

DATE 03/14/2013

Columbia County Building Permit
This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000030848

APPLICANT MATTHEW A. ERKINGER PHONE 386.754.5555
ADDRESS 248 SE NASSAU STREET LAKE CITY FL 32025
OWNER LARRY & SHEILA COLLIER PHONE 954.558.0451
ADDRESS 9794 SW CR 240 LAKE CITY FL 32024
CONTRACTOR MATTHEW A. ERKINGER PHONE 386.754.5555
LOCATION OF PROPERTY 47-S TO C-240,TR AND IT'S APPROX. 3.7 MILES ON THE L.

TYPE DEVELOPMENT ADDITION/SFD ESTIMATED COST OF CONSTRUCTION 19800.00
HEATED FLOOR AREA 396.00 TOTAL AREA 396.00 HEIGHT 13.00 STORIES 1
FOUNDATION CONC WALLS FRAMED ROOF PITCH 5'12 FLOOR CONC
LAND USE & ZONING A-3 MAX. HEIGHT 35
Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
NO. EX.D.U. 1 FLOOD ZONE X DEVELOPMENT PERMIT NO.

PARCEL ID 18-5S-16-03644-103 SUBDIVISION WHITE OAK PLANTATION
LOT 3 BLOCK PHASE UNIT TOTAL ACRES 5.00

RR0067135
Culvert Permit No. Culvert Waiver Contractor's License Number Applicant/Owner/Contractor
EXISTING 13-0082-E BLK TC N
Driveway Connection Septic Tank Number LU & Zoning checked by Approved for Issuance New Resident

COMMENTS: NOC ON FILE.

Check # or Cash 9023

FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power Foundation Monolithic
Under slab rough-in plumbing Slab Sheathing/Nailing
Framing Insulation
Rough-in plumbing above slab and below wood floor Electrical rough-in
Heat & Air Duct Peri. beam (Lintel) Pool
Permanent power C.O. Final Culvert
Pump pole Utility Pole M/H tie downs, blocking, electricity and plumbing
Reconnection RV Re-roof

BUILDING PERMIT FEE \$ 100.00 CERTIFICATION FEE \$ 1.98 SURCHARGE FEE \$ 1.98
MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$
FLOOD DEVELOPMENT FEE \$ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ TOTAL FEE 178.96
INSPECTORS OFFICE CLERKS OFFICE

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NOTICE: ALL OTHER APPLICABLE STATE OR FEDERAL PERMITS SHALL BE OBTAINED BEFORE COMMENCEMENT OF THIS PERMITTED DEVELOPMENT.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

**Columbia County Building Permit Application**

<b>For Office Use Only</b>		Application # <u>B03-0A</u>	Date Received <u>3/4</u>	By <u>JW</u>	Permit # <u>30848</u>
Zoning Official <u>BLK</u>	Date <u>13 March 2013</u>	Flood Zone <u>X</u>	Land Use <u>A-3</u>	Zoning <u>A-3</u>	
FEMA Map # <u>N/A</u>	Elevation <u>N/A</u>	MFE <u>N/A</u>	River <u>N/A</u>	Plans Examiner <u>T.C.</u>	Date <u>3-12-13</u>
<b>Comments</b>					
<input checked="" type="checkbox"/> NOC	<input checked="" type="checkbox"/> DEH	<input checked="" type="checkbox"/> Deed or PA	<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> State Road Info	<input checked="" type="checkbox"/> Well letter
<input type="checkbox"/> Dev Permit # _____	<input type="checkbox"/> In Floodway	<input type="checkbox"/> Letter of Auth. from Contractor	<input type="checkbox"/> F W Comp. letter	<input type="checkbox"/> 911 Sheet	<input type="checkbox"/> Parent Parcel # _____
<b>IMPACT FEES:</b> EMS _____		Fire _____	Corr _____	<input checked="" type="checkbox"/> Sub VF Form	
Road/Code _____	School _____	= TOTAL (Suspended) _____		<input checked="" type="checkbox"/> App Fee Paid	

Septic Permit No. B30082-E Fax 386-719-9899

Name Authorized Person Signing Permit Matthew A. ERKINGER Phone 386-719-9899

Address 248 SE Nassau St, Lake City, FL 32025

Owners Name Larry & Sheila Collier Phone 954-558-0451

911 Address 9794<sup>SW</sup> CR 240, Lake City, FL 32024

Contractors Name ERKINGER, MATTHEW Phone 386-754-5555

Address 248 SE Nassau St, Lake City, FL 32025

Fee Simple Owner Name & Address

Bonding Co. Name & Address

Architect/Engineer Name & Address Mark Disoswan, 163 SW Midtown Pl #103

Mortgage Lenders Name & Address

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 18-55-16-03644-103 Estimated Cost of Construction \$23,000

Subdivision Name White Oak Plantation Lot 3 Block \_\_\_\_\_ Unit \_\_\_\_\_ Phase \_\_\_\_\_

Driving Directions Take US-47 South 8 miles. Turn Right on CR240. Drive 3.7 - home is on the left.

Number of Existing Dwellings on Property 1

Construction of Addition to <sup>SFD</sup> \_\_\_\_\_ Total Acreage 5 Lot Size 621' X 358'

Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 13'

Actual Distance of Structure from Property Lines - Front 500' +/- Side 100' +/- Side 100' +/- Rear 400' +/-

Number of Stories 1 <sup>Addition</sup> Heated Floor Area 396 Total Floor Area 396 Roof Pitch 5/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE:** Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code. Page 1 of 2 (Both Pages must be submitted together.) Revised 1-11

*JW spoke with Matt. 3.13.13 #9023+*

**Columbia County Building Permit Application**

**TIME LIMITATIONS OF APPLICATION :** An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

**TIME LIMITATIONS OF PERMITS:** Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

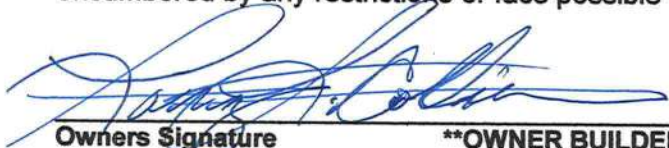
**FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment:** According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

**NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE:** **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

**WARNING TO OWNER:** YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

**OWNERS CERTIFICATION:** I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

**NOTICE TO OWNER:** There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

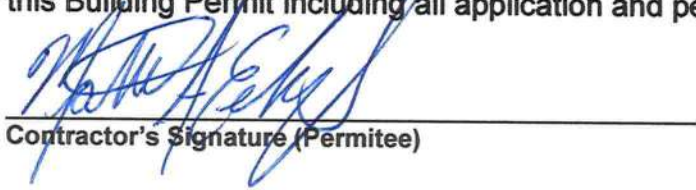
  
\_\_\_\_\_

(Owners Must Sign All Applications Before Permit Issuance.)

Owners Signature

**\*\*OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.**

**CONTRACTORS AFFIDAVIT:** By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

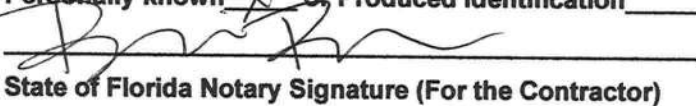
  
\_\_\_\_\_

Contractor's Signature (Permitee)

Contractor's License Number RR0067135  
Columbia County  
Competency Card Number 000154

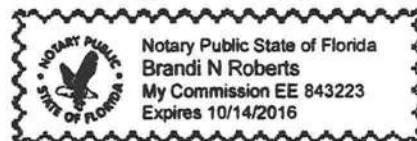
Affirmed under penalty of perjury to by the Contractor and subscribed before me this 10<sup>th</sup> day of February 20 13.

Personally known  or Produced Identification \_\_\_\_\_

  
\_\_\_\_\_

State of Florida Notary Signature (For the Contractor)

SEAL:



**SUBCONTRACTOR VERIFICATION FORM**

APPLICATION NUMBER 1303-04 CONTRACTOR ERKINGER Construction PHONE 754-5555

**THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT**

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

**Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.**

✓ <u>76</u> ELECTRICAL	Print Name <u>MARC Matthews</u> License #: <u>ER0014352</u>	Signature <u>[Signature]</u> Phone #: <u>386-344-2029</u>
✓ <u>1052</u> MECHANICAL/ A/C	Print Name <u>Richard Register</u> License #: <u>CAC04126T</u>	Signature <u>Richard C. Register</u> Phone #: <u>904-759-6750</u>
✓ <u>715</u> PLUMBING/ GAS	Print Name <u>Cody BARRS</u> License #: <u>CFC1427145</u>	Signature <u>[Signature]</u> Phone #: <u>386-623-0509</u>
✓ <u>1034</u> ROOFING	Print Name <u>Wally Powell (WALLACE)</u> License #: <u>CCC057307</u>	Signature <u>[Signature]</u> Phone #: <u>386-294-1755</u>
SHEET METAL	Print Name <u>N/A</u> License #:	Signature _____ Phone #:
FIRE SYSTEM/ SPRINKLER	Print Name <u>N/A</u> License#:	Signature _____ Phone #:
SOLAR	Print Name <u>N/A</u> License #:	Signature _____ Phone #:

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
✓ MASON	000097	Kennn Loudon	<u>[Signature]</u>
✓ CONCRETE FINISHER	000 <u>218</u>	TONY E JORDAN SE	<u>[Signature]</u>
✓ FRAMING	000035	David Ponton	<u>[Signature]</u>
✓ INSULATION	000240	Will Sikes	<u>[Signature]</u>
STUCCO		N/A	
✓ DRYWALL	001197	Earston Massie	<u>[Signature]</u>
PLASTER		N/A	
CABINET INSTALLER		N/A	
✓ PAINTING	<u>180</u>	SCOTT Vogel	<u>[Signature]</u>
ACOUSTICAL CEILING		N/A	
GLASS		N/A	
✓ CERAMIC TILE	000651	Wayne Wallace	<u>[Signature]</u>
FLOOR COVERING		N/A	
✓ ALUM/VINYL SIDING	000312	Paul Phinney	<u>[Signature]</u>
GARAGE DOOR		N/A	
METAL BLDG ERECTOR		N/A	

**F. S. 440.103 Building permits; identification of minimum premium policy.**--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

180,000.00  
DOC 1260.00

**This Instrument Prepared by & return to:**  
Name: **TRISH LANG, an employee of  
NORTH CENTRAL FLORIDA TITLE,  
LLC**  
Address: **343 NW COLE TERRACE, SUITE 101  
LAKE CITY, FLORIDA 32055  
File No. 12Y-07018TL**

Inst: 201212013474 Date: 9/10/2012 Time: 3:34 PM  
Doc Stamp-Deed: 1260.00  
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B: 1241 P: 767

Parcel I.D. #: **03644-103**

SPACE ABOVE THIS LINE FOR PROCESSING DATA

SPACE ABOVE THIS LINE FOR RECORDING DATA

**THIS WARRANTY DEED** Made the 7th day of September, A.D. 2012, by **GALE L. GAYHEART, A SINGLE PERSON**, hereinafter called the grantor, to **LARRY L. COLLIER and SHEILA D. COLLIER, HIS WIFE**, whose post office address is **2074 SW 173RD AVE, MIRAMAR, FLORIDA 33029**, hereinafter called the grantees:

*(Wherever used herein the terms "grantor" and "grantees" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)*

**Witnesseth:** That the grantor, for and in consideration of the sum of \$10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantees all that certain land situate in Columbia County, State of Florida, viz:

Lot 3, White Oak Plantation, a subdivision, according to the plat thereof, recorded in Plat Book 6, Page 181, of the Public Records of Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold the same in fee simple forever.

And the grantor hereby covenants with said grantees that she is lawfully seized of said land in fee simple; that she has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2012.

In Witness Whereof, the said grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Beverly Scott  
Witness Signature  
BEVERLY Scott  
Printed Name

Gale L. Gayheart L.S.  
GALE L. GAYHEART  
Address:  
9794 SW CR 240, LAKE CITY, FLORIDA 32024

Tom Beauchamp  
Witness Signature  
Tom Beauchamp  
Printed Name

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 7th day of September, 2012, by **GALE L. GAYHEART**, who is known to me or who has produced Driver License as identification.

Bonita Hadwin  
Notary Public  
My commission expires \_\_\_\_\_



# Columbia County Property Appraiser

CAMA updated: 2/1/2013

**2012 Tax Year**

**Parcel:** 18-5S-16-03644-103

<< Next Lower Parcel    Next Higher Parcel >>

Tax Collector

Tax Estimator

Property Card

Parcel List Generator

Interactive GIS Map

Print

<< Prev    Search Result: 6 of 15    Next >>

## Owner & Property Info

<b>Owner's Name</b>	COLLIER LARRY L & SHEILA D		
<b>Mailing Address</b>	2074 SW 173RD AVE MIRAMAR, FL 33029		
<b>Site Address</b>	9794 SW COUNTY ROAD 240		
<b>Use Desc. (code)</b>	SINGLE FAM (000100)		
<b>Tax District</b>	3 (County)	<b>Neighborhood</b>	18516
<b>Land Area</b>	5.010 ACRES	<b>Market Area</b>	02
<b>Description</b>	NOTE: This description is not to be used as the Legal Description for this parcel in any legal transaction. LOT 3 WHITE OAK PLANTATION S/D ORB 863-879, 873-1471, 908-2220, WD 1241-767,		



## Property & Assessment Values

2012 Certified Values		
Mkt Land Value	cnt: (0)	\$28,000.00
Ag Land Value	cnt: (1)	\$0.00
Building Value	cnt: (1)	\$114,549.00
XFOB Value	cnt: (2)	\$1,399.00
<b>Total Appraised Value</b>		<b>\$143,948.00</b>
<b>Just Value</b>		<b>\$143,948.00</b>
Class Value		\$0.00
Assessed Value		\$129,622.00
Exempt Value	(code: HX H3)	\$50,000.00
<b>Total Taxable Value</b>		<b>Cnty: \$79,622 Other: \$79,622   Schl: \$104,622</b>

## 2013 Working Values

**NOTE:**  
2013 Working Values are NOT certified values and therefore are subject to change before being finalized for ad valorem assessment purposes.

Show Working Values

## Sales History

Show Similar Sales within 1/2 mile

Sale Date	OR Book/Page	OR Code	Vacant / Improved	Qualified Sale	Sale RCode	Sale Price
9/7/2012	1241/767	WD	I	Q	01	\$180,000.00
8/17/2000	908/2220	WD	V	Q		\$27,000.00
1/25/1999	873/1471	WD	V	U	01	\$45,500.00
7/15/1998	863/879	WD	V	U	02	\$57,800.00

## Building Characteristics

Bldg Item	Bldg Desc	Year Blt	Ext. Walls	Heated S.F.	Actual S.F.	Bldg Value
1	SINGLE FAM (000100)	2000	COMMON BRK (19)	1829	2497	\$113,159.00
<b>Note:</b> All S.F. calculations are based on exterior building dimensions.						

## Extra Features & Out Buildings

Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2000	\$759.00	0000506.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2006	\$640.00	0000080.000	10 x 80 x 0	(000.00)

## PRODUCT APPROVAL SPECIFICATION SHEET

Location: 9794 CR 240

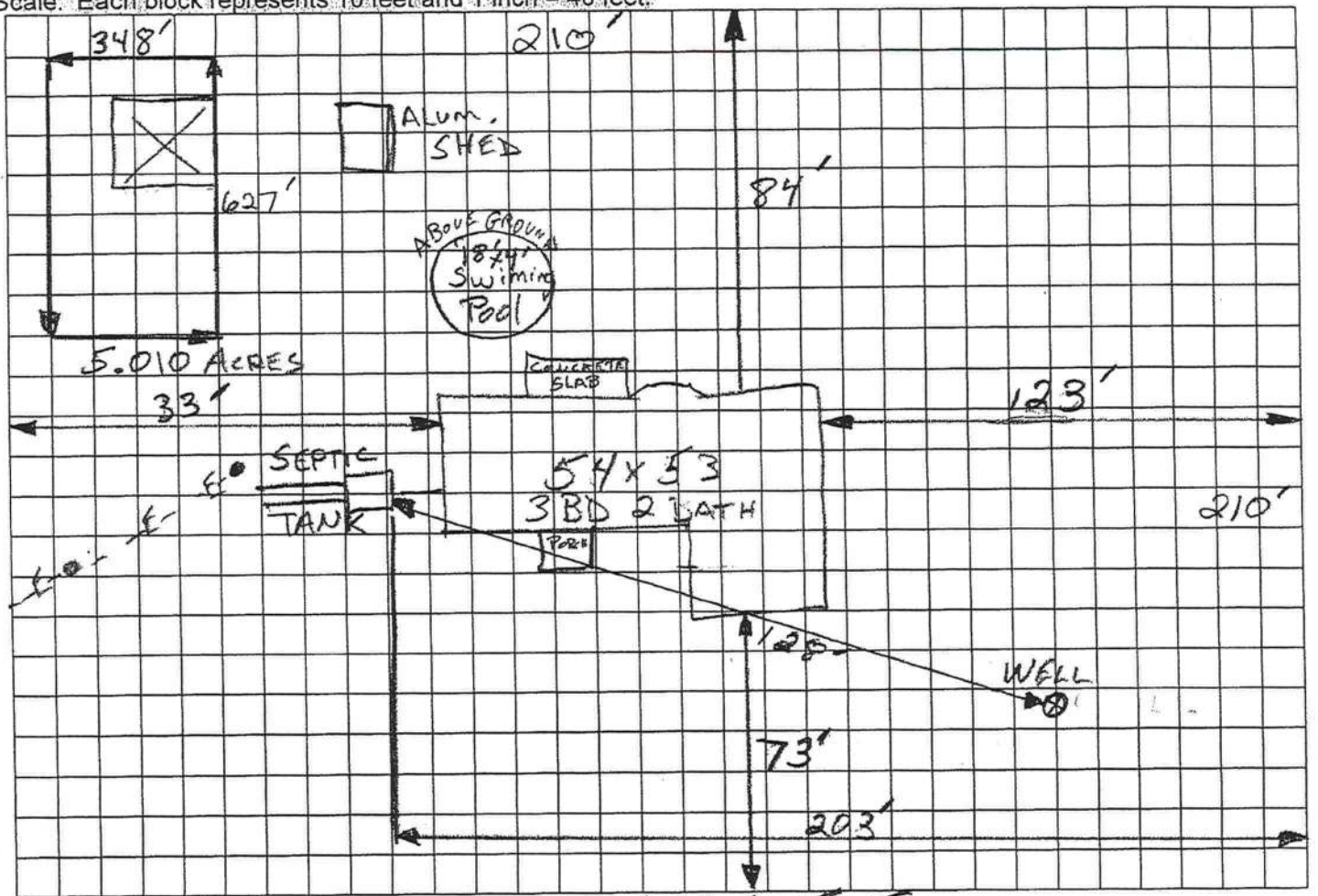
Project Name: Collier

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at [www.floridabuilding.org](http://www.floridabuilding.org)

