

DATE 07/27/2007

# Columbia County Building Permit

PERMIT

This Permit Expires One Year From the Date of Issue

000026067

APPLICANT MICHAEL BYRD PHONE 407 832-1687  
 ADDRESS 7441 BELE RIVER COURT WINTER PARK FL 32792  
 OWNER MICHAEL BYRD PHONE 407 832-1687  
 ADDRESS 336 SW BONIFAY GLEN FT. WHITE FL 32038  
 CONTRACTOR MICHAEL BYRD PHONE 407 832-1687  
 LOCATION OF PROPERTY 47S, TL ON 27, TR ON BONIFAY GLEN, TURN ON PAVEO DRIVE  
LOT ON RIGHT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 78200.00  
 HEATED FLOOR AREA 1564.00 TOTAL AREA 3251.00 HEIGHT        STORIES 1  
 FOUNDATION CONC WALLS FRAMED ROOF PITCH 6/12 FLOOR SLAB  
 LAND USE & ZONING A-3 MAX. HEIGHT 31  
 Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00  
 NO. EX.D.U. 0 FLOOD ZONE X PS DEVELOPMENT PERMIT NO.       

PARCEL ID 19-7S-17-10026-021 SUBDIVISION         
 LOT        BLOCK        PHASE        UNIT        TOTAL ACRES       

000001423  
 Culvert Permit No.        Culvert Waiver        Contractor's License Number        Applicant/Owner/Contractor         
 WAIVER        07-448 BK JH Y  
 Driveway Connection        Septic Tank Number        LU & Zoning checked by        Approved for Issuance        New Resident       

COMMENTS: ONE FOOT ABOVE THE ROAD

Check # or Cash 3035

## FOR BUILDING & ZONING DEPARTMENT ONLY

(footer/Slab)

Temporary Power        Foundation        Monolithic         
 date/app. by        date/app. by        date/app. by         
 Under slab rough-in plumbing        Slab        Sheathing/Nailing         
 date/app. by        date/app. by        date/app. by         
 Framing        Rough-in plumbing above slab and below wood floor         
 date/app. by        date/app. by         
 Electrical rough-in        Heat & Air Duct        Peri. beam (Lintel)         
 date/app. by        date/app. by        date/app. by         
 Permanent power        C.O. Final        Culvert         
 date/app. by        date/app. by        date/app. by         
 M/H tie downs, blocking, electricity and plumbing        Pool         
 date/app. by        date/app. by         
 Reconnection        Pump pole        Utility Pole         
 date/app. by        date/app. by        date/app. by         
 M/H Pole        Travel Trailer        Re-roof         
 date/app. by        date/app. by        date/app. by       

BUILDING PERMIT FEE \$ 395.00 CERTIFICATION FEE \$ 16.25 SURCHARGE FEE \$ 16.25  
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$         
 FLOOD DEVELOPMENT FEE \$        FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$        TOTAL FEE 502.50

INSPECTORS OFFICE *[Signature]* CLERKS OFFICE *[Signature]*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

### This Permit Must Be Prominently Posted on Premises During Construction

PLEASE NOTIFY THE COLUMBIA COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF EACH INSPECTION, IN ORDER THAT IT MAY BE MADE WITHOUT DELAY OR INCONVIENCE, PHONE 758-1008. THIS PERMIT IS NOT VALID UNLESS THE WORK AUTHORIZED BY IT IS COMMENCED WITHIN 6 MONTHS AFTER ISSUANCE.

The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Columbia County Building Permit Application

CK# 3035  
CK# 3036 CW  
Revised 9-23-04

For Office Use Only Application # 0707-11 Date Received 7/3/07 By G Permit # 1423/26067  
 Application Approved by - Zoning Official BK Date 23.07.07 Plans Examiner OKJH Date 7-23-07  
 Flood Zone X P-Surfer Development Permit N/A Zoning A-3 Land Use Plan Map Category A-3  
 Comments SITC PLAN WITHIN PLANS  
NOC

Applicants Name MICHAEL S. BYRD Phone 407-832-1687  
 Address 7441 BELLE RIVER CT, WINDSOR PARK, FL 32792  
 Owners Name MICHAEL S. BYRD Phone 407-832-1687  
 911 Address 336 SW BONIFAY GLEN, FORT WHITE, FL 32038  
 Contractors Name OWNER/BUILDER Phone 407-832-1687  
 Address 336 SW BONIFAY GLEN, FORT WHITE, FL 32038  
 Fee Simple Owner Name & Address MICHAEL S. BYRD; 336 SW BONIFAY GLEN, FORT WHITE, FL 32038  
 Bonding Co. Name & Address NONE  
 Architect/Engineer Name & Address MARK DISOSWAY, PE / POB 868, LAKE CITY, FL 32056  
 Mortgage Lenders Name & Address CASTLE FINANCIAL / 775 WARENS LANE, ORLANDO, FL 32808  
 Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progressive Energy  
 Property ID Number 19-75-17-10026-021 Estimated Cost of Construction \$25,000  
 Subdivision Name SECTION 19, TOWNSHIP 7, SOUTH RANGE 17, Lot Block Unit Phase  
EAST COLUMBIA COUNTY, FL.  
 Driving Directions HWT 90 TURN LEFT ON 41, TURN RIGHT ON 47, FOLLOW TO 27 TURN LEFT, TURN RIGHT  
ON BONIFAY GLEN, FOLLOW DIRT ROAD TURN ON PAVED DRIVE AND LOT IS ON RIGHT.  
 Type of Construction Block Residence SFD Number of Existing Dwellings on Property 1  
 Total Acreage 1 Lot Size 210x210 Do you need a - Culvert Permit or Culvert Waiver or Have an Existing Drive  
 Actual Distance of Structure from Property Lines - Front 65' Side 35' Side 82' Rear 95'  
 Total Building Height 31' Number of Stories 2 Heated Floor Area 1564 Roof Pitch 6/12  
70796 3,251

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

OWNERS AFFIDAVIT: I hereby certify that all the foregoing information is accurate and all work will be done in compliance with all applicable laws and regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

[Signature]  
Owner Builder or Agent (Including Contractor)

Contractor Signature \_\_\_\_\_  
Contractors License Number \_\_\_\_\_  
Competency Card Number \_\_\_\_\_  
NOTARY STAMP/SEAL

STATE OF FLORIDA  
COUNTY OF COLUMBIA

Sworn to (or affirmed) and subscribed before me  
this 3 day of July 20 07.  
Personally known \_\_\_\_\_ or Produced Identification

Notary Signature [Signature]  
JESSICA L. WOOLSEY  
Notary Public, State of Florida  
Commission # DD618782  
My comm. expires Dec. 5, 2010

Above Space Reserved for Recording

(If required by your jurisdiction, list above the name & address of: 1) where to return this form; 2) preparer; 3) party requesting recording.)

