





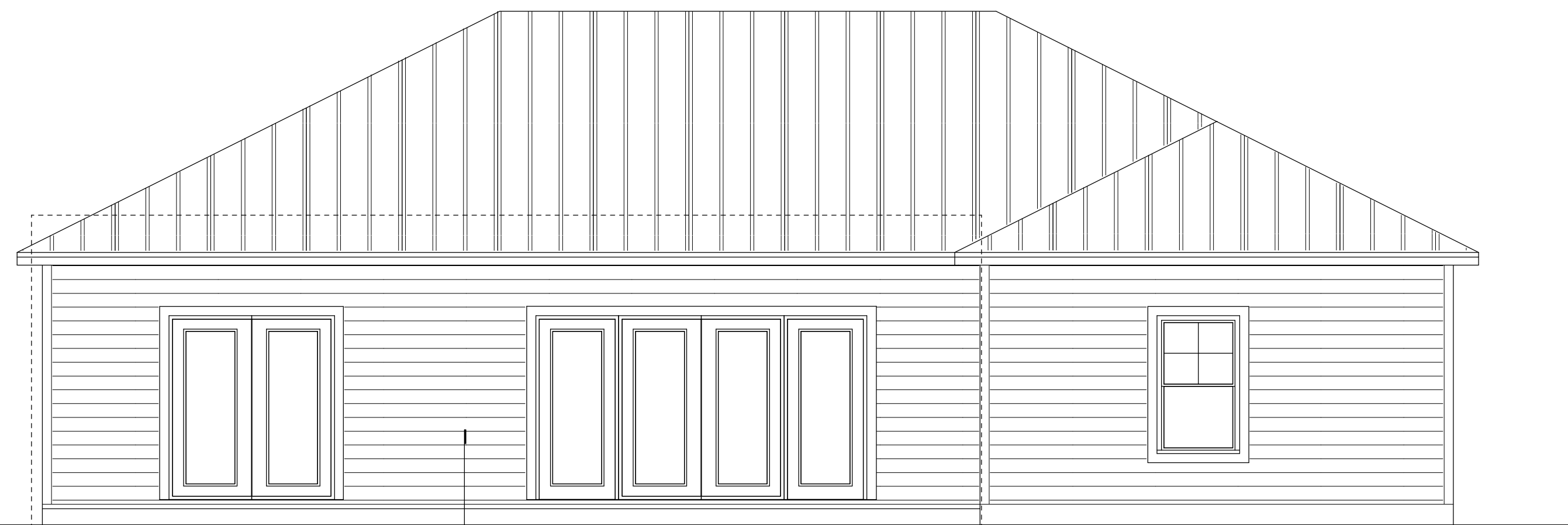
RIGHT ELEVATION

SCALE: 1/4" = 1'-0"



LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

- (3) 2X SPF #2 STUDS IN WALLS - PROVIDE 5/8" S-1 FOR BASE CONNECTION
- (4) 4x4 #2 SYP POST IN WALLS - PROVIDE 5/8" S-1 FOR BASE CONNECTION
- (4) 6x6 #2 SYP POST IN WALLS - PROVIDE 5/8" S-1 FOR BASE CONNECTION

**EXTERIOR WALL SHEATHING INFORMATION**

NOTES:

- ALL EXTERIOR WALL SHEATHING TO BE MIN. 7/16" WINDSTORM OR EQ. MFR. APPROPRIATE LENGTH SUB-SIDING
- ALL WALL SECTIONS GREATER THAN 30% OF WALL HEIGHT AND WITH OPENING AREA LESS THAN 1 S.F. TO BE CONSIDERED SHEAR WALL SEGMENT
- NAILING PATTERN:

TOP PLATE:	8@3" O.C.
LONG EDGE:	8@8" O.C.
FIELD:	8@12" O.C.
BOTTOM PLATE:	8@3" O.C.

**WALL LEGEND**

- FRAMED WALL
- FRAMED SHEAR WALL
- BEARING WALL
- FRAMED WALL W/ SIDING

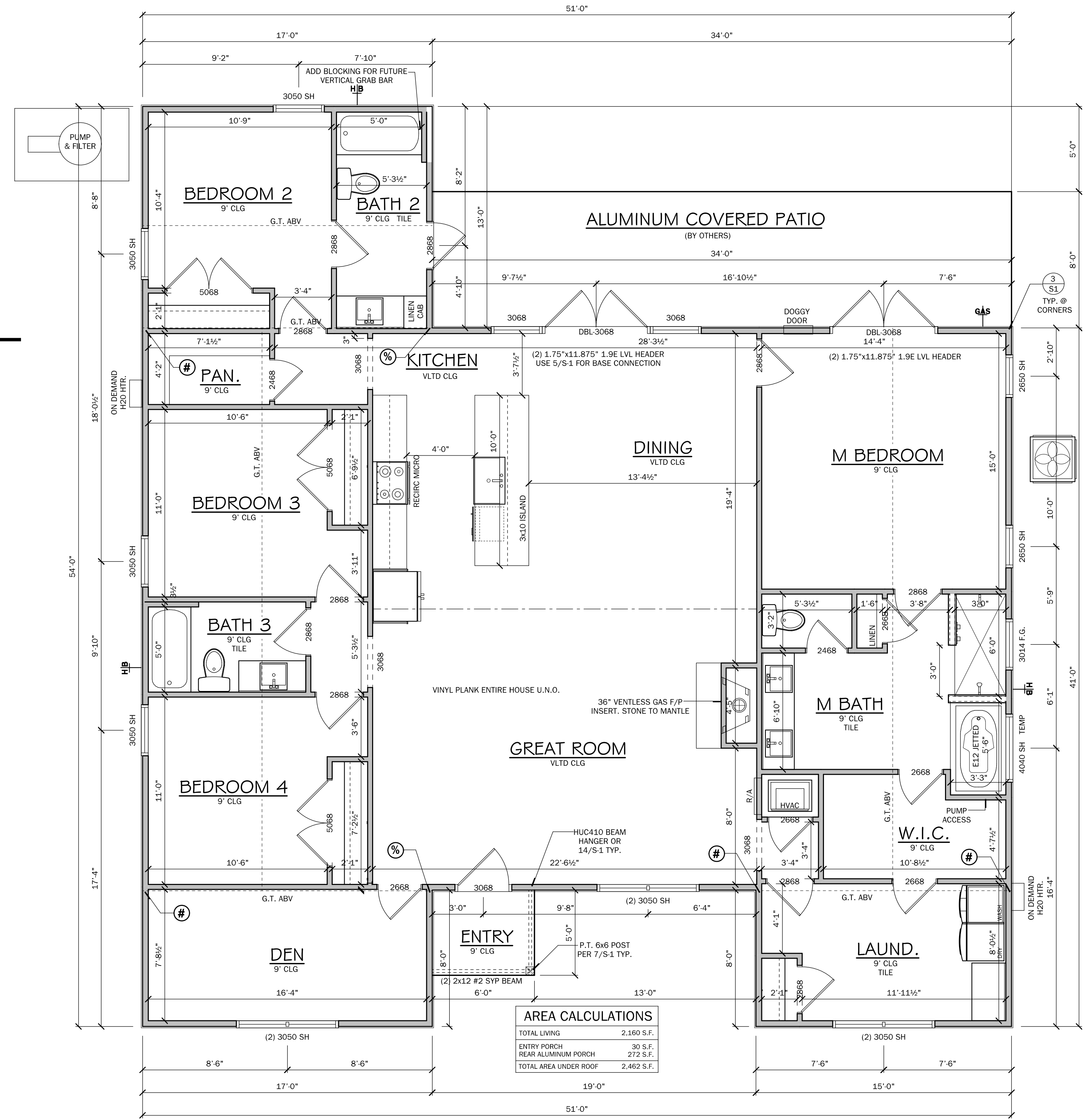
**VENTILATION CALCULATION**

FORMULA PER FBRC 2020 SEC 806.2-3 S.F. / 300 (1/300) / 2 (INTAKE vs EXHAUST) = 144 (TO CONVERT TO SQ. INCHES) = NET SQ. INCH REQUIREMENT

2190/300 = 7.3 / 2 = 3.7 \* 144 = 533

533 SQ. INCHES OF VENTILATION REQUIRED

NOTE: SOFFITS ARE TO BE PERFORATED AND THE NET FREE SQUARE INCHES SHALL MEET OR EXCEED THE CALCULATED AMOUNT OF VENTILATION REQUIRED



**AREA CALCULATIONS**

TOTAL LIVING	2,160 S.F.
ENTRY PORCH	30 S.F.
REAR ALUMINUM PORCH	272 S.F.
TOTAL AREA UNDER ROOF	2,462 S.F.

FLOOR PLAN

SCALE: 1/4" = 1'-0"

**Residential Design**  
1431 E. Wade Street  
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**RANDOLPH WIGGINS, P.E.**  
1431 E. Wade Street, Suite B Trenton, FL 32693  
STRUCTURAL DESIGNER IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (FBC) AND ALL APPLICABLE LOCAL ORDINANCES.  
DATE: 04/13/2021