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
<b>A. EXTERIOR DOORS</b>			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
<b>B. WINDOWS</b>			
1. Single hung	YKR	Vinyl Single hung	FL8114-R2
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
<b>C. PANEL WALL</b>			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
<b>D. ROOFING PRODUCTS</b>			
1. Asphalt Shingles	Certainteed	30 yr # 3-Tab	FL-5444-R4
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			



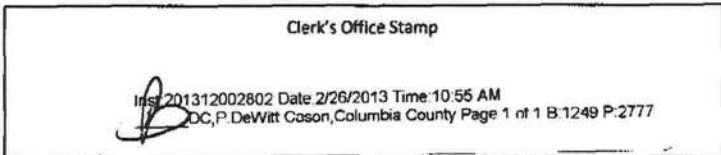
Scale: Each block represents 10 feet and 1 inch = 40 feet.



Notes:

LARRY & Sheila Collier  
9794 SW CR 240  
Lake City, FL

**NOTICE OF COMMENCEMENT**



Tax Parcel Identification Number:

18-55-16-03644-103

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

1. Description of property (legal description): 18-55-16-03644-103  
a) Street (job) Address: 9794 SW CR 240, LAKE CITY, FL  
2. General description of improvements: Addition to existing dwelling

3. Owner Information  
a) Name and address: LARRY E SHEILA COLLIER  
b) Name and address of fee simple titleholder (if other than owner)   
c) Interest in property

4. Contractor Information  
a) Name and address: ERKINGER CONSTRUCTION GRP 248 SE NASSAU ST  
b) Telephone No.: 386-754-5555 Fax No. (Opt.) \_\_\_\_\_

5. Surety Information  
a) Name and address: N/A  
b) Amount of Bond: N/A  
c) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

6. Lender  
a) Name and address: N/A  
b) Phone No. \_\_\_\_\_

7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:  
a) Name and address: N/A  
b) Telephone No.: \_\_\_\_\_ Fax No. (Opt.) \_\_\_\_\_

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

**WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.**

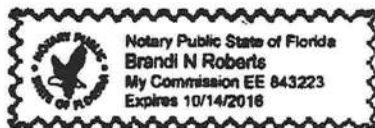
STATE OF FLORIDA  
COUNTY OF COLUMBIA

[Signature]  
Signature of Owner or Owner's Authorized Officer/Director/Partner/Manager  
Larry L. Collier  
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 12<sup>th</sup> day of FEBRUARY, 20 13, by:  
LARRY COLLIER as OWNER (type of authority, e.g. officer, trustee, attorney fact) for N/A (name of party on behalf of whom instrument was executed).

Personally Known  OR Produced Identification \_\_\_\_\_ Type \_\_\_\_\_

Notary Signature [Signature] Notary Stamp or Seal:



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief.

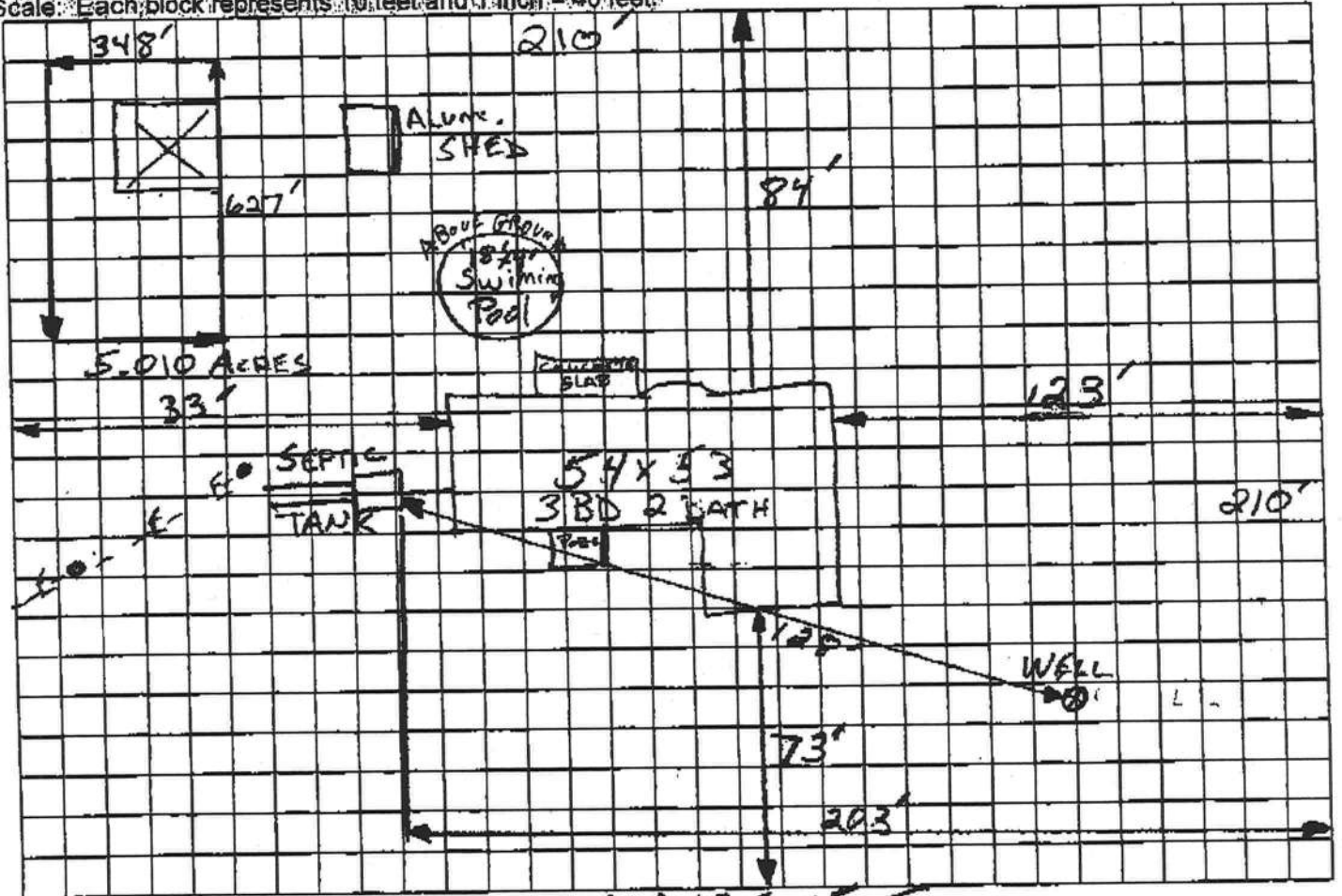
[Signature]  
Signature of Natural Person Signing (in line #10 above.)

STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
APPLICATION FOR CONSTRUCTION PERMIT

Permit Application Number 13-0082E

----- PART II - SITEPLAN -----

Scale: Each block represents 10 feet and 1 inch = 40 feet.



1 ACRE OF 5

Notes:

*See attached survey*

\* Site Plan submitted by: *[Signature]*

Plan Approved

Not Approved

Agent *[Signature]*

Date 2.13.13

By *[Signature]*

Columbia CHD

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

*[Handwritten mark]*

384  
719-9899



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 13-0082E  
DATE PAID: 2/13/13  
FEE PAID: 135.00  
RECEIPT #: \_\_\_\_\_  
Ap 1097407

APPLICATION FOR:  
 New System     Existing System     Holding Tank     Innovative  
 Repair     Abandonment     Temporary     \_\_\_\_\_

APPLICANT: LARRY & Sheila Collier  
AGENT: ERKINGER CONSTRUCTION GROUP / BRANDI ROBERTS TELEPHONE: 754-5555  
MAILING ADDRESS: 9794 SW CR240, LAKE CITY FL 32025

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3) (m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 3 BLOCK: Ø SUBDIVISION: White Oak Plantation PLATTED: \_\_\_\_\_

PROPERTY ID #: 18-55-16-03644-103 ZONING: Res. I/M OR EQUIVALENT:  Y  N

PROPERTY SIZE: 5 ACRES WATER SUPPLY:  PRIVATE PUBLIC  <=2000GPD  >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS?  Y  N DISTANCE TO SEWER: \_\_\_\_\_ FT

PROPERTY ADDRESS: 9794 SW CR240, LAKE CITY, FL 32025

DIRECTIONS TO PROPERTY: DRIVE South on US-47, 8 miles. TURN Right on CR240 and drive 3.7 miles. Home is on left.