# Warranty Deed

Date of this Document: May 20, 2007

Reference Number of Related Documents: R10026-012

Grantor(s):

Name Thomas M Byrd and Marilyn S. Byrd husband and wife  
Street Address 338 SW Bonday Glen  
City/State/Zip  Ft White, Florida 32038

Grantee(s):

Name Michael S. Byrd  
Street Address 7441 Belle River Court  
City/State/Zip Winter Park, Florida 32792

Abbreviated Legal Description (i.e., lot, block, plat, or section, township, range, quarter/quarter or unit, building and condo name): Section 19, Township 7, South, Range 17, East, Columbia County, FL.

Assessor's Property Tax Parcel/Account Number(s): 19-15-17-10026-012

For good consideration, Thomas M. Byrd and Marilyn S. Byrd  
of 338 SW Bonday Glen, Ft White, County of Columbia  
State of FL 32038, hereby bargain, deed and convey to Michael S. Byrd  
of 7441 Belle River Court  
County of Orange, State of Florida, the following described land in  
Columbia County, free and clear with WARRANTY COVENANTS; to wit:

See Exhibit A corrective description for  
B:1119 P: 2157

Grantor, for itself and its heirs, hereby covenants with Grantee, its heirs, and assigns, that Grantor is lawfully seized in fee simple of the above-described premises; that it has a good right to convey; that the premises are free from all encumbrances; that Grantor and its heirs, and all persons acquiring any interest in the property granted, through or for Grantor, will, on demand of Grantee, or its heirs or assigns, and at the expense of Grantee, its heirs or assigns, execute any instrument necessary for the further assurance of the title to the premises that may be reasonably required; and that Grantor and its heirs will forever warrant and defend all of the property so granted to Grantee, its heirs, and assigns, against every person lawfully claiming the same or any part thereof.

Being the same property conveyed to the Grantor by deed of 338 SW Bonby Eby, Ft. White, dated June 13, 2007.

WITNESS the hands and seal of said Grantor this 13<sup>th</sup> day of June, 2007.

Elizabeth L. Strickland  
Shirley Luke  
Francis Presnell

Thomas M. Bynrd  
Grantor  
Marilyn Sue Bynrd  
Grantor

State of Florida  
County of Columbia

On 6-13-2007 before me Thomas M. Bynrd + Marilyn Bynrd, personally appeared Drivers License B6308335-20120 - B63054457200, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Elizabeth L. Strickland

Affiant Known  Unknown  
ID Produced Drivers License

ELIZABETH L. STRICKLAND  
Notary Public, State of Florida  
My comm. exp. Oct. 17, 2007  
Comm. No. DD 239778

(Seal)

# EXHIBIT A - CORRECTIVE DESCRIPTION

DESCRIPTION: LOT 12C

A PART OF THE N.E. 1/4 OF SECTION 19, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE NORTHEAST CORNER OF THE S.E.1/4 OF SAID N.E. 1/4 AND RUN S.1°55'47"E., ALONG THE EAST LINE THEREOF, 30.00 FEET TO A POINT ON THE CENTERLINE OF A 60.00 FOOT ROAD EASEMENT; THENCE S.88°09'27"W., ALONG SAID CENTERLINE 581.30 FEET; THENCE S.40°58'32"W., ALONG SAID CENTERLINE 91.51 FEET; THENCE S.25°25'51"E., 32.74 FEET TO A POINT ON THE SOUTH LINE OF THE AFOREMENTIONED ROAD EASEMENT; THENCE S.1°52'40"E., 547.58 FEET; THENCE S.88°07'20"W., 495.40 FEET TO A CONCRETE MONUMENT, LS 1519; THENCE N.75°40'16"W., 41.75 FEET; THENCE N.01°53'26"W., 261.33 FEET TO A 5/8" IRON ROD, LS 4708, AND THE POINT OF BEGINNING; THENCE S.88°06'28"W., 174.63 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.31°38'09"W., 223.99 FEET TO A 5/8" IRON ROD, LS 4708; THENCE N.88°06'28"E., 223.99 FEET TO A 5/8" IRON ROD, LS 4708; THENCE S.31°38'09"E., 223.99 FEET TO A 5/8" IRON ROD, LS 4708; THENCE S.88°06'28"W., 49.35 FEET TO THE POINT OF BEGINNING.

CONTAINING 1.00 ACRES, MORE OR LESS.

SUBJECT TO AN EASEMENT FOR INGRESS AND EGRESS PURPOSES OVER AND ACROSS THE EASTERLY 5.00 FEET THEREOF.

TOGETHER WITH A 20 FOOT WIDE ROAD EASEMENT FOR INGRESS AND EGRESS LYING 10 FEET TO EACH SIDE OF AND ADJACENT TO THE FOLLOWING DESCRIBED CENTERLINE:

A PART OF THE N.E. 1/4 OF SECTION 19, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS; COMMENCE AT THE NORTHEAST CORNER OF THE S.E.1/4 OF SAID N.E. 1/4 AND RUN S.1°55'47"E., ALONG THE EAST LINE THEREOF, 30.00 FEET TO A POINT ON THE CENTERLINE OF A 60.00 FOOT ROAD EASEMENT; THENCE S.88°09'27"W., ALONG SAID CENTERLINE 581.30 FEET; THENCE S.40°58'32"W., ALONG SAID CENTERLINE 91.51 FEET; THENCE S.88°09'27"W., 55.00 FEET; THENCE N.44°38'38"W., 91.30 FEET; THENCE S.88°10'14"W., 589.85 FEET; THENCE S.01°49'46"E., 30.00 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF THE AFOREMENTIONED 60.00 FOOT WIDE ROAD EASEMENT AND THE POINT OF BEGINNING OF THE HEREINAFTER DESCRIBED EASEMENT CENTERLINE; THENCE \*S.54°13'11"E., 72.48 FEET; THENCE S.37°52'10"E., 94.02 FEET; THENCE S.31°38'09"E., 252.28 FEET TO THE POINT OF TERMINATION OF SAID CENTERLINE. THE SIDE LINES OF SAID 20.00 FOOT WIDE EASEMENT ARE TO BE LENGTHENED OR SHORTENED AS NECESSARY TO CREATE A CONTINUOUS CORRIDOR 20.00 FEET IN WIDTH FROM THE SOUTHERLY LINE OF THE 60.00 FOOT WIDE ROAD EASEMENT TO THE EASTERLY EXTENSION OF THE SOUTHERLY LINE OF THE BENEFITING 1.01 ACRE TRACT DESCRIBED ABOVE.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE FOLLOWING DESCRIBED LANDS:

60-FOOT ROAD EASEMENT ALONG NORTH LINE OF SUBDIVISION

A STRIP OF LAND 60 FEET IN WIDTH BEING 30 FEET EACH SIDE OF A CENTERLINE DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF SECTION 19, TOWNSHIP 7 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S.88°28'11" W. ALONG THE SOUTH LINE OF SAID SECTION 19, 515.46 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 20 (U.S. HIGHWAY 27), THENCE N.26°36'17" W. ALONG SAID EASTERLY RIGHT-OF-WAY LINE, 3664.61 FEET TO THE CENTERLINE OF SAID ROAD EASEMENT AND TO THE POINT OF BEGINNING, THENCE N.59°19'43" E. ALONG SAID CENTERLINE, 325.94 FEET, THENCE N.23°36'17"W. ALONG SAID CENTERLINE, 285.36 FEET, THENCE N.47°12'03"E. ALONG SAID CENTERLINE, 294.78 FEET, THENCE N.88°09'27"E. ALONG SAID CENTERLINE, 883.07 FEET, THENCE S.44°38'38"E. ALONG SAID CENTERLINE, 91.30 FEET, THENCE N.88°09'27"E. ALONG SAID CENTERLINE, 55.00 FEET; THENCE N.40°58'32"E. ALONG SAID CENTERLINE, 91.51 FEET, THENCE N.88°09'27"E. ALONG SAID CENTERLINE, 581.30 FEET TO THE SECTION LINE BETWEEN SECTIONS 19 AND 20, THENCE N.88°19'52"E. ALONG SAID CENTERLINE, 87.42 FEET TO THE WEST LINE OF PARCEL 28 AND TO THE POINT OF TERMINATION.

AFFIDAVIT OF SUBDIVIDED REAL PROPERTY  
FOR USE OF IMMEDIATE FAMILY MEMBERS  
FOR PRIMARY RESIDENCE

STATE OF FLORIDA  
COUNTY OF COLUMBIA

BEFORE ME the undersigned Notary Public personally appeared.

THOMAS M. BYRO

MEKILYN S. BYRO, the Owner of the parent tract which has been subdivided for immediate family primary residence use, hereinafter the Owner, and

MICHAEL S. BYRO

, the family member of the Owner, who is the owner of the family parcel which is intended for immediate family primary residence use, hereafter the Family Member, and is related to the Owner as

SON

, and both individuals being first duly sworn according to law, depose and say:

1. Both the Owner and the Family Member have personal knowledge of all matters set forth in this Affidavit.
2. The Owner holds fee simple title to certain real property situated in Columbia County, and more particularly described by reference to the Columbia county Property Appraiser Tax Parcel No. 19-75-17-10026-012.
3. The Owner has divided his parent parcel for use of immediate family members for their primary residence and the parcel divided and the remaining parent parcel are at least  $\frac{1}{2}$  acre in size. Immediate family is defined as grandparent, parent, step-parent, adopted parent, sibling, child, step-child, adopted child or grandchild.
4. The Family Member is a member of the Owner's immediate family, as set forth above, and holds fee simple title to certain real property divided from the Owner's parcel situated in Columbia County and more particularly described by reference to the Columbia County Property Appraiser Tax Parcel No. 19-75-17-10026-021.
5. No person or entity other than the Owner and Family Member claims or is presently entitled to the right of possession or is in possession of the property, and there are no tenancies, leases or other occupancies that affect the Property.
6. This Affidavit is made for the specific purpose of inducing Columbia County to recognize a family division for a family member on the parcel divided in accordance with Section 14.9 of the Columbia County Land Development Regulations.

7. This Affidavit is made and given by Affiants with full knowledge that the facts contained herein are accurate and complete, and with full knowledge that the penalties under Florida law for perjury include conviction of a felony of the third degree.

We Hereby Certify that the information contained in this Affidavit are true and correct.

Thomas M. Byrd / Marilyn S. Byrd      Michael S. Byrd  
6630 833 530 820 Owner / 6630 544 52 72 00      Family Member 6630 557 73 21 20

THOMAS M. BYRD MERILYN S. BYRD  
Typed or Printed Name

MICHAEL S. BYRD  
Typed or Printed Name

Subscribed and sworn to (or affirmed) before me this 23 day of July, 2007, by Thomas + Marilyn Byrd (Owner) who is personally known to me or has produced Florida drivers license as identification.

Elizabeth L. Strickland  
Notary Public

ELIZABETH L. STRICKLAND  
Notary Public, State of Florida  
My comm. exp. Oct. 17, 2007  
Comm. No. DD 239776

Subscribed and sworn to (or affirmed) before me this 23 day of July, 2007, by Michael S Byrd (Family Member) who is personally known to me or has produced FL drivers license as identification.

Elizabeth L. Strickland  
Notary Public

ELIZABETH L. STRICKLAND  
Notary Public, State of Florida  
My comm. exp. Oct. 17, 2007  
Comm. No. DD 239776

District No. 1 - Ronald Williams  
District No. 2 - Dewey Weaver  
District No. 3 - George Skinner  
District No. 4 - Stephen E. Bailey  
District No. 5 - Elizabeth Porter



**BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY**

16 July 2007

Michael Byrd  
7441 Belle River Court  
Winter Park, FL 32792

RE: Building Permit Application for Parcel #19-7S-176-10026-012

Dear Mr. Byrd:

The above referenced parcel is zoned Agriculture-3 (A-3). This zoning required a minimum of five (5) acres per dwelling unit. However, Section 14.9 of the Columbia County Land Development Regulations (LDR's allow for Special Family Lot Permits for the purpose of conveying a lot or parcel to an individual who is the parent, grandparent, sibling, child or adopted child or grandchild of the person who conveyed the parcel to said individual, not to exceed two (2) dwelling units per one (1) acre, for the individual to reside on the property and the lot complies with all other conditions from permitting development as set forth in these land development regulations. I am making the assumption based on a copy of the Quit Claim Deed submitted with the application that this is indeed the case. In order to proceed with this application, a Family Relationship Affidavit has to be signed and notarized. I have enclosed a copy of the affidavit. Please note that a new parcel ID number will have to be created for your parcel on this affidavit. You will need to check with the Columbia County Property Appraisers Office in order to obtain this parcel ID number.

If you have any questions concerning this matter, please do not hesitate to contact me at 386.758.1007.