**Randolph Wiggins**  
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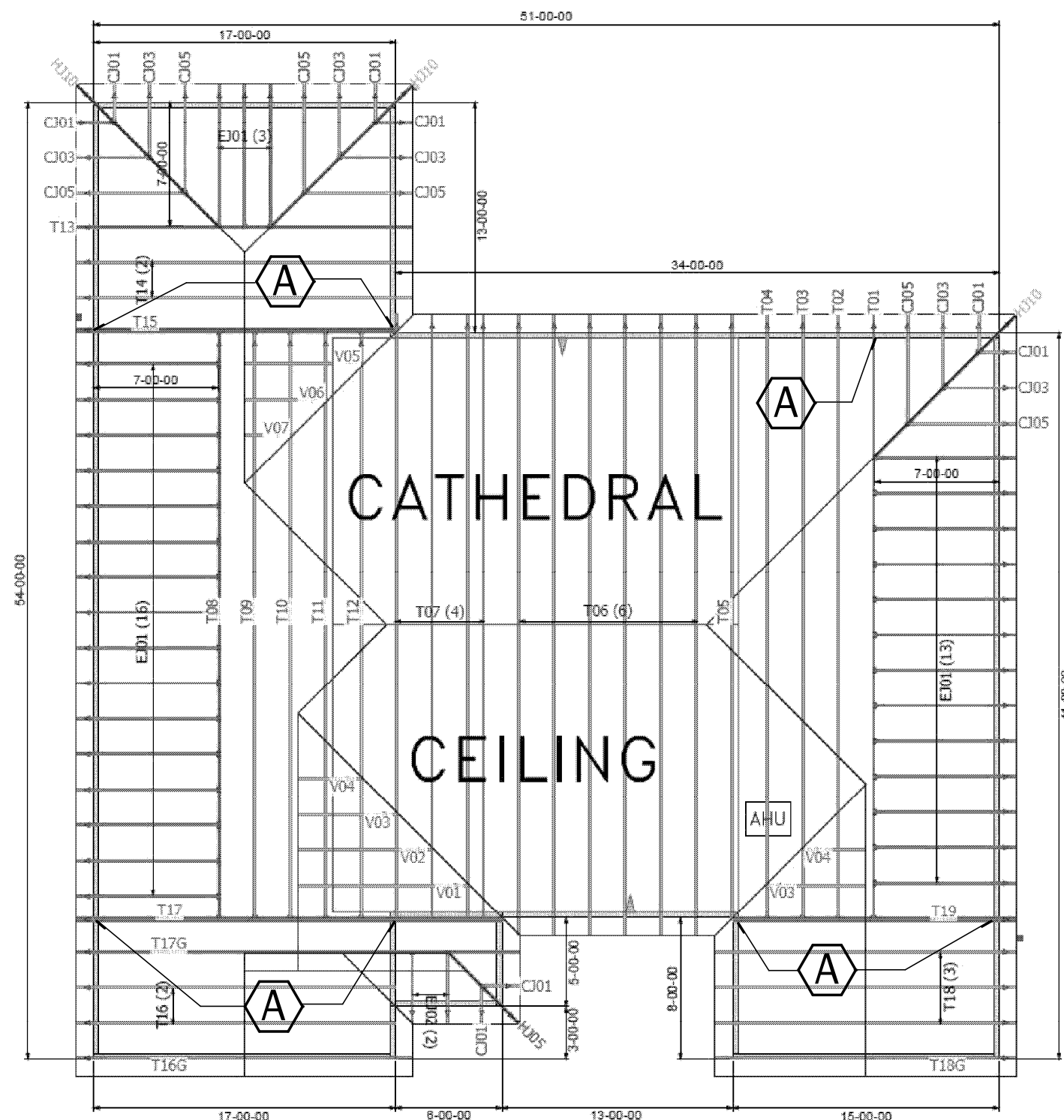
**Building Relationships**  
1431 E. Wade St.  
Trenton, FL 32693  
352-949-3785  
CRC-1331070  
www.wadehomes.com

**PROJECT:** Nelson Residence  
SW Durant St  
High Springs, FL  
Columbia County  
LAST PLOT DATE: April 13, 2021

SHEET NO. **2** OF **4**

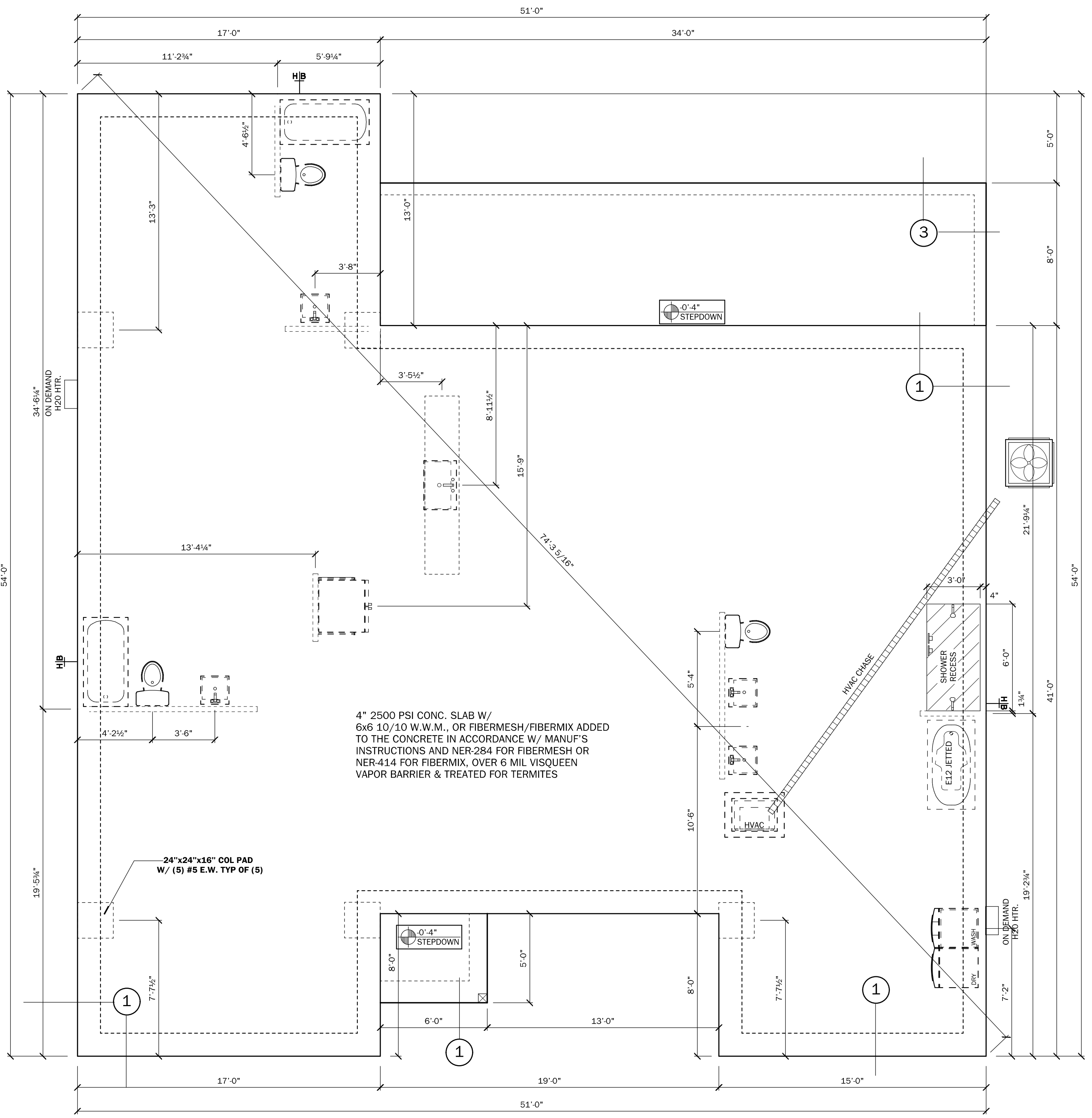
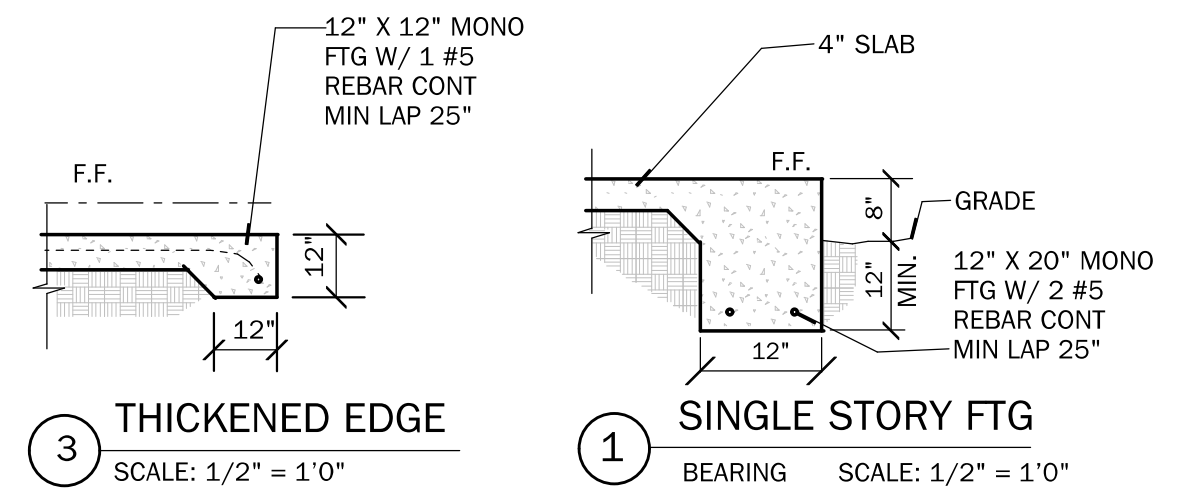
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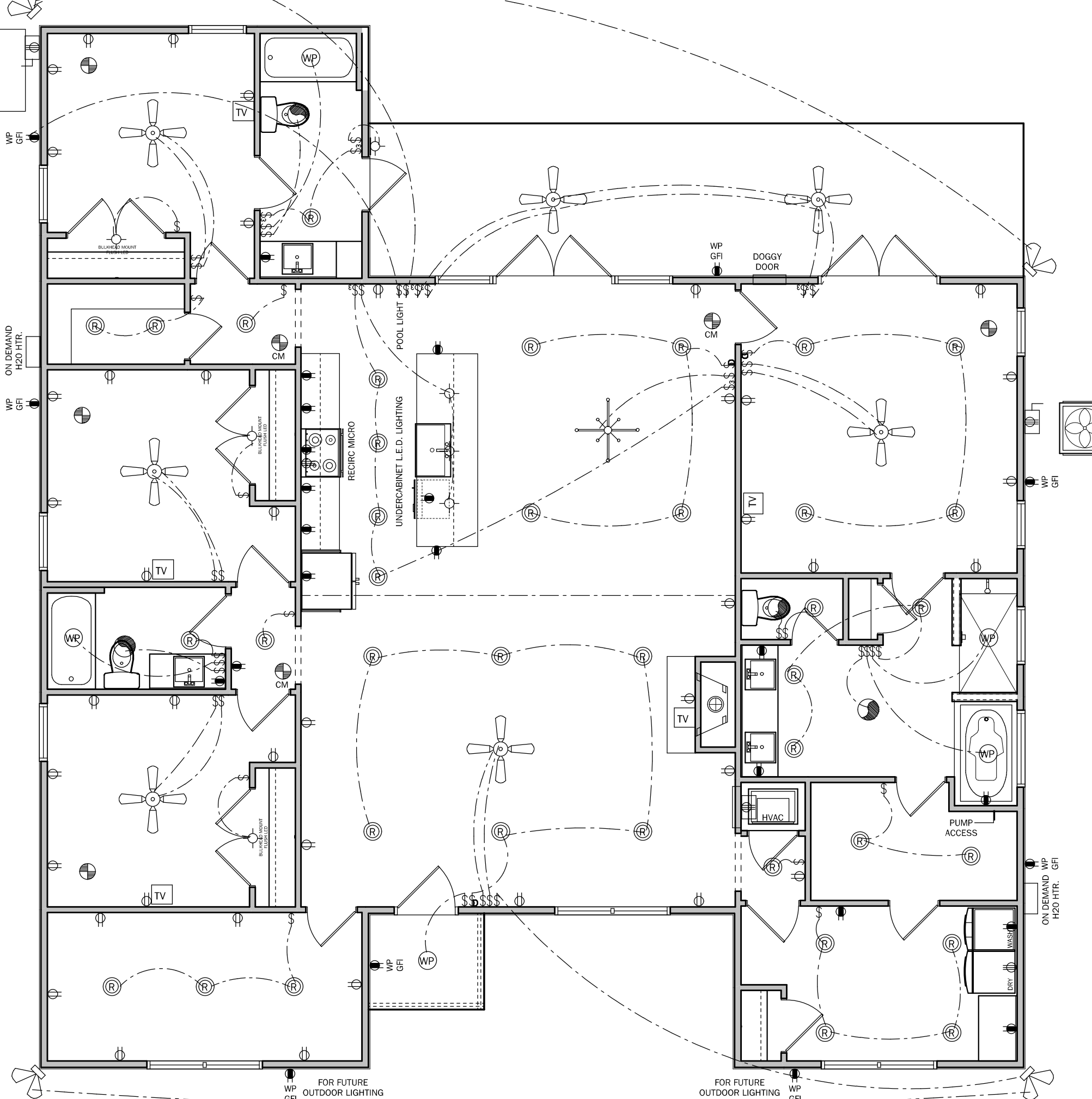
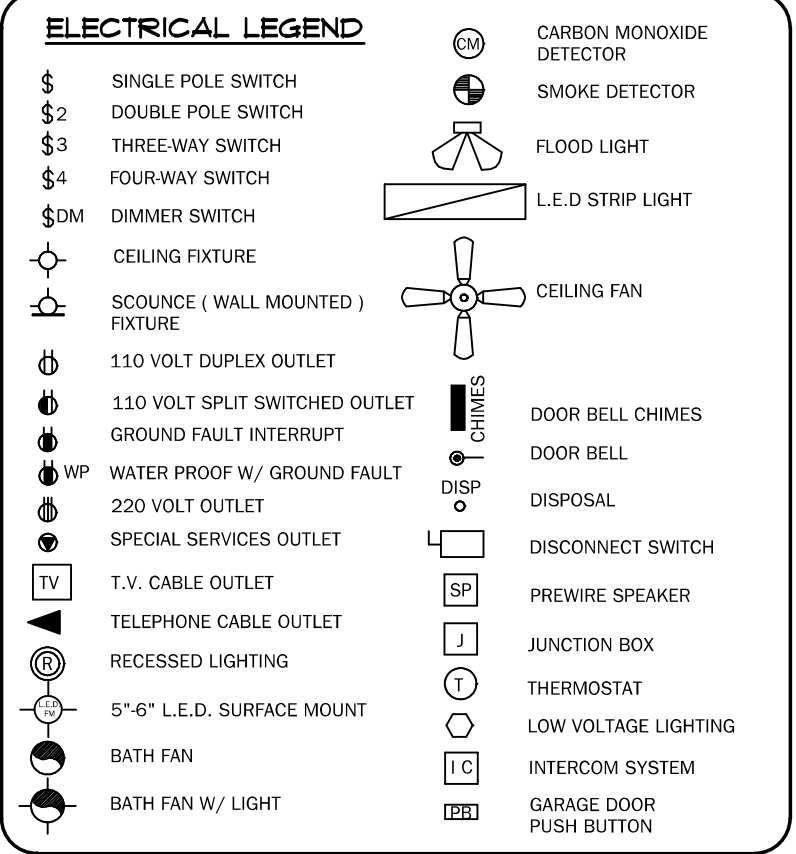
**ROOF PLAN**  
SCALE: 1/8" = 1'-0"