BUILDING INFORMATION  RESIDENTIAL  COMMERCIAL

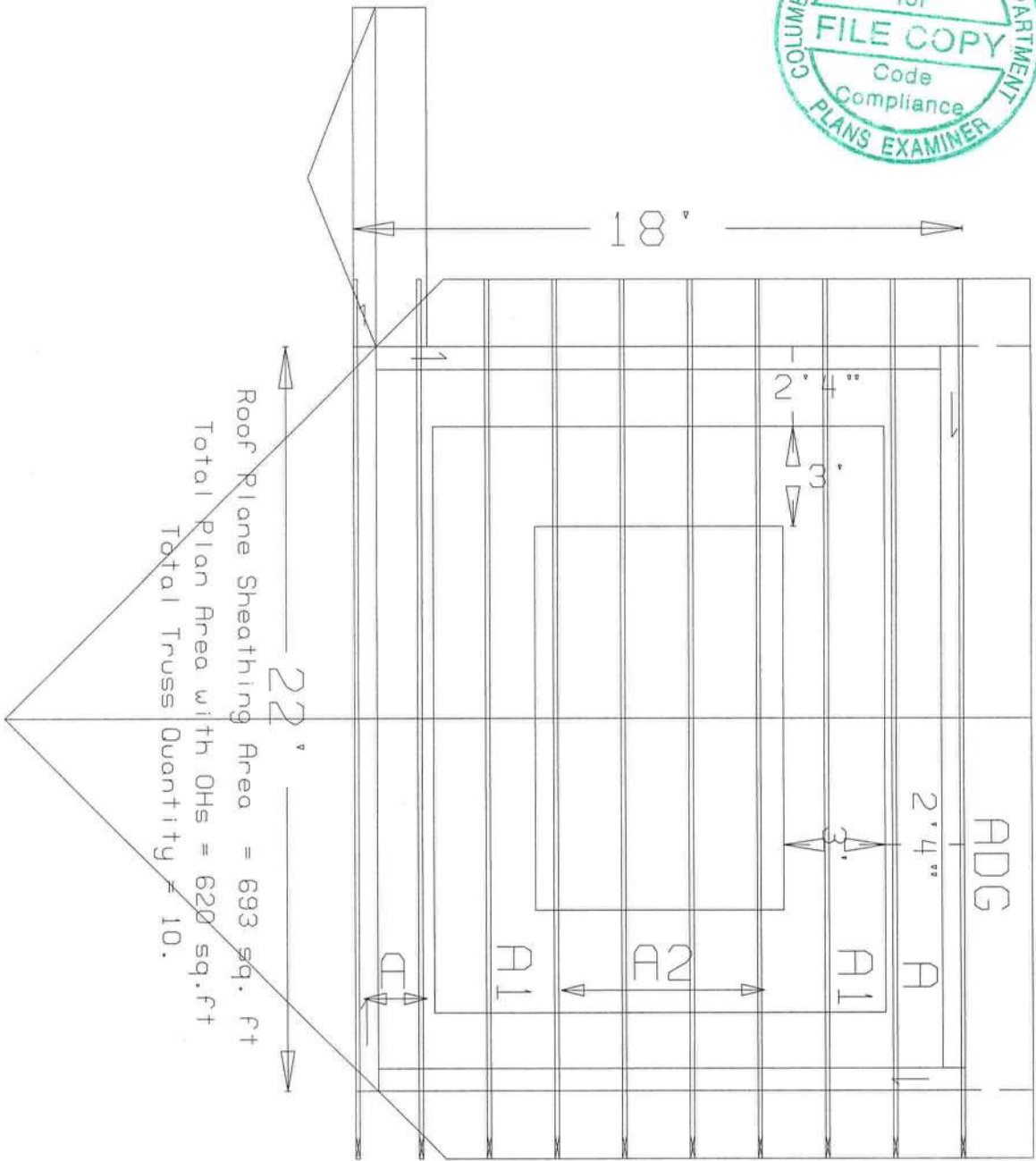
Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC	
1	<u>Single Family</u>	<u>3</u>	<u>1829</u>	<u>Existing</u>	ORIGINAL ATTACHED
2			<u>396</u>	<u>Addition</u>	
3			<u>2225</u>		
4					