Sincerely,

Brian L. Kepner  
Land Development Regulation Administrator,  
County Planner

Enclosure

# COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787

PHONE: (386) 758-1125 \* FAX: (386) 758-1365 \* Email: ron\_croft@columbiacountyfla.com

## Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 5/21/2007 DATE ISSUED: 5/23/2007

### ENHANCED 9-1-1 ADDRESS:

336 SW BONIFAY GLN

FORT WHITE FL 32038

### PROPERTY APPRAISER PARCEL NUMBER:

19-7S-17-10026-012

### Remarks:

PARENT PARCEL

Address Issued By:



Columbia County 9-1-1 Addressing / GIS Department

**NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.**

Approved Address

MAY 23 2007

911Addressing/GIS Dept



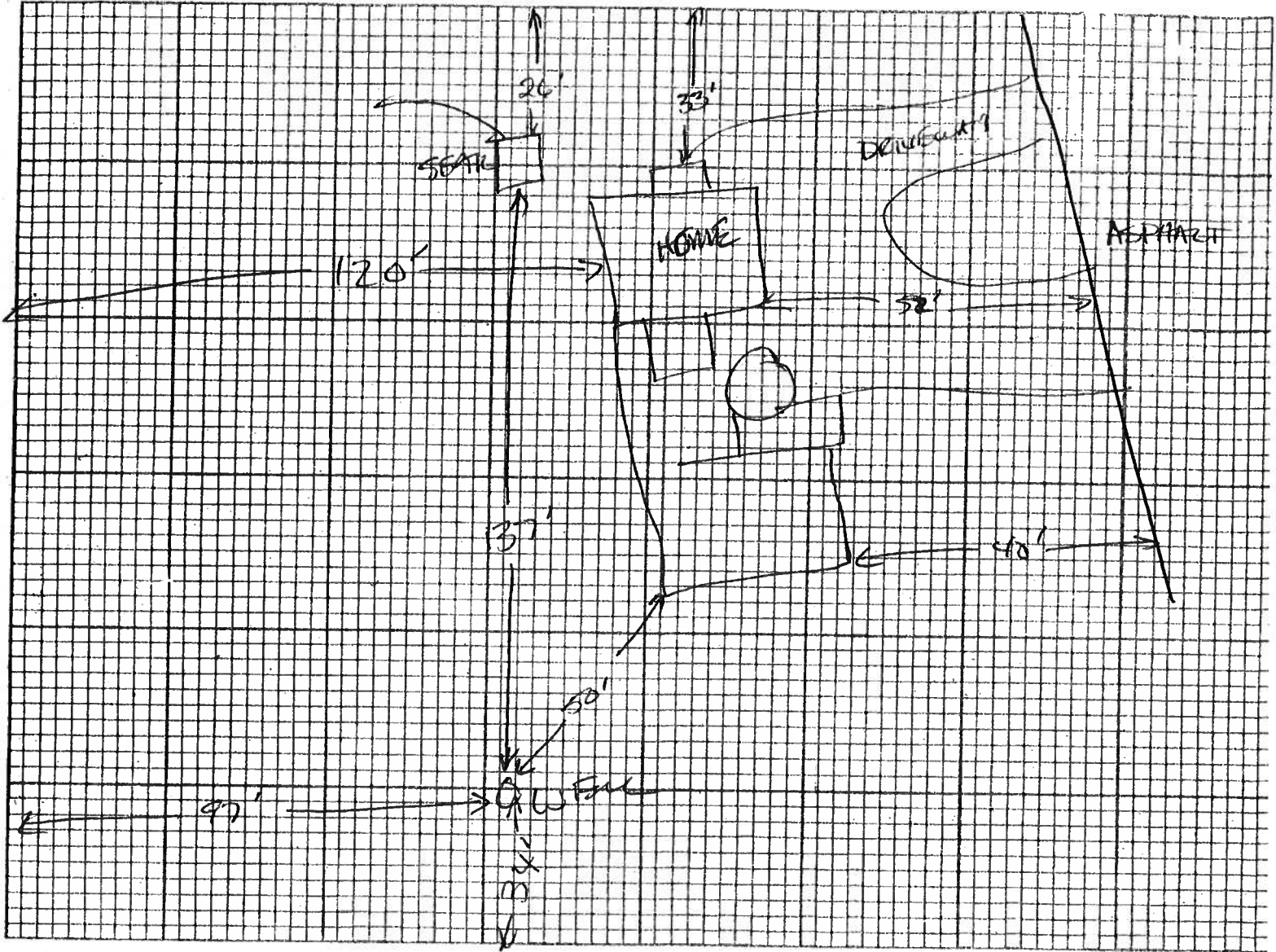
STATE OF FLORIDA  
DEPARTMENT OF HEALTH

APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

Permit Application Number 07-0448

PART II - SITE PLAN

Scale: Each block represents 5 feet and 1 inch = 50 feet.



Notes: SEPTIC IS 137' FROM WELL, CLOSEST PROPERTY LINE TO SEPTIC IS 26'

-SEE ATTACHED

Site Plan submitted by: [Signature] Signature

Plan Approved [Signature] Not Approved \_\_\_\_\_ Date 6/11/7 Title

By [Signature] \_\_\_\_\_

**Columbia CHD** County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

**FOR OWNER/BUILDER WHEN ACTING AS THEIR OWN CONTRACTOR AND CLAIMING EXEMPTION OF CONTRACTOR LICENSING REQUIREMENTS IN ACCORDANCE WITH FLORIDA STATUTES, ss. 489.103(7).**


State law requires construction to be done by licensed contractors. You have applied for a permit under an exemption to that law. The exemption allows you, as the owner of your property, to act as your own contractor with certain restrictions even though you do not have a license. You must provide direct, onsite supervision of the construction yourself. You may build or improve a one-family or two-family residence or a farm outbuilding. You may also build or improve a commercial building, provided your costs do not exceed \$25,000. The building or residence must be for your own use or occupancy. It may not be built or substantially improved for sale or lease. If you sell or lease a building you have built or substantially improved yourself within 1 year after the construction is complete, the law will presume that you built or substantially improved it for sale or lease, which is a violation of this exemption. You may not hire an unlicensed person to act as your contractor or to supervise people working on your building. It is your responsibility to make sure that people employed by you have licenses required by state law and by county or municipal licensing ordinances. You may not delegate the responsibility for supervising work to a licensed contractor who is not licensed to perform the work being done. Any person working on your building who is not licensed must work under your direct supervision and must be employed by you, which means that you must deduct F.I.C.A. and withholding tax and provide workers' compensation for that employee, all as prescribed by law. Your construction must comply with all applicable laws, ordinances, building codes, and zoning regulations.