MARK	HOLD DOWN ANALYSIS	UPLIFT
	<b>UNLESS NOTED OTHERWISE PROVIDE APPROPRIATE CONNECTOR PER CHART AND PROVIDED TRUSS ENGINEERING</b> WOOD CONNECTIONS = H2.5 W/ 10-8d NAILS H1 W/ 10-8d NAILS H10 W/ 16-8d NAILS OR MTS12 W/ 14-10dX1-1/2" NAILS HCP (HIP TRUSS) 12-10dX1-1/2" NAILS	365# 400# 850# 645#
(A)	2 - MTS12 W/ 14 10dX1 1/2" NAILS	1720 #U
(B)	2 - HTS20 W/ 20 - 10d	2900 #U
(C)	HCP2 W/ 12-10d X 1 1/2" NAILS	520 #U
(D)	LGT2 W/30-16d SINKERS	1785 #U



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

- NOTES:**  
UNLESS OTHERWISE NOTED
- ELECTRICAL OUTLET HEIGHTS AS MEASURED FROM FINISHED FLOOR TO CENTERED LINE OF THE BOX TO BE: 12" AFF (GENERAL)  
KITCHEN 44" AFF  
BATHROOM 39" AFF  
LAUNDRY ROOM 36" AFF  
EXTERIOR WATERPROOF 12" AFF  
GARAGE GENERAL PURPOSE 42" AFF  
RANGE 2" AFF
  - ALL TRIM PLATES & DEVICES TO BE GANGED, WHERE POSSIBLE.
  - ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE ABOVE FINISHED FLOOR.
  - ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRIC CODE, LATEST EDITION, BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
  - SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE, SECTION 907.
  - KEEP ALL SMOKE DETECTORS MINIMUM OF 36" FROM BATHROOM DOORS
  - IN NEW CONSTRUCTION, SMOKE DETECTORS SHALL BE HARDWIRED INTO AN A/C ELECTRICAL POWER SOURCE AND SHALL BE EQUIPPED WITH A MONITORED BATTERY BACKUP.
  - BATHROOM EXHAUST FANS MUST VENT TO THE EXTERIOR OF THE BUILDING. ATTIC SPACE AND SOFFITS ARE NOT ACCEPTABLE.
  - ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL SHALL BE EQUIPPED WITH AN EXIT ALARM COMPLYING WITH UL 2017 THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 dBA AT 10 FEET AND EITHER HARDWIRED OR OF THE PLUG-IN TYPE. THE EXIT ALARM SHALL PRODUCE A CONTINUOUS AUDIBLE WARNING WHEN THE DOOR OR WINDOW ARE OPENED.
  - STOVE AND DRYER TO HAVE NEUTRAL.
  - PROVIDE TAMPER RESISTANT RECEPTACLES WHERE APPLICABLE
  - PROVIDE ARC-FAULT RECEPTACLES ON ALL 15 & 20 AMP NON GFCI PROTECTED CIRCUITS



**ELECTRICAL PLAN**  
SCALE: 3/16" = 1'-0"

**Residential Design**  
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1431 E. Wade Street, Suite B Trenton, FL 32693  
PROFESSIONAL ENGINEER IN MECHANICAL ENGINEERING WITH THE STATE OF FLORIDA LICENSE NO. 15721  
DATE: 4/13/2021