Floor/Equipment Drains  Other (Specify) \_\_\_\_\_

SIGNATURE: [Signature] DATE: 2.12.13



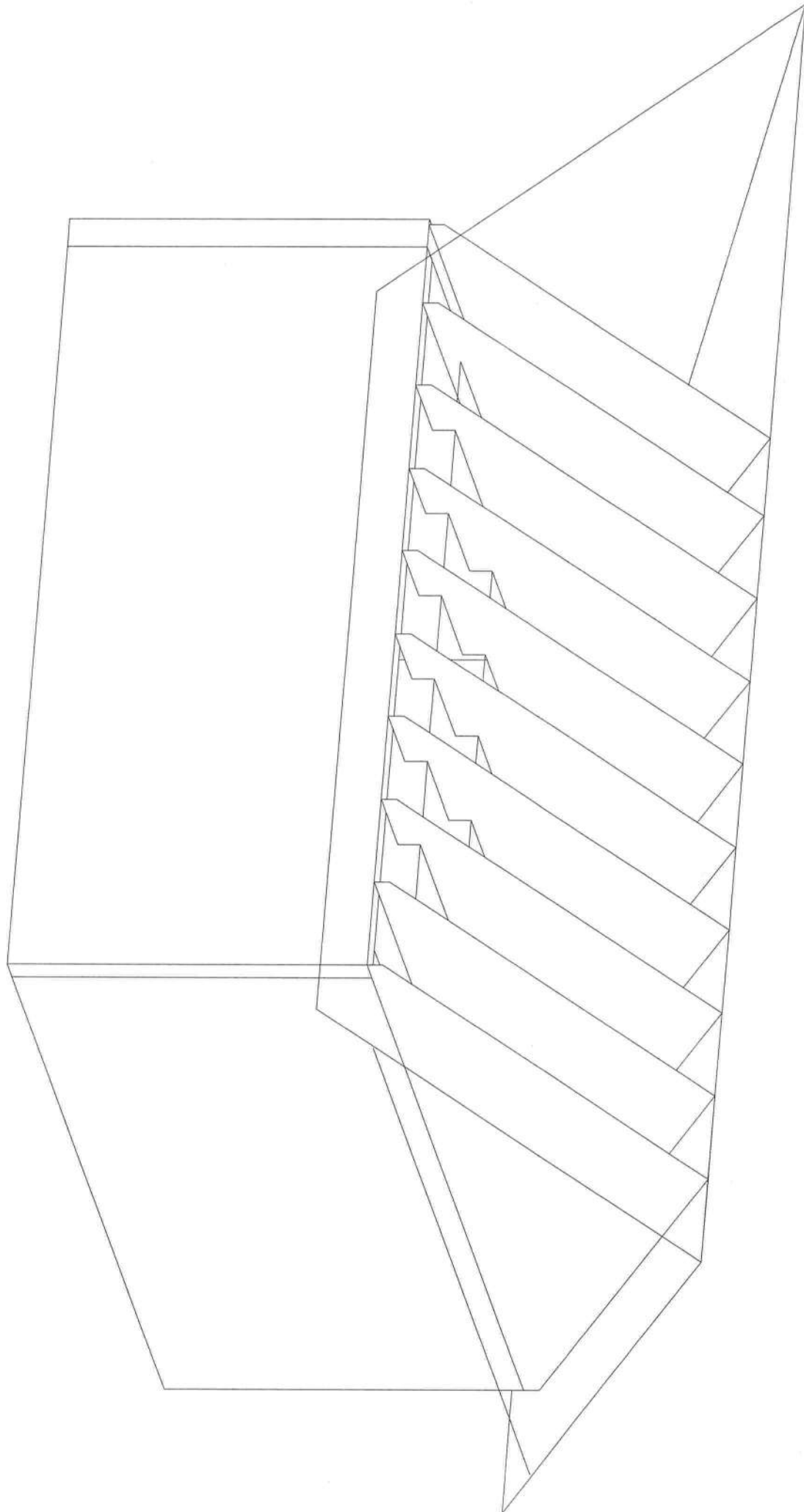
Collier Add



: <Not Found>

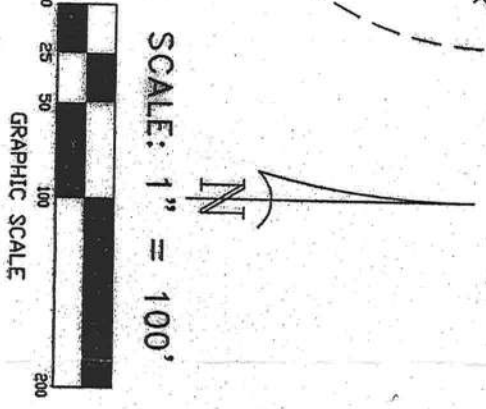
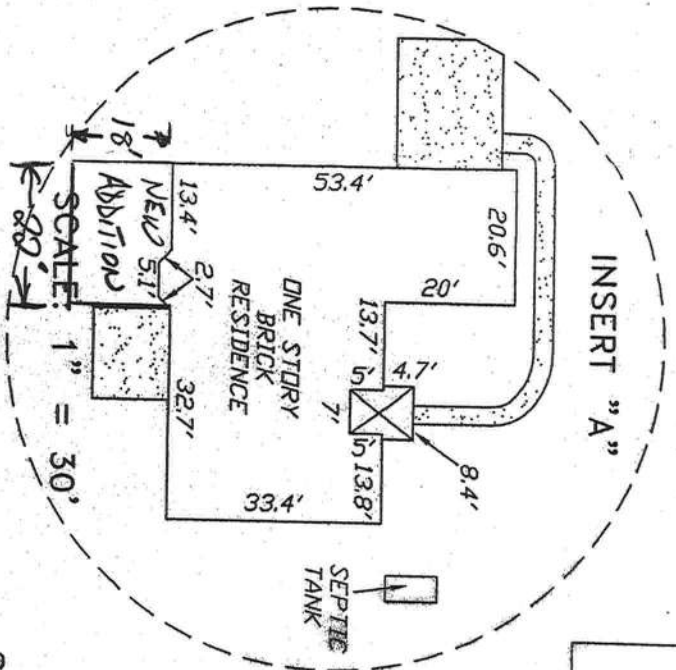
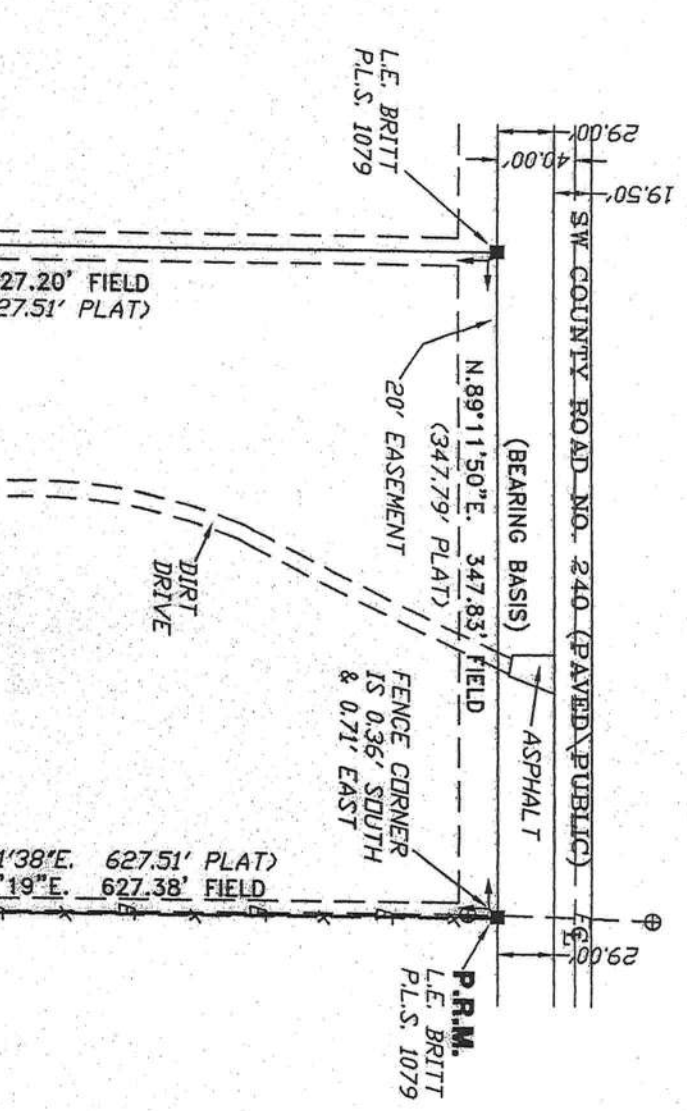
ADDRESS: 1994 SW CR240  
 JOB DESCRIPTION: Erkinger Home Builders  
 /: Collier Addition  
 JOB #: 13-076  
 DESIGNER: ColeMan Burlingame  
 SALESMAN: Fill in later

JOB NO: 13-076  
 PAGE NO: 1 OF 1



Plot Plan

BOUNDARY SURVEY IN SECTION 18, TOWNSHIP 5 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.



**SYMBOL LEGEND:**

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
✕	* CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊕	NAIL & DISK
⊙	POWER POLE
+	SIGN POST
⊕	WATER METER
⊙	UTILITY BOX
⊕	WELL
⊕	SANITARY MANHOLE
⊕	CENTERLINE
---	SECTION LINE
---	ELECTRIC LINES
-X-	WIRE FENCE
-O-	CHAIN LINK FENCE
-D-	WOODEN FENCE
---	GLASS
---	AS PER A PLAT OF RECORD
---	(DEED) AS PER A DEED OF RECORD
---	(CALC) AS PER CALCULATIONS
---	(FIELD) AS PER FIELD MEASUREMENTS
⊕	P.R.M. PERMANENT REFERENCE MARKER
⊕	P.C.P. PERMANENT CONTROL POINT

**DESCRIPTION:**  
LOT 3 OF 'WHITE OAK PLANTATION' AS PER PLAT THEREOF RECORDED IN PLAT BOOK 6, PAGE 181 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:**
- BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
  - BEARINGS ARE BASED ON SAID PLAT OF RECORD AND THE BEARING BASIS AS SHOWN HEREON. IT IS APPARENT THAT THIS PARCEL IS IN ZONE 'X' AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NUMBER 12023C0370C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
  - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
  - IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
  - THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
  - DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
  - THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
  - THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

CERTIFIED TO:  
LARRY & SHEILA COLLIER  
ALARION BANK  
NORTH CENTRAL FLORIDA TITLE, LLC  
WESTCOAST LAND TITLE INSURANCE COMPANY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE HIGHEST TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER S-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.02, FLORIDA STATUTES.  
08/20/12  
FIELD SURVEY DATE  
DRAWING DATE  
08/20/12  
NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

**BRITT SURVEYING & MAPPING, LLC**  
LAND SURVEYORS AND MAPPERS, L.B. # 7593  
2086 SV MAIN BLVD, SUITE 112, LAKE CITY, FLORIDA 32025  
(386) 752-7163 FAX (386) 752-5573  
www.brittsurveying.com  
WORK ORDER # L-22280

# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 0 278  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1UU0487-Z0225071603



Truss Fabricator: **Anderson Truss Company**  
Job Identification: **13-076--Erkinger Home Builders Collier Addition -- 1994 S**  
Truss Count: **4**  
Model Code: **Florida Building Code 2010**  
Truss Criteria: **FBC2010Res/TPI-2007(STD)**  
Engineering Software: **Alpine Software, Version 10.03.**  
Structural Engineer of Record: **The identity of the structural EOR did not exist as of**  
Address: **the seal date per section 61G15-31.003(5a) of the FAC**  
Minimum Design Loads: **Roof - 37.0 PSF @ 1.25 Duration**  
**Floor - N/A**  
**Wind - 120 MPH ASCE 7-10 -Closed**

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR487

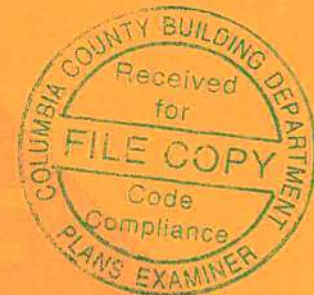
Walter P. Finn  
-Truss Design Engineer-

1950 Marley Drive  
Haines City, FL 33844

Details: 12015EC1-GBLLETIN-GABRST10-

#	Ref	Description	Drawing#	Date
1	34292--ADG	22' Gable	13056005	02/25/13
2	34293--A	22' Common	13056006	02/25/13
3	34294--A1	22' Common	13056007	02/25/13
4	34295--A2	22' Common	13056008	02/25/13

# ALPINE





(13-076--Erkinger Home Builders Collier Addition -- 1994 SW CR240 Lake City, FL - A 22' Common)