**TYPE OF CONSTRUCTION**

- Single Family Dwelling
- Farm Outbuilding
- New Construction
- Two-Family Residence
- Other \_\_\_\_\_
- Addition, Alteration, Modification or other Improvement

**NEW CONSTRUCTION OR IMPROVEMENT**

I MICHAEL S. BYRD, have been advised of the above disclosure statement for exemption from contractor licensing as an owner/builder. I agree to comply with all requirements provided for in Florida Statutes ss.489.103(7) allowing this exception for the construction permitted by Columbia County Building Permit Number \_\_\_\_\_

  
Signature

6/29/07  
Date

**FOR BUILDING USE ONLY**

I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date \_\_\_\_\_ Building Official/Representative \_\_\_\_\_  
I hereby certify that the above listed owner/builder has been notified of the disclosure statement in Florida Statutes ss 489.103(7).

Date \_\_\_\_\_ Building Official/Representative \_\_\_\_\_

# FLORIDA ENERGY EFFICIENCY CODE FOR BUILDING CONSTRUCTION

## Florida Department of Community Affairs Residential Whole Building Performance Method A

<b>Project Name:</b> Byrd, Michael Residence <b>Address:</b> 336 SW Bonifay Glen <b>City, State:</b> Ft. White, FL <b>Owner:</b> Byrd, Michael <b>Climate Zone:</b> North	<b>Builder:</b> Byrd <b>Permitting Office:</b> Columbia <b>Permit Number:</b> 26067 <b>Jurisdiction Number:</b> 221000
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<table style="width: 100%; border-collapse: collapse;"> <tr><td>1. New construction or existing</td><td style="text-align: right;">New</td><td style="text-align: center;">___</td></tr> <tr><td>2. Single family or multi-family</td><td style="text-align: right;">Single family</td><td style="text-align: center;">___</td></tr> <tr><td>3. Number of units, if multi-family</td><td style="text-align: right;">1</td><td style="text-align: center;">___</td></tr> <tr><td>4. Number of Bedrooms</td><td style="text-align: right;">2</td><td style="text-align: center;">___</td></tr> <tr><td>5. Is this a worst case?</td><td style="text-align: right;">Yes</td><td style="text-align: center;">___</td></tr> <tr><td>6. Conditioned floor area (ft²)</td><td style="text-align: right;">1564 ft²</td><td style="text-align: center;">___</td></tr> <tr><td>7. Glass type<sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)</td><td></td><td></td></tr> <tr><td>    a. 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Glass/Floor Area: 0.11	Total as-built points: 18651 Total base points: 18688	PASS
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I hereby certify that the plans and specifications covered by this calculation are in compliance with the Florida Energy Code.

**PREPARED BY:** [Signature]


**DATE:** [Signature]

I hereby certify that this building, as designed, is in compliance with the Florida Energy Code.

**OWNER/AGENT:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

Review of the plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed this building will be inspected for compliance with Section 553.908 Florida Statutes.



**BUILDING OFFICIAL:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLR2PB v4.1)

**SUMMER CALCULATIONS****Residential Whole Building Performance Method A - Details**

ADDRESS: 336 SW Bonifay Glen, Ft. White, FL,

PERMIT #:

<b>BASE</b>				<b>AS-BUILT</b>							
<b>GLASS TYPES</b> .18 X Conditioned X BSPM = Points Floor Area				<b>Overhang</b> Type/SC Ornt Len Hgt Area X SPM X SOF = Points							
.18	1564.0	20.04	5641.7	Double, Clear	SE	1.5	0.0	15.0	42.75	0.38	243.3
				Double, Clear	NE	1.5	5.5	20.0	29.56	0.91	535.3
				Double, Clear	SE	1.5	5.3	58.0	42.75	0.85	2114.5
				Double, Clear	SW	1.5	4.7	33.3	40.16	0.82	1091.7
				Double, Clear	NW	1.5	5.5	29.0	25.97	0.91	686.7
				Double, Clear	NW	1.5	5.5	20.0	25.97	0.91	473.6
<b>As-Built Total:</b>				<b>175.3 5145.1</b>							
<b>WALL TYPES</b> Area X BSPM = Points				<b>Type R-Value Area X SPM = Points</b>							
Adjacent	250.0	0.70	175.0	Concrete, Int Insul, Exterior		13.0		555.0	0.35		194.3
Exterior	1595.0	1.70	2711.5	Frame, Wood, Adjacent		13.0		250.0	0.60		150.0
				Frame, Wood, Exterior		13.0		1040.0	1.50		1560.0
<b>Base Total:</b>	<b>1845.0</b>		<b>2886.5</b>	<b>As-Built Total:</b>				<b>1845.0</b>			<b>1904.3</b>
<b>DOOR TYPES</b> Area X BSPM = Points				<b>Type Area X SPM = Points</b>							
Adjacent	40.0	1.60	64.0	Adjacent Insulated				40.0	1.60		64.0
Exterior	40.0	4.10	164.0	Exterior Insulated				40.0	4.10		164.0
<b>Base Total:</b>	<b>80.0</b>		<b>228.0</b>	<b>As-Built Total:</b>				<b>80.0</b>			<b>228.0</b>
<b>CEILING TYPES</b> Area X BSPM = Points				<b>Type R-Value Area X SPM X SCM = Points</b>							
Under Attic	1275.0	1.73	2205.8	Under Attic		30.0		1275.0	1.73 X 1.00		2205.8
<b>Base Total:</b>	<b>1275.0</b>		<b>2205.8</b>	<b>As-Built Total:</b>				<b>1275.0</b>			<b>2205.8</b>
<b>FLOOR TYPES</b> Area X BSPM = Points				<b>Type R-Value Area X SPM = Points</b>							
Slab	510.0(p)	-37.0	-18870.0	Slab-On-Grade Edge Insulation		0.0		510.0(p)	-41.20		-21012.0
Raised	780.0	-3.99	-3112.2	Raised Wood, Adjacent		19.0		780.0	0.40		312.0
<b>Base Total:</b>			<b>-21982.2</b>	<b>As-Built Total:</b>				<b>1290.0</b>			<b>-20700.0</b>
<b>INFILTRATION</b> Area X BSPM = Points				<b>Area X SPM = Points</b>							
	1564.0	10.21	15968.4					1564.0	10.21		15968.4

# SUMMER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 336 SW Bonifay Glen, Ft. White, FL,	PERMIT #:
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BASE			AS-BUILT					
<b>Summer Base Points: 4948.2</b>			<b>Summer As-Built Points: 4751.6</b>					
Total Summer Points	X System Multiplier	= Cooling Points	Total Component (System - Points)	X Cap Ratio	X Duct Multiplier (DM x DSM x AHU)	X System Multiplier	X Credit Multiplier	= Cooling Points
<b>4948.2</b>	<b>0.4266</b>	<b>2110.9</b>	(sys 1: Central Unit 54000 btuh ,SEER/EFF(14.0) Ducts:Unc(S),Unc(R),Gar(AH),R6.0(INS) 4752	1.00	(1.09 x 1.147 x 1.00)	0.244	1.000	1448.2
<b>4948.2</b>	<b>0.4266</b>	<b>2110.9</b>	<b>4751.6</b>	<b>1.00</b>	<b>1.250</b>	<b>0.244</b>	<b>1.000</b>	<b>1448.2</b>