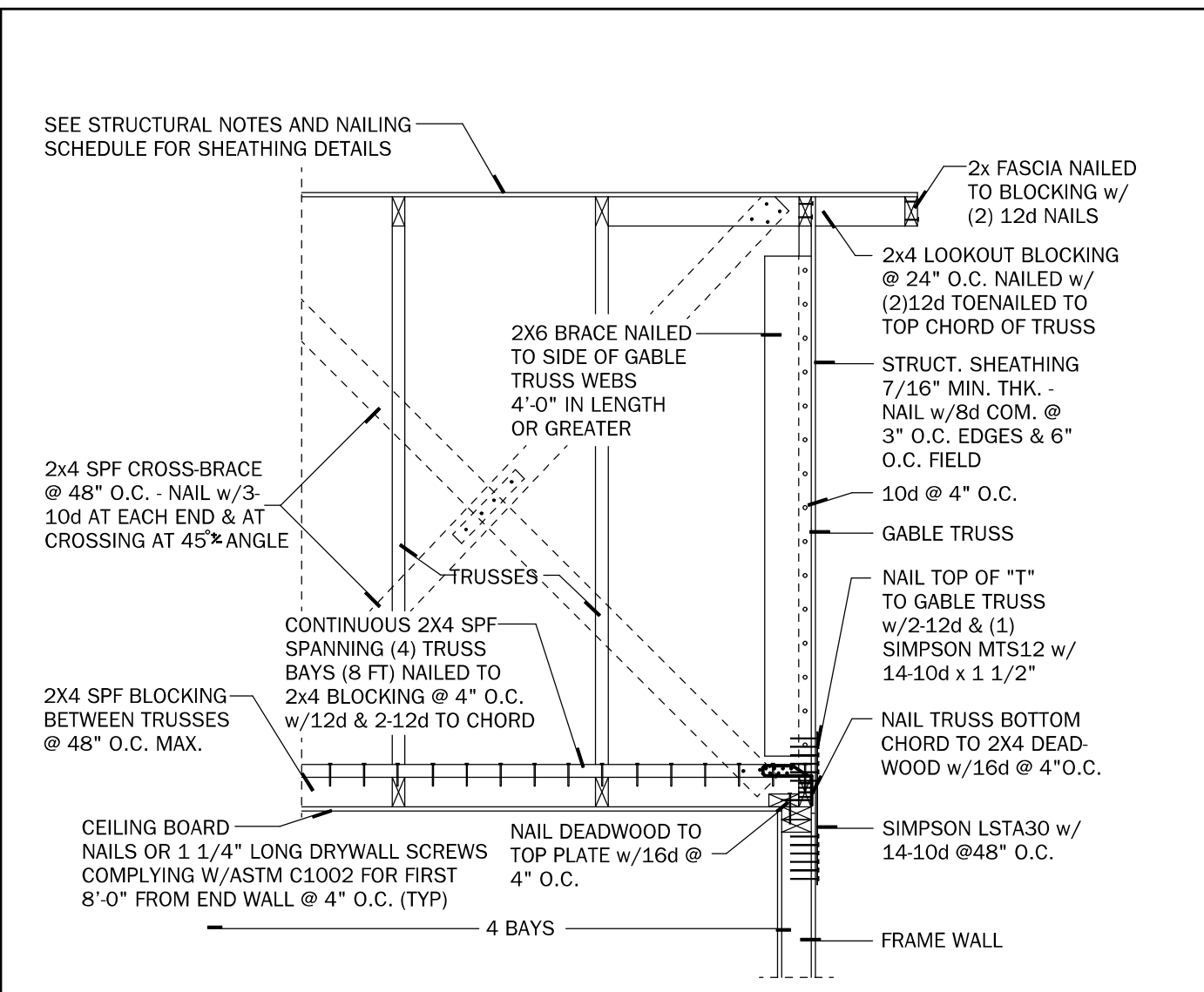
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**Building Relationships**  
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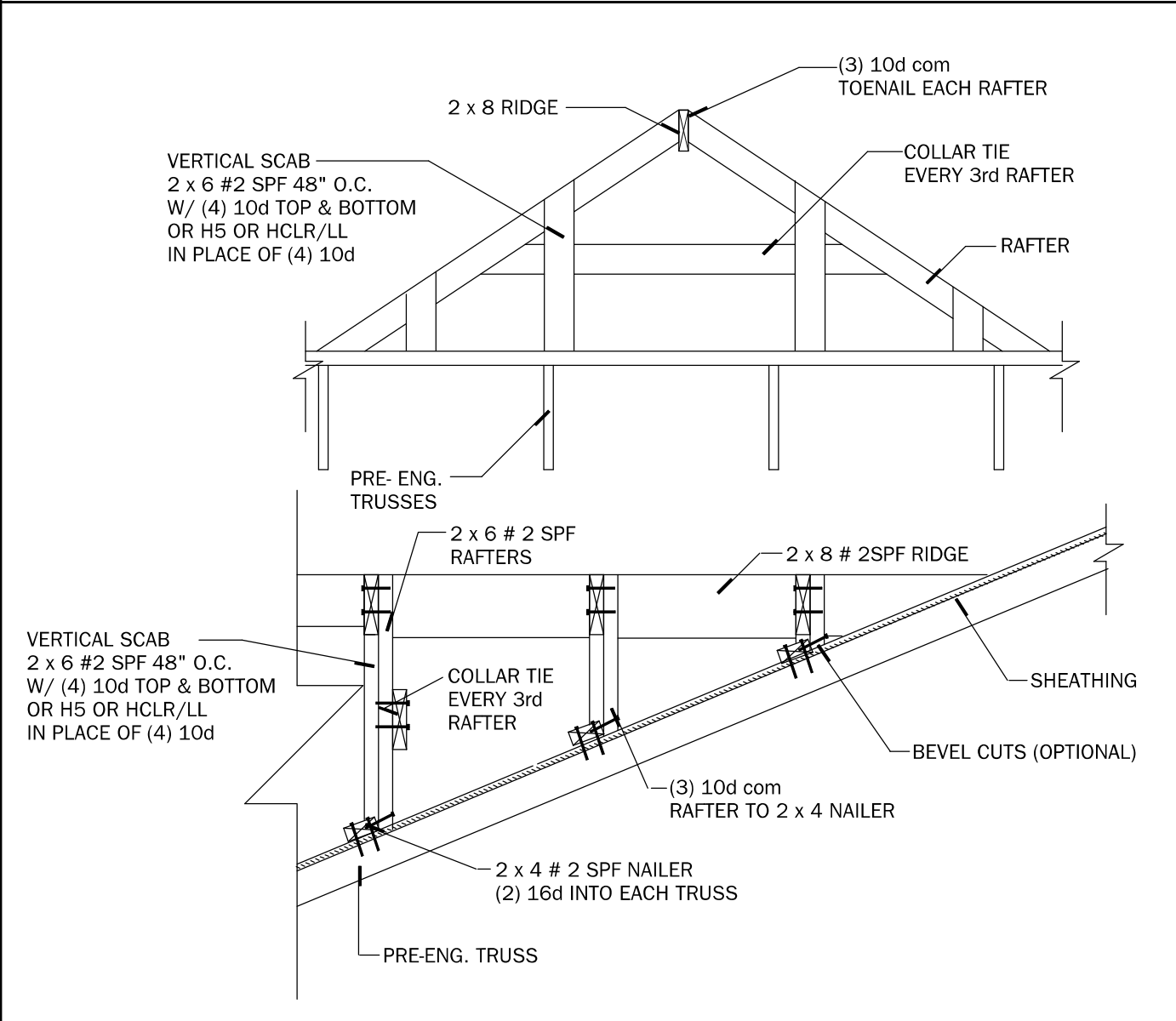
**PROJECT:**  
Nelson Residence  
SW Durant St  
High Springs, FL  
Columbia County  
LAST PLOT DATE: April 13, 2021

**SHEET NO.**  
**3**  
OF  
**4**

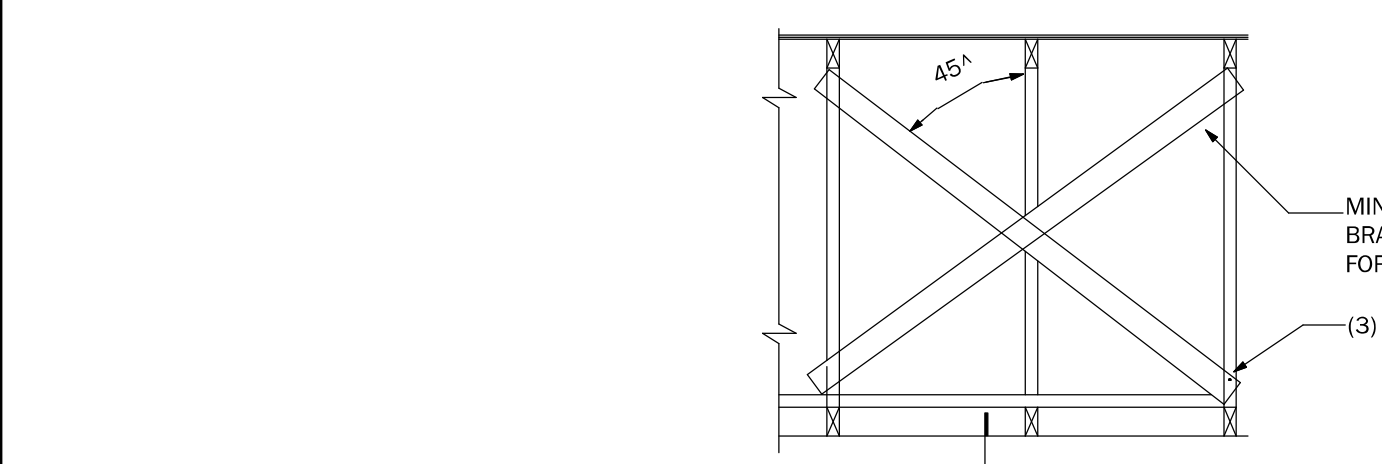
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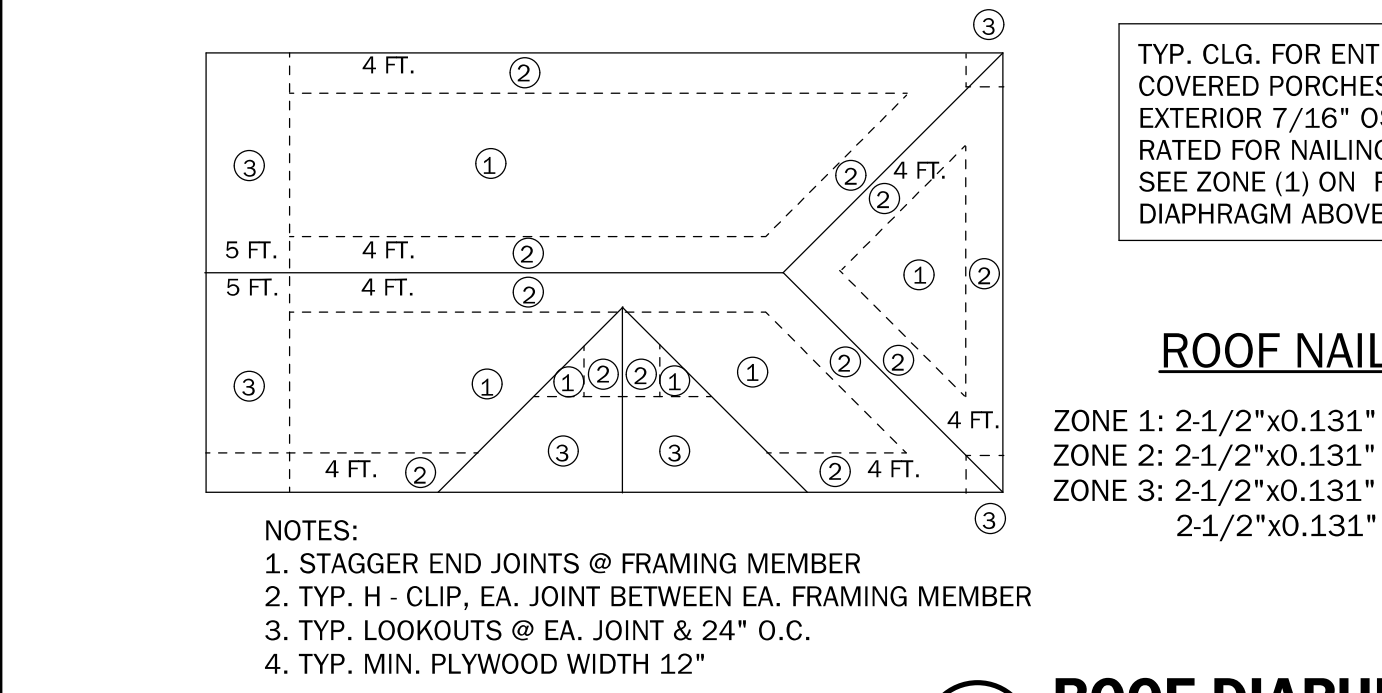
**11 GABLE END BRACING**  
N.T.S.