Top chord 2x4 SP #1\_12A  
 Bot chord 2x4 SP #1\_12A  
 Webs 2x4 SP #3\_12A

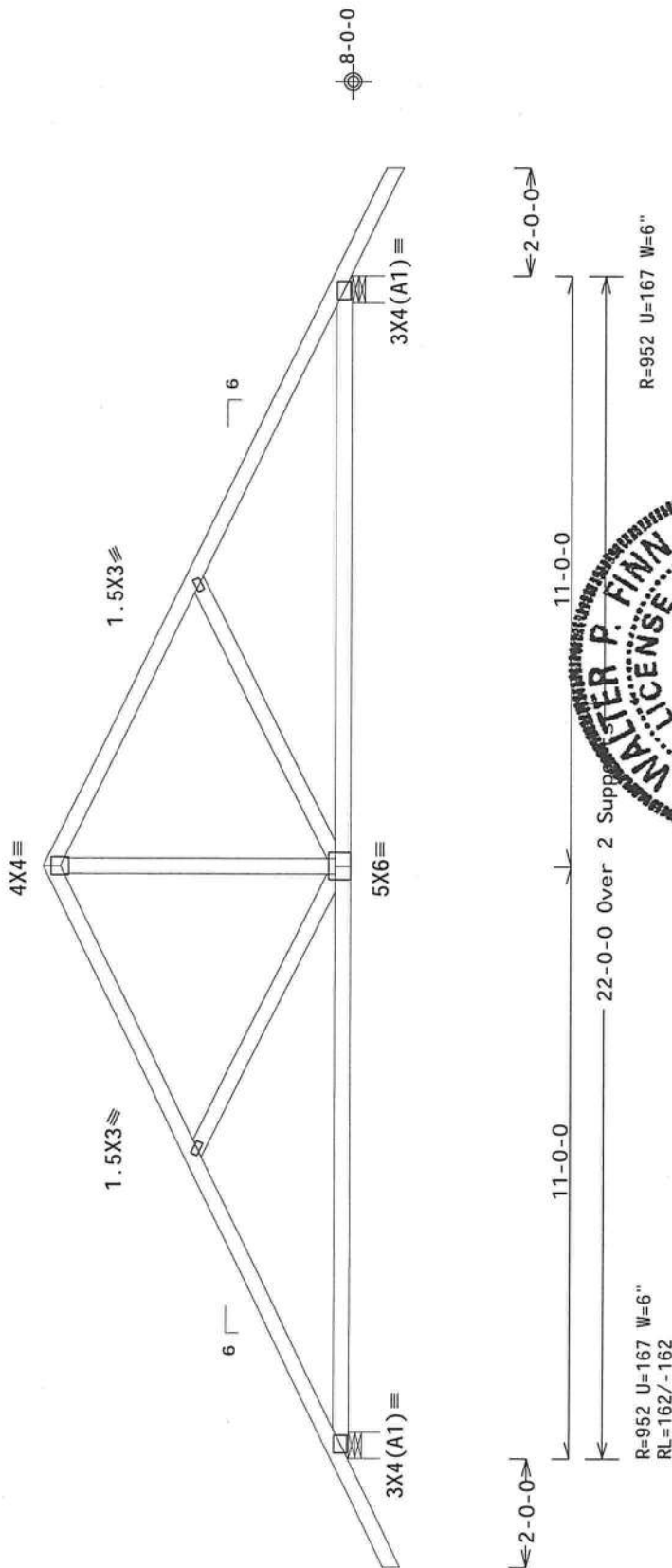
120 mph wind, 15.00 Ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi(+/-)=0.18

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

Wind loads and reactions based on MWFRS with additional C&C member design.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



R=952 U=167 W=6"  
 RL=162/-162

R=952 U=167 W=6"

PLT TYP. Wave

Design Crit: FBC2010Res/TPI-2007(Std)  
 FT/RT=20%(0%)/10(0)

Scale = .3125"/Ft.

TC LL	20.0 PSF	REF	R487 --	34293
TC DL	7.0 PSF	DATE	02/25/13	
BC DL	10.0 PSF	DRW	HCSR487	13056006
BC LL	0.0 PSF	HC-ENG	JB/WPF	
TOT.LD.	37.0 PSF	SEQN-	59914	
DUR.FAC.	1.25			
SPACING	24.0"	JREF-	1UU0487_Z02	

**WALTER P. FINN**  
 LICENSE  
 No. 22839  
 10.03.11 0209.19  
 STATE OF  
 FLORIDA  
 PROFESSIONAL ENGINEER  
 02/25/2013

**\*\*IMPORTANT\*\*** FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.  
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Follow the latest edition of BCES1 (Building Component Safety Information, by TPI and WTA) practices prior to performing these functions. Installers shall provide temporary bracing unless noted otherwise. Top chord shall have properly attached structural sheathing and bottom chord shall have bracing installed per BCES1 sections B3, B7 or B10, as applicable.  
 I/TW Building Components Group Inc. (I/TWBCG) shall not be responsible for any deviation from this design or any failure of the truss or its supporting structure. The contractor shall be responsible for the bracing of trusses. Apply plates to each face of truss and position as shown on this drawing, unless noted otherwise. Refer to drawings 180A-2 for standard plate engineering drawing or cover page listing this drawing. Indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per AISI/TPI 1 Sec.2. For more information see: This Job's ITR-006; www.itwbcg.com; TPI: www.tpiinc.org; WTA: www.slcindustry.com; ICC: www.iccsafe.org

**ALPINE**  
 I/TW Building Components Group Inc.  
 Haines City, FL 33844  
 FL COA #0278

(13-076--Erkinger Home Builders Collier Addition -- 1994 SW CR240 Lake City, FL - A1 22' Common)

Top chord 2x4 SP\_#1\_12A  
 Bot chord 2x4 SP\_#1\_12A  
 Webs 2x4 SP\_#3\_12A

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

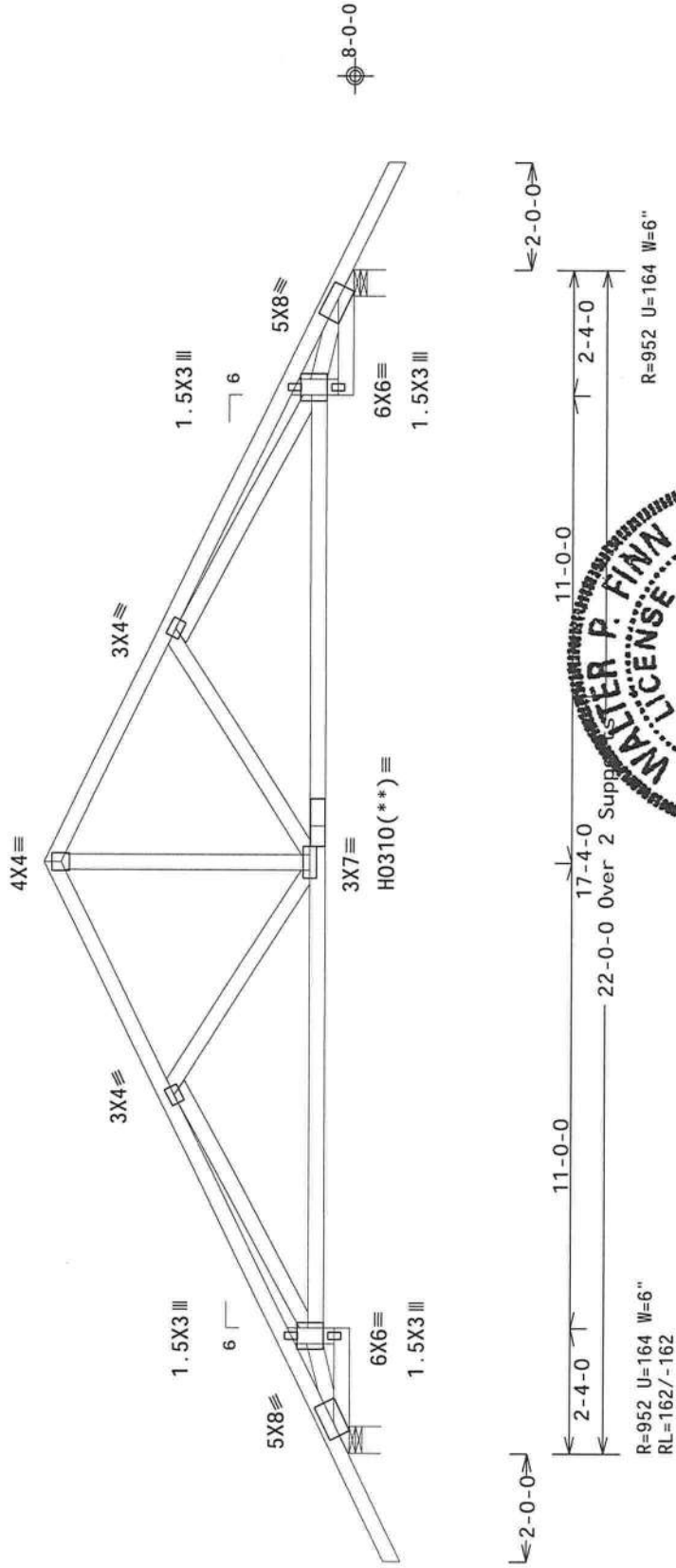
Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

(\*\*) 1 plate(s) require special positioning. Refer to scaled plate plot details for special positioning requirements.

120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, Located anywhere in roof, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf.  $G_{Cpi}(+/-)=0.18$

Wind loads and reactions based on MMFRS with additional C&C member design.



Design Crit: FBC2010Res/TPI-2007(SD)  
 FT/RT=20%(0%)/10(O) ★ 10.03.11.0009.19

PLT TYP. 20 Gauge HS, Wave

Scale = .3125"/Ft.

TC LL	20.0 PSF	REF	R487--	34294
TC DL	7.0 PSF	DATE	02/25/13	
BC DL	10.0 PSF	DRW	HCUSR487	13056007
BC LL	0.0 PSF	HC-ENG	JB/WPF	
TOT.LD.	37.0 PSF	SEQN-	59919	
DUR.FAC.	1.25			
SPACING	24.0"	JREF-	1UU0487_Z02	

**ALPINE**

**ITW Building Components Group Inc.**  
 Hiatus City, FL 33844  
 FL COA #0278

**WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS SHEET.**  
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Follow the latest edition of BCSI (Building Component Safety Information, by TPI and WTCA) requirements for the installation of trusses. Installers shall provide temporary bracing post-assembly until the permanent bracing is installed. Locations shown for permanent lateral restraint shall have bracing installed per BCSI sections B3, B7 or B10, as applicable.