# WINTER CALCULATIONS

## Residential Whole Building Performance Method A - Details

ADDRESS: 336 SW Bonifay Glen, Ft. White, FL,	PERMIT #:
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BASE	AS-BUILT
<b>Winter Base Points: 18022.9</b>	<b>Winter As-Built Points: 23352.9</b>
Total Winter X System = Heating Points Multiplier Points	Total X Cap X Duct X System X Credit = Heating Component Ratio Multiplier Multiplier Multiplier Points <small>(System - Points) (DM x DSM x AHU)</small>
<b>18022.9      0.6274      11307.5</b>	<small>(sys 1: Electric Heat Pump 54000 btuh ,EFF(8.3) Ducts:Unc(S),Unc(R),Gar(AH),R6.0</small> <small>23352.9      1.000 (1.069 x 1.169 x 1.00) 0.411      1.000      11989.8</small> <b>23352.9      1.00      1.250      0.411      1.000      11989.8</b>

# WATER HEATING & CODE COMPLIANCE STATUS

## Residential Whole Building Performance Method A - Details

ADDRESS: 336 SW Bonifay Glen, Ft. White, FL,	PERMIT #:
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BASE				AS-BUILT										
<b>WATER HEATING</b>				Tank	EF	Number of	X	Tank	X	Multiplier	X	Credit	=	Total
Number of	X	Multiplier	=	Volume		Bedrooms		Ratio				Multiplier		
Bedrooms														
2		2635.00	5270.0	40.0	0.93	2		1.00		2606.67		1.00		5213.3
<b>As-Built Total:</b>													<b>5213.3</b>	

CODE COMPLIANCE STATUS													
BASE					AS-BUILT								
Cooling	+	Heating	+	Hot Water	=	Total	Cooling	+	Heating	+	Hot Water	=	Total
Points		Points		Points		Points	Points		Points		Points		Points
2111		11308		5270		18688	1448		11990		5213		18651

PASS



# Code Compliance Checklist

## Residential Whole Building Performance Method A - Details

ADDRESS: 336 SW Bonifay Glen, Ft. White, FL,

PERMIT #:

**6A-21 INFILTRATION REDUCTION COMPLIANCE CHECKLIST**

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	606.1.ABC.1.1	Maximum: .3 cfm/sq.ft. window area; .5 cfm/sq.ft. door area.	
Exterior & Adjacent Walls	606.1.ABC.1.2.1	Caulk, gasket, weatherstrip or seal between: windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; utility penetrations; between wall panels & top/bottom plates; between walls and floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	606.1.ABC.1.2.2	Penetrations/openings >1/8" sealed unless backed by truss or joint members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	606.1.ABC.1.2.3	Between walls & ceilings; penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	606.1.ABC.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with < 2.0 cfm from conditioned space, tested.	
Multi-story Houses	606.1.ABC.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	606.1.ABC.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

**6A-22 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)**

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	612.1	Comply with efficiency requirements in Table 612.1.ABC.3.2. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required.	
Swimming Pools & Spas	612.1	Spas & heated pools must have covers (except solar heated). Non-commercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower heads	612.1	Water flow must be restricted to no more than 2.5 gallons per minute at 80 PSIG.	
Air Distribution Systems	610.1	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section 610. Ducts in unconditioned attics: R-6 min. insulation.	
HVAC Controls	607.1	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	604.1, 602.1	Ceilings-Min. R-19. Common walls-Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

# ENERGY PERFORMANCE LEVEL (EPL) DISPLAY CARD

**ESTIMATED ENERGY PERFORMANCE SCORE\* = 85.2**

**The higher the score, the more efficient the home.**

Byrd, Michael, 336 SW Bonifay Glen, Ft. White, FL,

<p>1. New construction or existing <span style="float: right;">New</span> <input type="checkbox"/></p> <p>2. Single family or multi-family <span style="float: right;">Single family</span> <input type="checkbox"/></p> <p>3. Number of units, if multi-family <span style="float: right;">1</span> <input type="checkbox"/></p> <p>4. Number of Bedrooms <span style="float: right;">2</span> <input type="checkbox"/></p> <p>5. Is this a worst case? <span style="float: right;">Yes</span> <input type="checkbox"/></p> <p>6. Conditioned floor area (ft<sup>2</sup>) <span style="float: right;">1564 ft<sup>2</sup></span> <input type="checkbox"/></p> <p>7. Glass type<sup>1</sup> and area: (Label reqd. by 13-104.4.5 if not default)</p> <p style="margin-left: 20px;">a. U-factor: <span style="float: right;">Description Area</span></p> <p style="margin-left: 40px;">(or Single or Double DEFAULT) 7a. (Dble Default) 175.3 ft<sup>2</sup> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. SHGC: <span style="float: right;">7b. (Clear) 175.3 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 40px;">(or Clear or Tint DEFAULT)</p> <p>8. Floor types</p> <p style="margin-left: 20px;">a. Slab-On-Grade Edge Insulation <span style="float: right;">R=0.0, 510.0(p) ft</span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Raised Wood, Adjacent <span style="float: right;">R=19.0, 780.0ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>9. Wall types</p> <p style="margin-left: 20px;">a. Concrete, Int Insul, Exterior <span style="float: right;">R=13.0, 555.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. Frame, Wood, Adjacent <span style="float: right;">R=13.0, 250.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Frame, Wood, Exterior <span style="float: right;">R=13.0, 1040.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">d. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">e. N/A <input type="checkbox"/></p> <p>10. Ceiling types</p> <p style="margin-left: 20px;">a. Under Attic <span style="float: right;">R=30.0, 1275.0 ft<sup>2</sup></span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>11. Ducts</p> <p style="margin-left: 20px;">a. Sup: Unc. Ret: Unc. AH: Garage <span style="float: right;">Sup. R=6.0, 120.0 ft</span> <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p>	<p>12. Cooling systems</p> <p style="margin-left: 20px;">a. Central Unit <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>13. Heating systems</p> <p style="margin-left: 20px;">a. Electric Heat Pump <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. N/A <input type="checkbox"/></p> <p>14. Hot water systems</p> <p style="margin-left: 20px;">a. Electric Resistance <input type="checkbox"/></p> <p style="margin-left: 20px;">b. N/A <input type="checkbox"/></p> <p style="margin-left: 20px;">c. Conservation credits <input type="checkbox"/></p> <p style="margin-left: 40px;">(HR-Heat recovery, Solar DHP-Dedicated heat pump)</p> <p>15. HVAC credits <input type="checkbox"/></p> <p style="margin-left: 20px;">(CF-Ceiling fan, CV-Cross ventilation, HF-Whole house fan, PT-Programmable Thermostat, MZ-C-Multizone cooling, MZ-H-Multizone heating)</p>	<p>Cap: 54.0 kBtu/hr <input type="checkbox"/></p> <p>SEER: 14.00 <input type="checkbox"/></p> <p>Cap: 54.0 kBtu/hr <input type="checkbox"/></p> <p>HSPF: 8.30 <input type="checkbox"/></p> <p>Cap: 40.0 gallons <input type="checkbox"/></p> <p>EF: 0.93 <input type="checkbox"/></p>
--	---	---