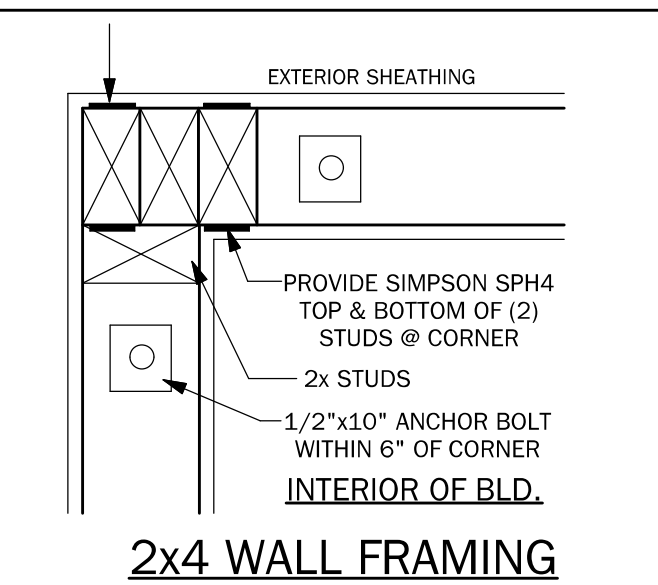
**CONVENTIONAL VALLEY ASSEMBLY**  
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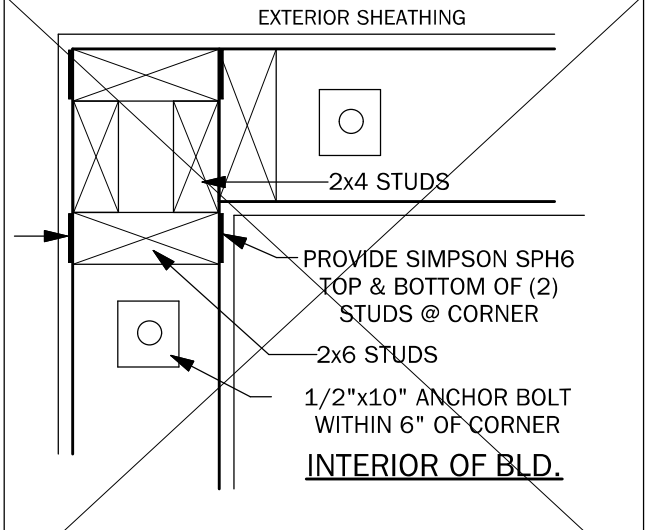
**CROSS BRACING DETAIL**



**15 ROOF DIAPHRAGM NAILING SCHEDULE**  
N.T.S.

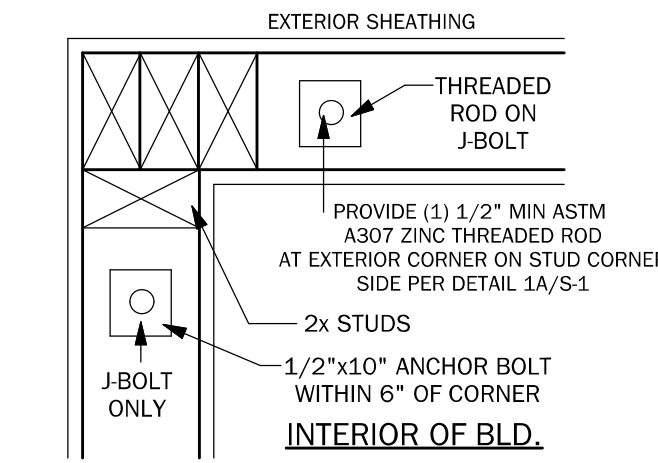


**2x4 WALL FRAMING**

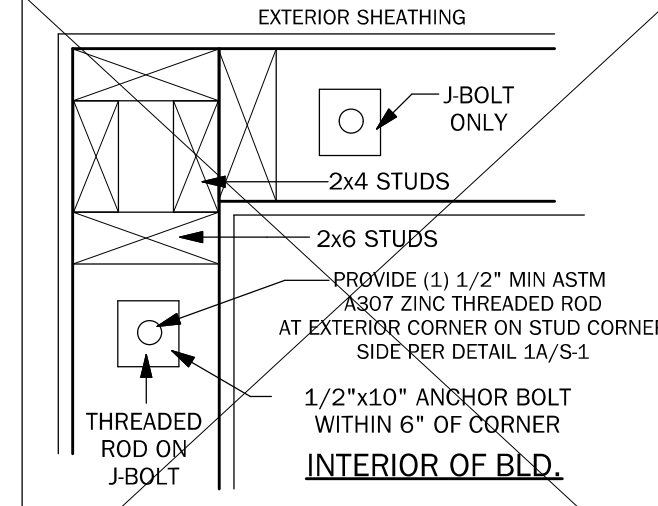


**2x6 WALL FRAMING**

**3 EXTERIOR WALL CORNER FOR 1/S-1**  
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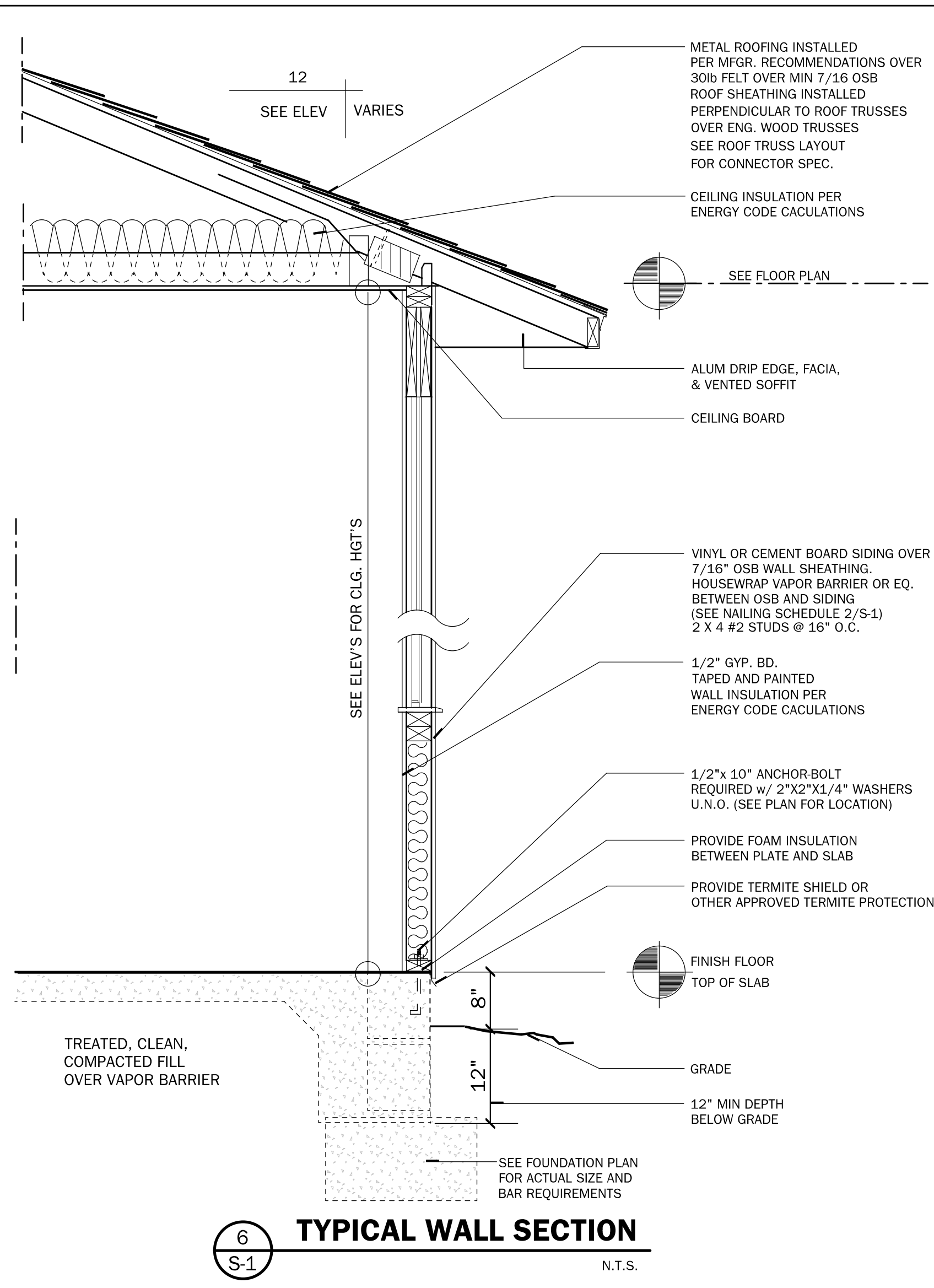


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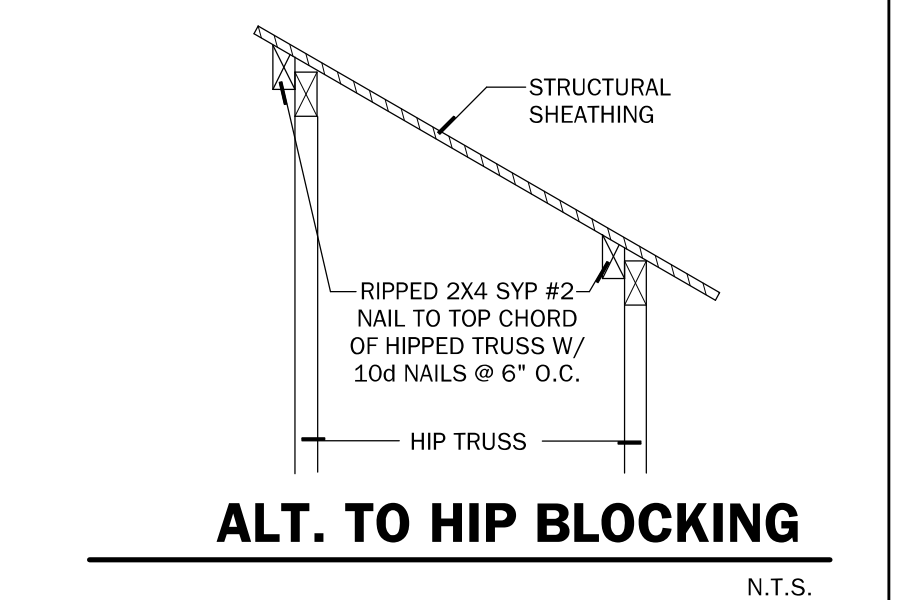