**IMPORTANT\*\* FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.**  
 ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from this drawing or for any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation or bracing of trusses. Apply plates to each face of truss and position as shown above and on the Joint Details, unless noted otherwise. Refer to drawings 160A.2 for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility of the Building Designer per ANSI/TPI 1, Sec. 2. For more information, visit our general notes page: ITW-BCG: www.itwbcg.com; TPI: www.tpi.net.org; WTCA: www.alcsc.org; ICC: www.iccsafe.org

(13-076--Erkinger Home Builders Collier Addition -- 1994 SW CR240 Lake City, FL - A2 22' Common)

Top chord 2x4 SP\_#1\_12A  
 Bot chord 2x4 SP\_#1\_12A  
 Webs 2x4 SP\_#3\_12A

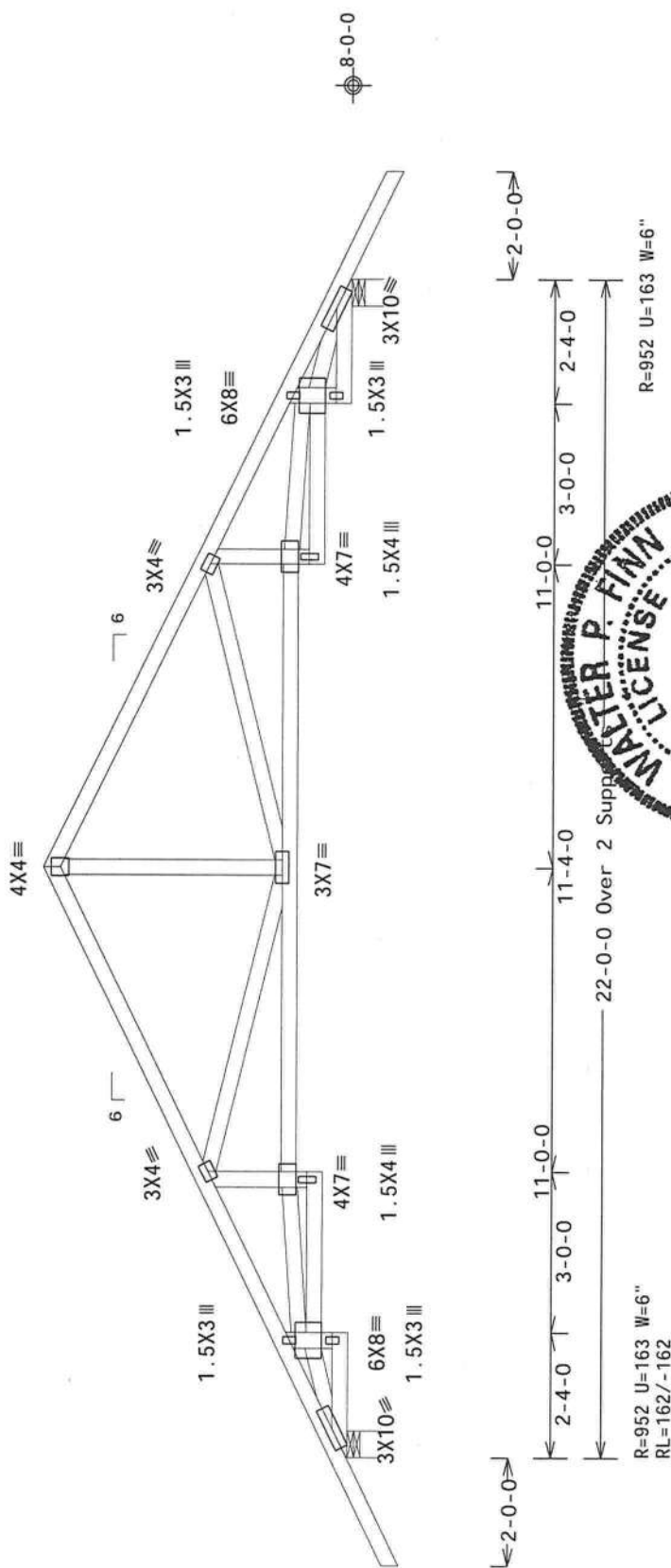
120 mph wind, 15.00 ft mean hgt, ASCE 7-10, CLOSED bldg, not located within 4.50 ft from roof edge, RISK CAT II, EXP C, wind TC DL=3.5 psf, wind BC DL=5.0 psf. GCpi (+/-)=0.18

Lumber grades designated with "12A" use design values approved 1/5/2012 by ALSC.

Wind loads and reactions based on MMFRS with additional C&C member design.

Bottom chord checked for 10.00 psf non-concurrent live load.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



Design Crit: FBC2010Res/TPI-2007(ST) FT/RT=20%(0)/10(0)

FL/-/5/-/R/-	Scale = .3125"/Ft.
TC LL 20.0 PSF	REF R487 -- 34295
TC DL 7.0 PSF	DATE 02/25/13
BC DL 10.0 PSF	DRW HCUSR487 13056008
BC LL 0.0 PSF	HC-ENG JB/WPF
TOT.LD. 37.0 PSF	SEQN- 59922
DUR.FAC. 1.25	
SPACING 24.0"	JREF- 1UU0487_Z02

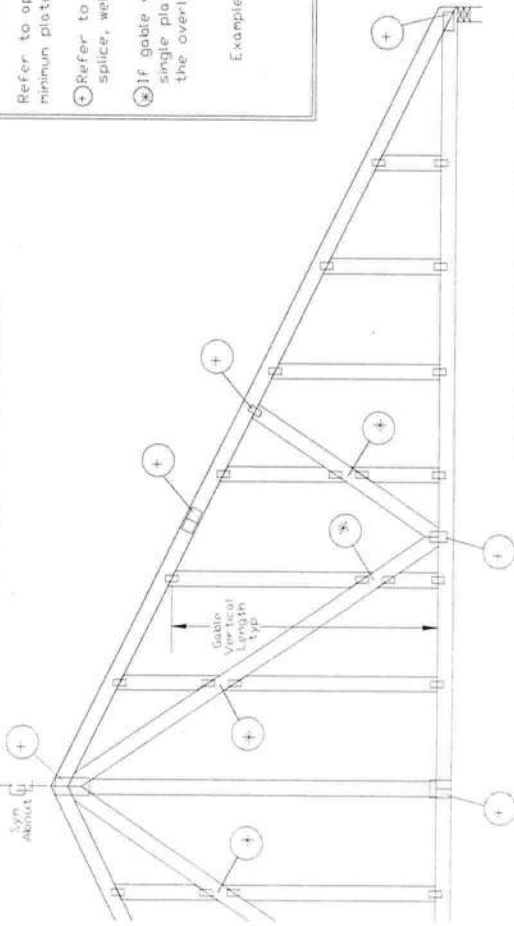
**\*\*WARNING\*\*** READ AND FOLLOW ALL NOTES ON THIS SHEET!  
 FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.  
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Information, by TPI and WTC) for practices prior to performing these functions. Installers shall provide temporary bracing per details, unless noted otherwise. Refer to drawings 180A-Z for standard plate positions. A seal on this drawing or cover page listing this drawing, indicates acceptance of professional engineering responsibility for the design shown. The suitability and use of this design for any structure is the responsibility of the designer. For more information see: This Job's general notes page. ITW-BCSI: www.itw-bcsi.com; TPI: www.tpi.net; WTC: www.bcsiindustry.com; ICC: www.iccsafe.org

**ALPINE**  
 ITW Building Components Group Inc.  
 Haines City, FL 33844  
 FL COA #0278

PLT TYP. Wave



# Gable Detail For Let-in Verticals

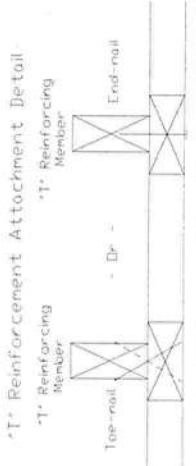


**Gable Truss Plate Sizes**

Refer to appropriate ITV gable detail for minimum plate sizes for vertical studs.

- Refer to Engineered truss design for peak, splice, web, and heel plates.
- If gable vertical plates overlap, use a single plate that covers the total area of the overlapped plates to span the web.

Example:



To convert from 'L' to '\*T\*' reinforcing members, multiply '\*T\*' increase by length (based on appropriate ITV gable detail).

Maximum allowable '\*T\*' reinforced gable vertical length is 14' from top to bottom chord.

\*T\* reinforcing member material must match size, specie, and grade of the 'L' reinforcing member.

