust  
Buyer: Juan Salazar  
Address: 176 NE Labelle Terrace, Lake City, FL 32055  
Parcel ID: 28-3S-17-05809-000

**Lot 5, in Block 14, of CAROLYN HEIGHTS SUBDIVISION, according to the revised Plat thereof, recorded in Plat Book 3, Page 57, Public Records of Columbia County, Florida.**

Dear Sir or Madam:

Our client has been selected as the closing agent for the above referenced transaction. Please advise if you have any outstanding, pending and/or certified liens, special assessments, open/outstanding balances and/or open/pending/expired permits or code violations for the subject property. Please include a detailed statement/account history.

**Please email the requested information to me at [orders@liensearchprof.com](mailto:orders@liensearchprof.com).**

Thank you in advance for your assistance with this matter. If you have any further questions, please contact me at [orders@liensearchprof.com](mailto:orders@liensearchprof.com).

Sincerely,  
Bonnie Newman  
(954) 915-8450 ext. 128

**Columbia County Building Dept.**  
No Open or Expired Permits  
Name: Ms Salazar  
Date: 9/19/19

Lien Search Professionals, Inc.

**For City Use**

Municipality services Water  yes  no Sewer  yes  no Garbage  yes  no

Acct: # \_\_\_\_\_ Acct Name: \_\_\_\_\_

Balance due \_\_\_\_\_ for service dates from \_\_\_\_\_ to \_\_\_\_\_

Good thru date \_\_\_\_\_ (attached ledger reflecting amounts due from zero forward)

Payment mail to: \_\_\_\_\_

Customer Service Representative: \_\_\_\_\_ date \_\_\_\_\_