I certify that this home has complied with the Florida Energy Efficiency Code For Building Construction through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Address of New Home: \_\_\_\_\_ City/FL Zip: \_\_\_\_\_



*\*NOTE: The home's estimated energy performance score is only available through the FLA/RES computer program. This is not a Building Energy Rating. If your score is 80 or greater (or 86 for a US EPA/DOE EnergyStar™ designation), your home may qualify for energy efficiency mortgage (EEM) incentives if you obtain a Florida Energy Gauge Rating. Contact the Energy Gauge Hotline at 321/638-1492 or see the Energy Gauge web site at [www.fsec.ucf.edu](http://www.fsec.ucf.edu) for information and a list of certified Raters. For information about Florida's Energy Efficiency Code For Building Construction, contact the Department of Community Affairs at 850/487-1824.*

1 Predominant glass type. For actual glass type and areas, see Summer & Winter Glass output on pages 2&4.  
EnergyGauge® (Version: FLR2PB v4.1)

26067



STATE OF FLORIDA  
DEPARTMENT OF HEALTH  
ONSITE SEWAGE TREATMENT AND DISPOSAL  
SYSTEM  
APPLICATION FOR CONSTRUCTION PERMIT

PERMIT NO. 15-1088E  
DATE PAID: \_\_\_\_\_  
FEE PAID: 00.00  
RECEIPT #: \_\_\_\_\_

APPLICATION FOR:

- New System     Existing System     Holding Tank     Innovative  
 Repair     Abandonment     Temporary     \_\_\_\_\_

APPLICANT: MICHAEL S. BYRD

AGENT: \_\_\_\_\_ TELEPHONE: 352-226-9157

MAILING ADDRESS: 336 SW BONIFAY GLEN, FORT WHITE, FL 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: \_\_\_\_\_ BLOCK: \_\_\_\_\_ SUBDIVISION: \_\_\_\_\_ PLATTED: \_\_\_\_\_

PROPERTY ID #: 19-75-17-10026-021 ZONING: A9 I/M OR EQUIVALENT: [ Y /  N ]

PROPERTY SIZE: 1 ACRES WATER SUPPLY: [  PRIVATE PUBLIC [ ] <=2000GPD [ ] >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? [ Y /  N ] DISTANCE TO SEWER: 114 FT

PROPERTY ADDRESS: 336 SW BONIFAY GLEN, FORT WHITE, FL 32038

DIRECTIONS TO PROPERTY: FROM 90 TURN (L) ON 41 FOLLOW TO 47 AND MERGE ONTO 47, GO TO 27 TURN (L), FOLLOW 27 TO SW BONIFAY GLEN TURN (L), FOLLOW DIRT ROAD UNTIL PAVED DRIVE TURN (R), LOT ON (R)

BUILDING INFORMATION     RESIDENTIAL     COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	<u>GARAGE</u>	<u>0</u>	<u>1260</u>	
2				
3				
4				

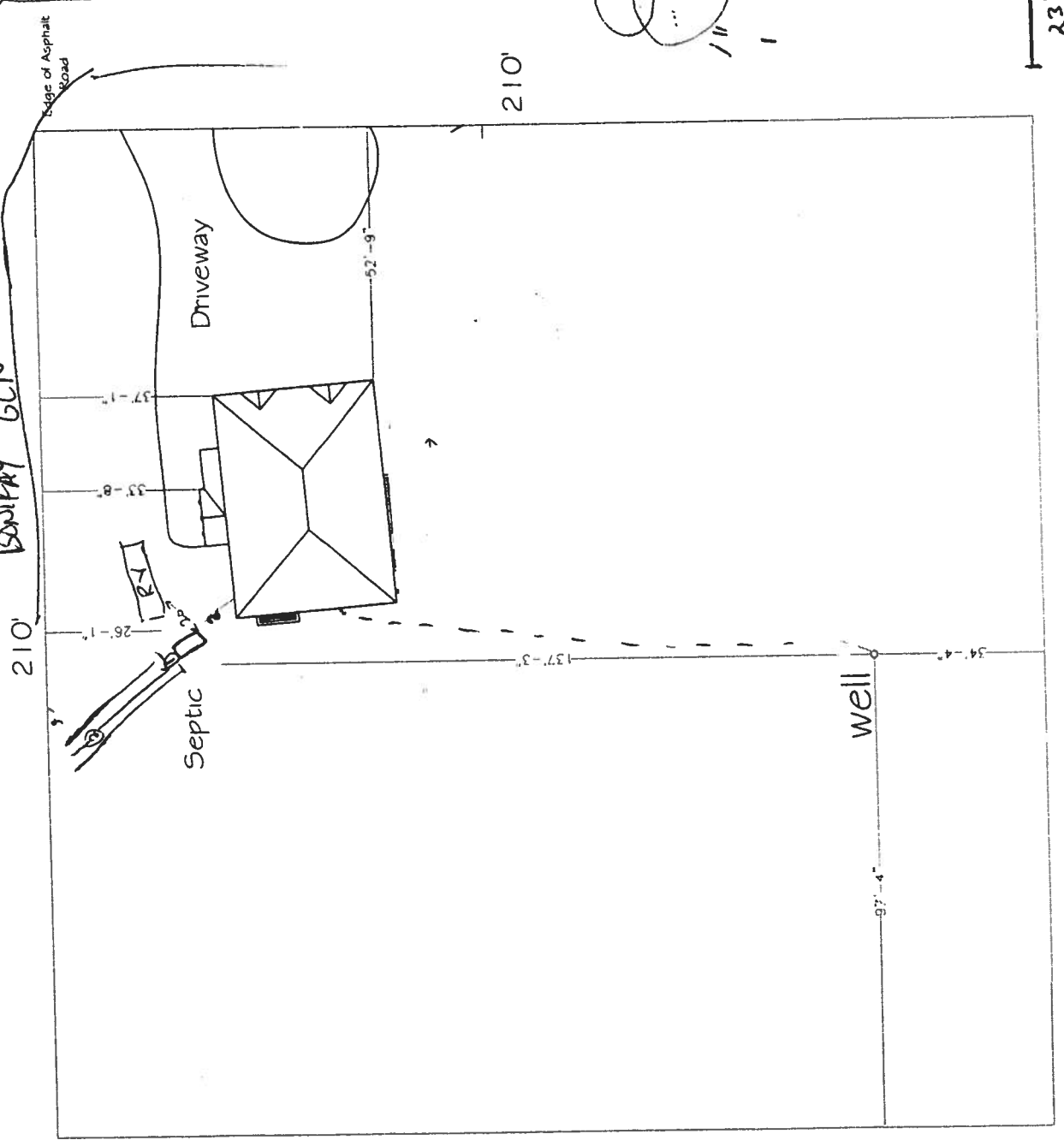
[ ] Floor/Equipment Drains    [ ] Other (Specify) \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: 12/29/2015