**Web Length Increase w/ '\*T\*' Brace**

*T* Reinf. Mbr. Size	*T* Increase
2x4	30 %
2x6	20 %

Example:  
 ASCE 7-10 Wind Speed = 120 mph  
 Mean Roof Height = 30 ft, Kzt = 1.00  
 Gable Vertical = 24' o.c. SP #3  
 \*T\* Reinforcing Member Size = 2x4  
 \*T\* Brace Increase (From Above) = 30% = 1.30  
 (1) 2x4 'L' Brace Length = 8' 7"  
 Maximum \*T\* Reinforced Gable Vertical Length = 1.30 x 8' 7" = 11' 2"

Provide connections for uplift specified on the engineered truss design.

Attach each '\*T\*' reinforcing member with:  
 End Driver Nails:  
 10d Common (0.148" x 3.1mm) Nails at 4" o.c. plus  
 (4) nails in the top and bottom chords.

Tapered Nails:  
 10d Common (0.148" x 3.1mm) Tapered nails at 4" o.c. plus  
 (4) tennails in the top and bottom chords.

This detail to be used with the appropriate ITV gable detail for ASCE wind load.

ASCE 7-98 Gable Detail Drawings:  
 A13015980109, A12015980109, A1015980109, A10015980109,  
 A13030980109, A12030980109, A1030980109, A10030980109  
 ASCE 7-02 Gable Detail Drawings:  
 A13015020109, A12015020109, A1015020109, A10015020109,  
 A13030020109, A12030020109, A1030020109, A10030020109  
 ASCE 7-05 Gable Detail Drawings:  
 A13015050109, A12015050109, A1015050109, A10015050109,  
 A13030050109, A12030050109, A1030050109, A10030050109  
 ASCE 7-10 Gable Detail Drawings:  
 A11515ENC100212, A12015ENC100212, A14015ENC100212,  
 A18015ENC100212, A20015ENC100212, A20015ENC100212,  
 A11530ENC100212, A12030ENC100212, A1430ENC100212,  
 A18030ENC100212, A20030ENC100212, A20030ENC100212



See appropriate ITV gable detail for maximum unreinforced gable vertical length.

**\*\*WARNING\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING.**  
**\*\*IMPORTANT\*\* FURNISH THIS DRAWING TO ALL CONTRACTORS INCLUDING THE INSTALLERS.**

Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the manufacturer's instructions for details on proper erection and bracing. Refer to the manufacturer's instructions for details on proper erection and bracing. Refer to the manufacturer's instructions for details on proper erection and bracing. Refer to the manufacturer's instructions for details on proper erection and bracing.

ITV Building Components Group Inc. shall not be responsible for any deviation from this drawing, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, installation & erection of the truss. A seal on this drawing or cover page listing this drawing, indicates acceptance at the discretion of the manufacturer. The manufacturer shall not be responsible for any deviation from this drawing for any structure to be built by the contractor. The manufacturer shall not be responsible for any structure to be built by the contractor. The manufacturer shall not be responsible for any structure to be built by the contractor.

For more information see this job's general notes page and these web sites:  
 ITV LLC: www.itvllc.com, TPI: www.tpinet.org, MFR: www.sbcmachinery.org, ICC: www.iccsafe.org

Earth City, MO 63045

REF	LET-IN VERT
DATE	2/16/12
DRWG	GBLETTIN0212
MAX. TOT. LD.	60 PSF
DUR. FAC.	ANY
MAX. SPACING	24.0"

# ASCE 7-10: 120 mph, 30' Mean Height, Closed, Exposure C Common Residential Gable End Wind Bracing Requirements - Stiffeners

120 mph, 30ft L. Mean Hgt, ASCE 7-10, Enclosed, Exp C, or  
 100 mph, 30ft L. Mean Hgt, ASCE 7-10, Enclosed, Exp D, or  
 100 mph, 30ft L. Mean Hgt, ASCE 7-10, Part, Enclosed, Exp C,  
 Kz & t = 1.00, Wind TC DL=5.0 psf, Wind BC DL=5.0 psf.

H Less than 4'6" - no stud bracing required  
 H Greater than 4'6" to 7'6" in length  
 provide a 2x6 stiffback at mid-height and brace stiffback  
 to roof diaphragm every 6'0" (see detail below or  
 refer to DRWG AI2030ENC10).

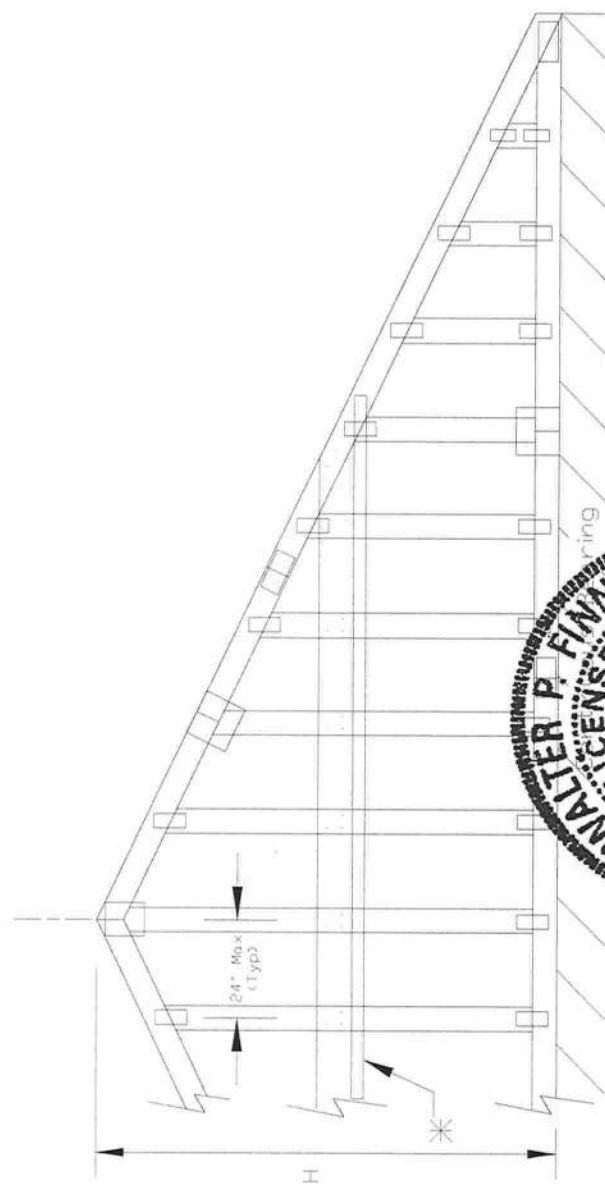
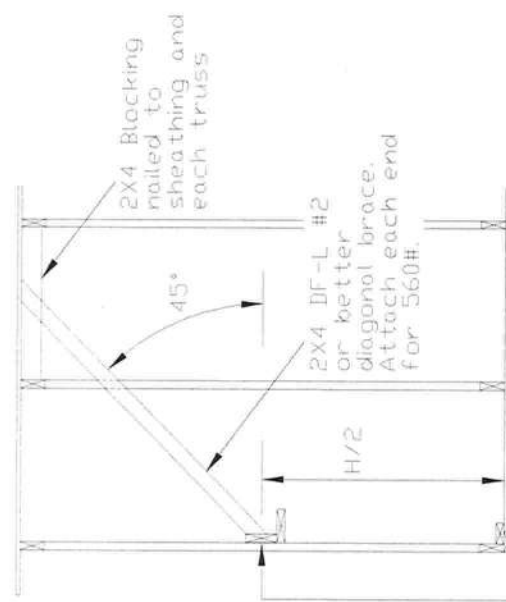
H Greater than 7'6" to 12'0" max:  
 provide a 2x6 stiffback at mid-height and brace  
 to roof diaphragm every 4'0" (see detail below or  
 refer to DRWG AI2030ENC10).

\* Optional 2x L-reinforcement attached  
 to stiffback with 10d box or gun  
 (0.128" x 3", min.) nails @ 5' o.c.

Lateral chord bracing requirements  
 Top: Continuous roof sheathing  
 Bot: Continuous ceiling diaphragm

See Engineer's sealed design referencing this detail  
 for lumber, plates, and other information not shown  
 on this detail.

Nails: 10d box or gun (0.128"x3",min) nails.



**IMPORTANT\*\* READ AND FOLLOW ALL NOTES ON THIS DRAWING**  
 Includes requirements for framing, erection, fabrication, handling, shipping, installing and bracing. Refer to the manufacturer's literature for details. For more information, contact the manufacturer.  
 \*\*WARNING\*\* FURNISH TO ALL CONTRACTORS INCLUDING THE INSTALLERS  
 The contractor shall be responsible for any deviation from this drawing, any failure to build the truss in accordance with MSJ/TP1 I, or for handling, shipping, installation & erection of the truss. The contractor shall be responsible for the safety of the structure and the safety of the installer. The contractor shall be responsible for the safety of the structure and the safety of the installer. For more information see this job's general notes page and these web sites: [1]http://www.tlcc.com, [2] www.tlcc.org, [3] www.sectra.com, [4] www.sectra.com, [5] www.sectra.com

REF	GE WHALER
DATE	2/14/12
DRWG	GABRST100212
MAX. TOT. L.D. 60 PSF	
MAX. SPACING	

**TW**  
 Building Components Group Inc.  
 Earth City, MO 63045

02/25/2013  
 Feb 25 '13