**2x6 WALL FRAMING**

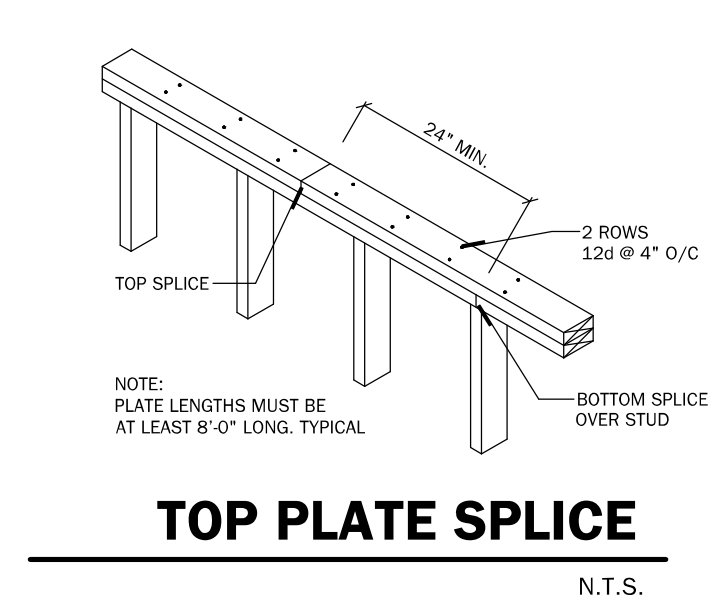
**3 EXTERIOR WALL CORNER FOR 1A/S-1**  
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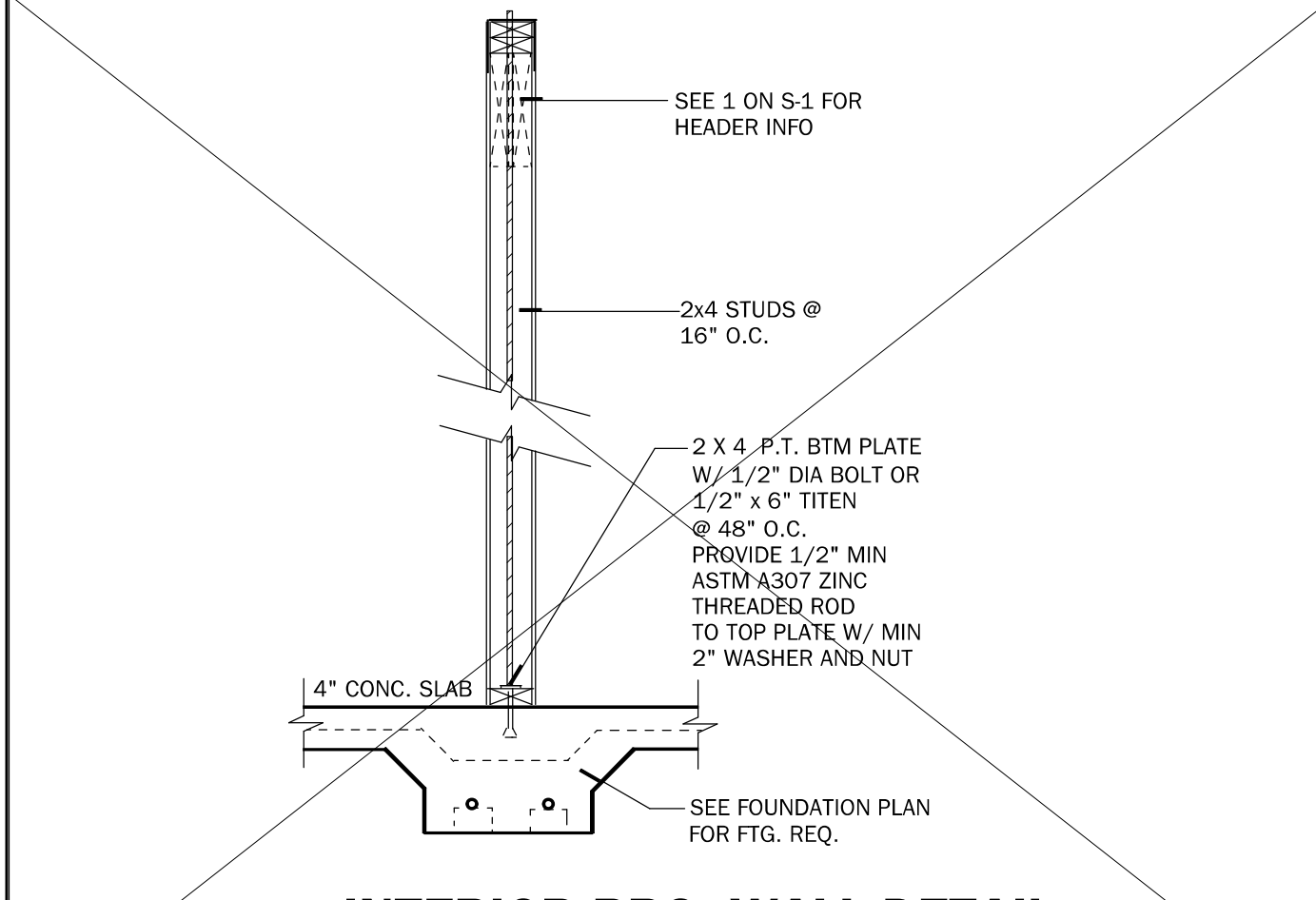
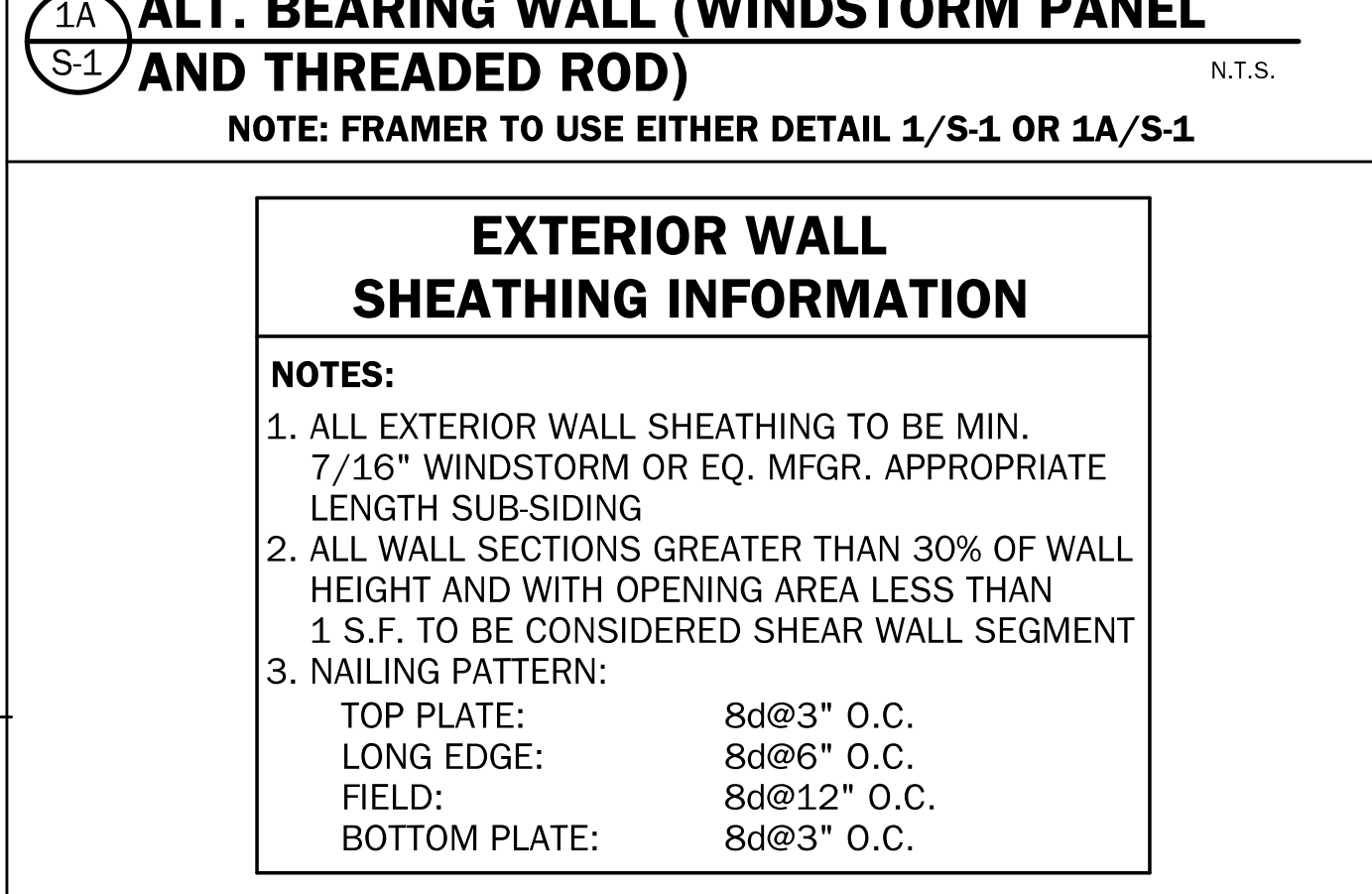
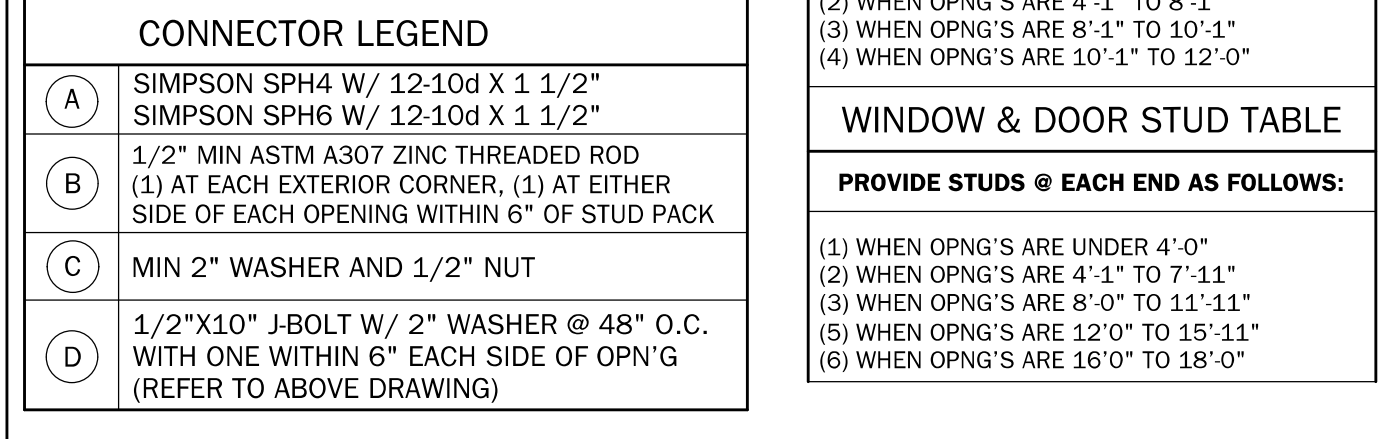
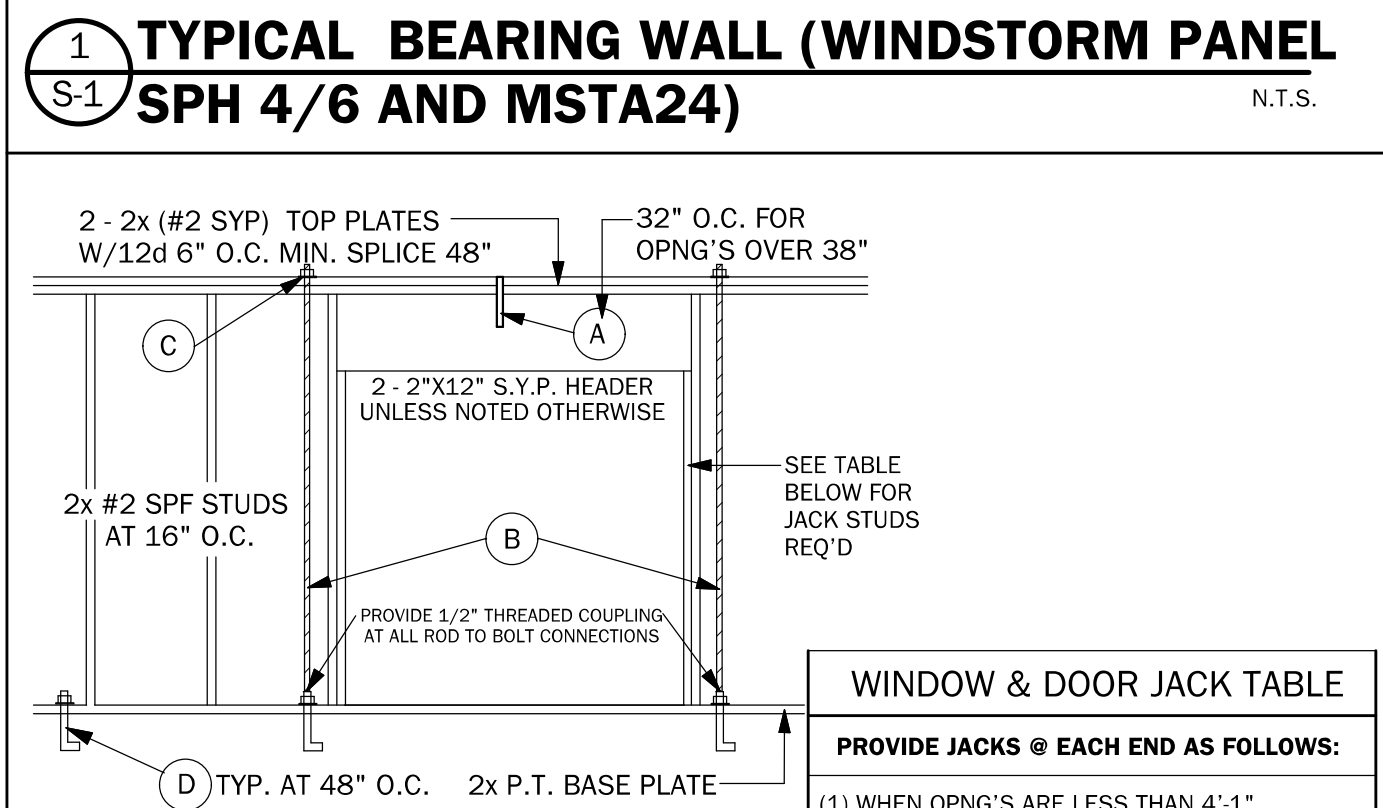
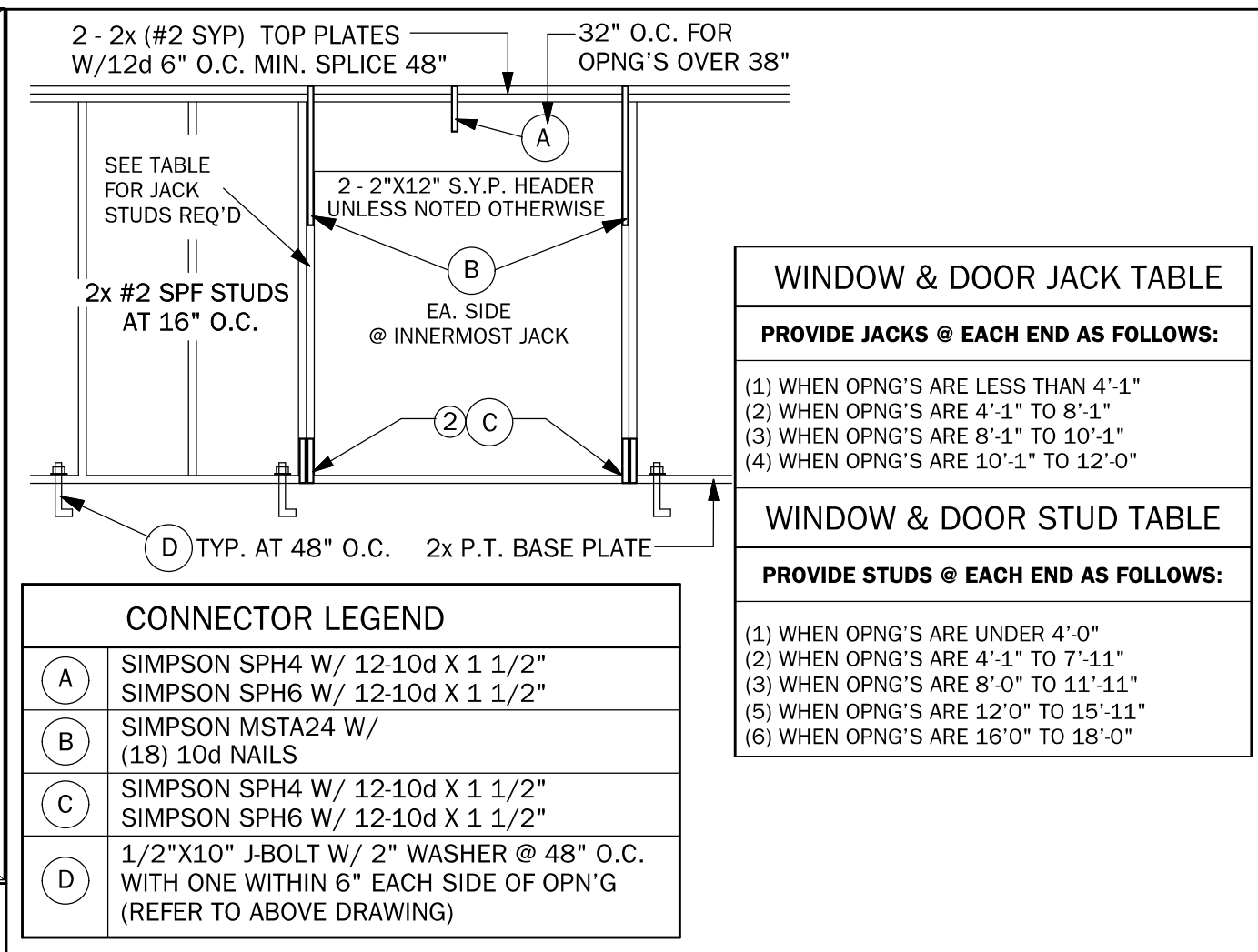
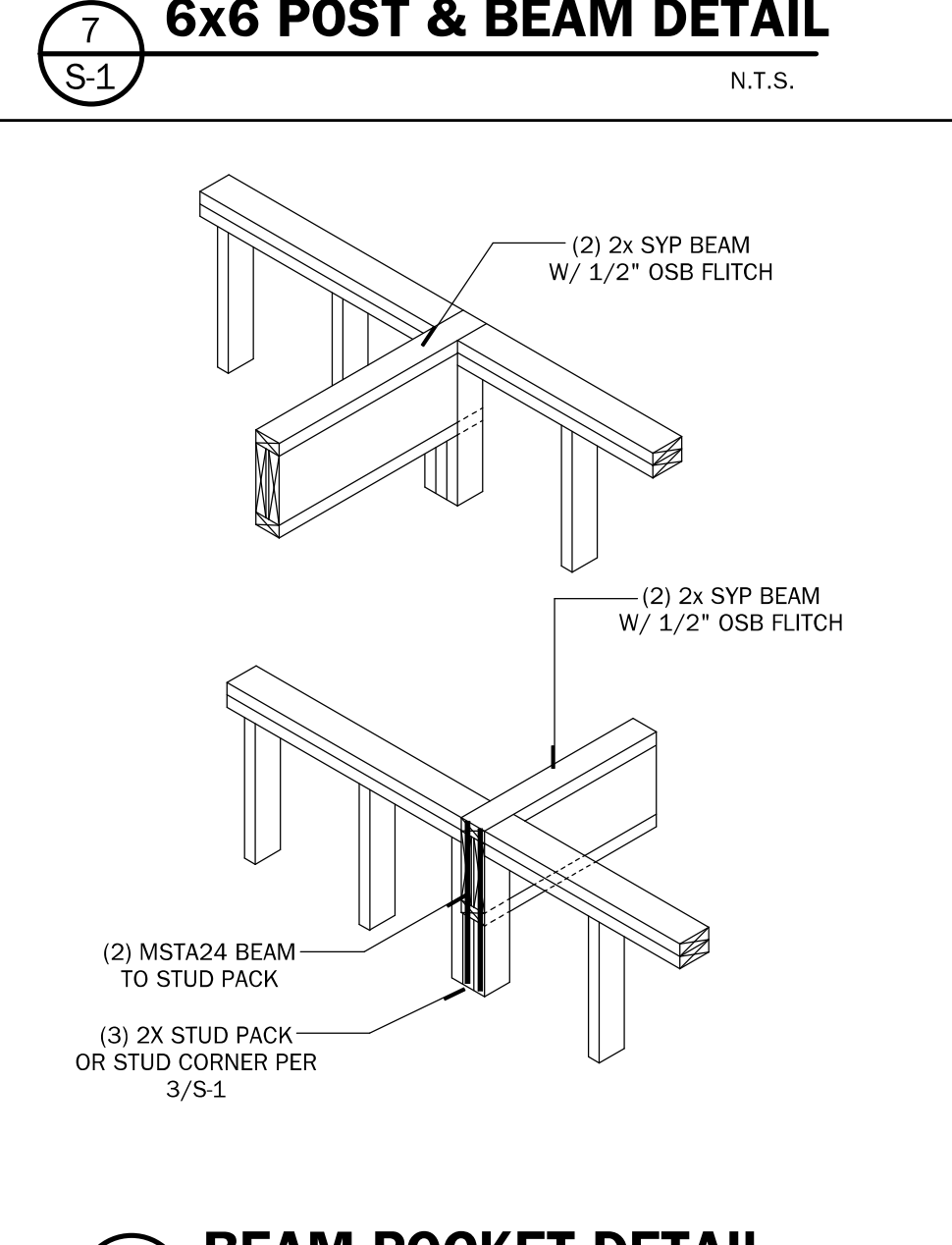
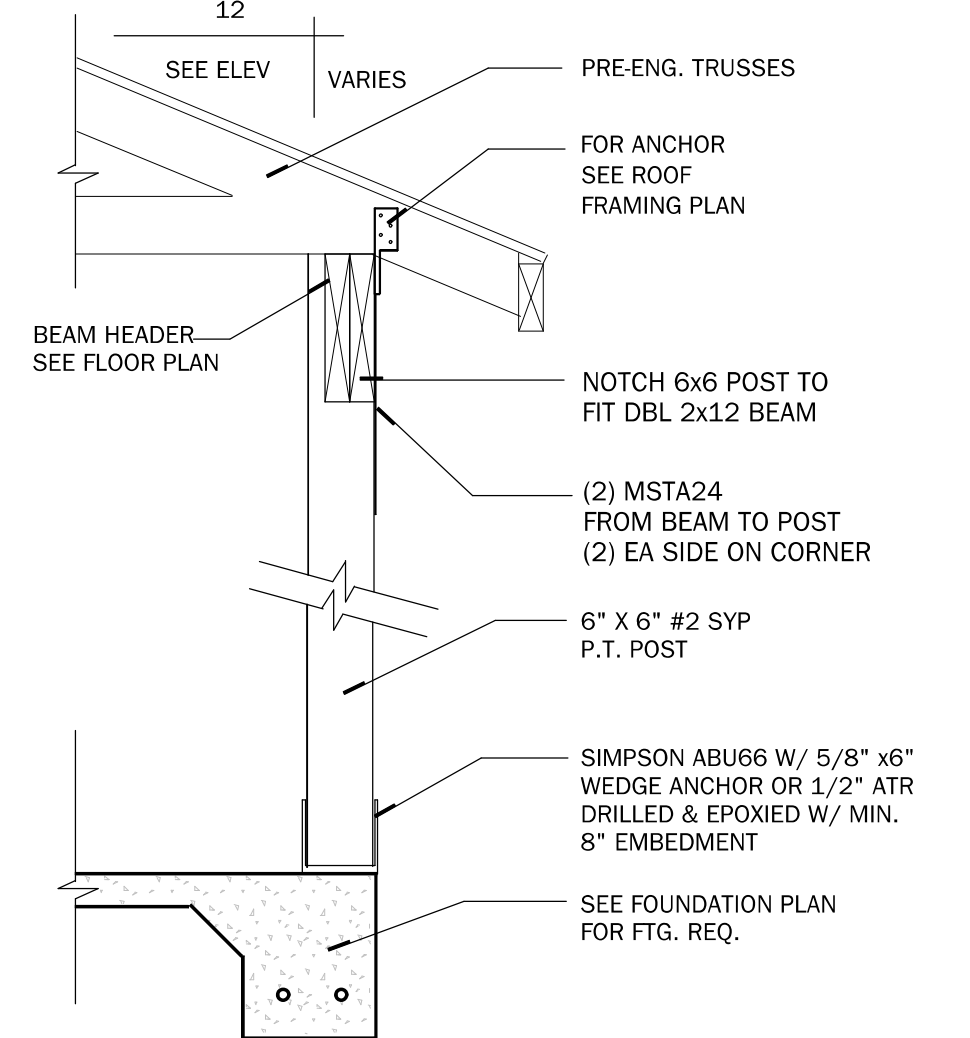
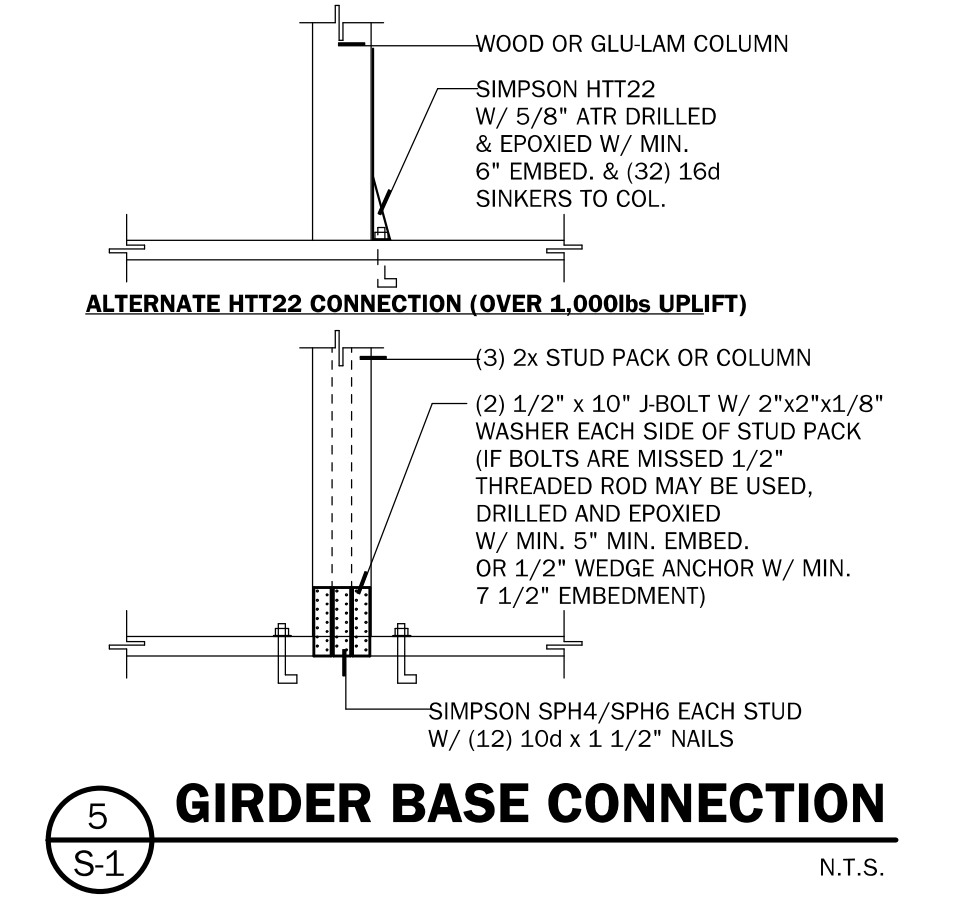
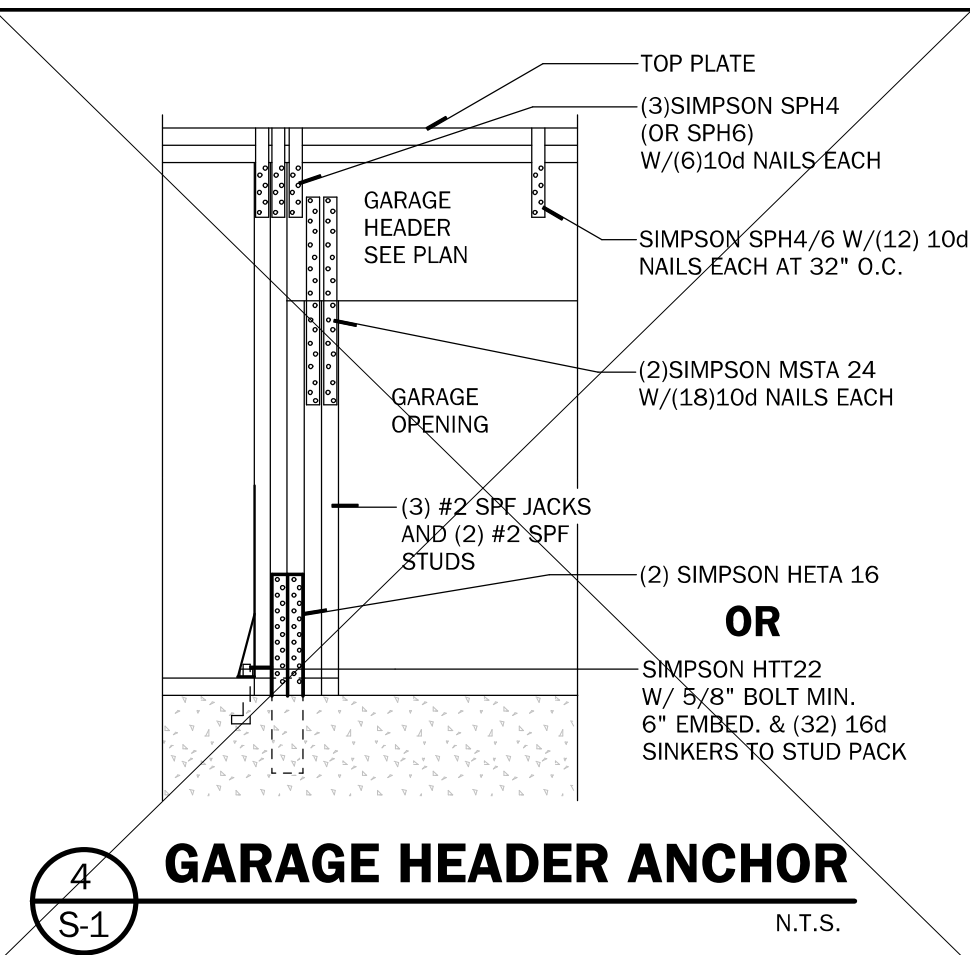
**6 TYPICAL WALL SECTION**  
N.T.S.



**ALT. TO HIP BLOCKING**  
N.T.S.



**TOP PLATE SPLICE**  
N.T.S.



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**100**

**A B**

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STRUCTURAL DESIGNER IN ACCORDANCE WITH THE FLORIDA BUILDING CODE (FBC) AND ALL APPLICABLE LOCAL ORDINANCES

**RANDOLPH WIGGINS, P.E.** P. E. # 17721  
DATE: 11.13.2021

**Randolph Wiggins**  
2021.04.1  
3 16:23:02  
-04'00'

**RANDOLPH WIGGINS**  
No. 15721  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

**Building Relationships**

**WADE**  
CUSTOM HOMES

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CFC1331070  
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**PROJECT:** Nelson Residence  
SW Durant St  
High Springs, FL  
Columbia County

LAST PLOT DATE: April 13, 2021

SHEET NO. **S-1** OF **4**

04-18 PM