15-088E

# Michael S. Byrd Residence

BONIFAY GLN



## Columbia CHD

*[Handwritten scribbles]*

23'

# SITE PLAN

## Columbia CHD

December 21, 2015

Columbia County Building Department

To Whom it may Concern:

Due to my financial situation it has taken me a long time to finish the building of my garage. I am now ready for my final electrical inspection and would like to get permanent power. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

September 21, 2015

Columbia County Building Department

To Whom it may Concern:

Due to my financial situation it has taken me a long time to finish the building of my garage. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

June 21, 2015

Columbia County Building Department

To Whom it may Concern:

Due to my financial situation it has taken me a long time to finish the building of my garage. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

March 21, 2015

Columbia County Building Department

To Whom it may Concern:

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Thank you for your time and cooperation in this matter.

Sincerely, :

Michael Byrd

December 21, 2014

Columbia County Building Department

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Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

December 24, 2013

Columbia County Building Department

To Whom it may Concern:

Due to my financial situation it has taken me a long time to finish the building of my garage. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

To submit blueprints: MODIFICATIONS:  
- let Garage

8/11 - Michael Boyd -

7/11 20067

5/11 "JETER PLANE"

2/11 for Garage

NOT GONNA BUILD

570

WANT TO BUILD  
Garage

11

9.13.16  
As Per

March 17, 2011

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I am unable to continue building at this time.

Please accept this letter as my request to extend my current permit # 26067.

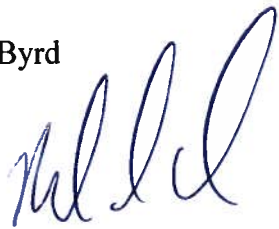
This would be greatly appreciated, as I do not want to incur any additional fees.

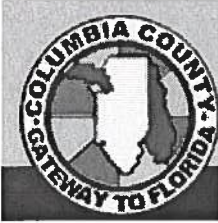
If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

A handwritten signature in blue ink, appearing to read 'Michael Byrd', written in a cursive style.



From: The Columbia County Building & Zoning Department  
Plan Review  
135 NE Hernando Av.  
P.O. Box 1529  
Lake City Florida 32056-1529

Reference to a building permit application Number: **0707-11**

Michael S. Byrd, Owners/Builder: Property: ID# 19-7s-17-10026-012

On the date of July 9, 2007 application 0707-11 and plans for construction of a single family dwelling were reviewed. The following information or alteration to the plans will be required to continue processing this application. If you should have any question please contact the above address, or contact phone number (386) 758-1163 or fax any information to (386) 754-7088.

**Please include application number 0707-11 and when making reference to this application.**

***This is a plan review for compliance with the Florida Residential Building Codes 2004 only and doesn't make any consideration toward the land use and zoning requirements.***

- 1.** The second floor plan details, that the area above garage will be used as habitable rooms. Section R309.2 of the Florida Residential Building Code 2004 (FRBC-2004) requires that the garage shall be separated from the residence and its attic area by not less than ½-inch (12.7 mm) gypsum

board applied to the garage side (for interior garage walls). Garages beneath habitable rooms shall be separated from all habitable rooms above by not less than 5/8-inch (15.9 mm) Type X gypsum board or equivalent. Please indicate this requirement on the plans.

2. The mechanical room will be required to have the same fire protection rating as required in note one. Also the door which provides egress into the mechanical room will be required to be a 20-minute fire-rated door along with all doors which allows entry from the garage into the dwelling.
3. Show within a drawing the stairwell design which will verify that the stairs and stairwell complies with section R311.5

Stairways.R311.5.1 Width: Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 31.5 inches (787 mm) where a handrail is installed on one side and 27 inches (698 mm) where handrails are provided on both sides.

R311.5.2 Headroom: The minimum headroom in all parts of the stairway shall not be less than 6 feet 8 inches (2036 mm) measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.

311.5.3 Stair treads and risers.

R311.5.3.1 Riser height: The maximum riser height shall be 7¾ inches (196 mm). The riser shall be measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm).

R311.5.3.2 Tread depth: The minimum tread depth, exclusive of nosing, shall be not less than 9 inches (229 mm). Treads and risers of stairs shall be permitted to be so proportioned that the sum of two risers and a tread, exclusive of projection of nosing, is not less than 24 inches (610 mm) nor more than 25 inches (635 mm). The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the tread's leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8 inch (9.5 mm). Winder treads shall have a minimum tread depth of 10 inches (254 mm) measured as above at a point 12 inches (305) mm from the side where the treads are narrower. Winder treads shall have a minimum tread depth of 6 inches (152 mm) at any point. Within any flight of stairs, the greatest winder tread depth at the 12 inch (305 mm) walk line shall not exceed the smallest by more than 3/8

inch (9.5 mm). Also show the type doors to provide for the required fire separation of 20 minutes between the habitable rooms and the garage area. The stairwell as shown on the plan allows fire draft to be created, which will cause the wall and ceiling material to be fire rate which will equal 5/8-inch (15.9 mm) Type X gypsum board or equivalent. One additional method to reduce the interior stairwell fire rating would be to install a 20 minute door at the entry point of the stairwell from the garage area. Please indicate on the plans the method you choose to protect the stairwell.

- 4.** Provide a drawing show the design method to provide for draftstopping and fire blocking of the underside of the stairwell. Indicate if any storage will be under the stairwell.
- 5.** The bathroom on the first floor shall comply with the of the Florida Residential Building Code -2004 section R322.1.1 All new single-family houses, duplexes, triplexes, condominiums and townhouses shall provide at least one bathroom, located with maximum possible privacy, where bathrooms are provided on habitable grade levels, with a door that has a 29-inch (737 mm) clear opening. However, if only a toilet room is provided at grade level, such toilet rooms shall have a clear opening of not less than 29 inches (737 mm).
- 6.** Indicate on the plans that one egress window for each bedroom will be installed to comply with the requirements of FBC-2004 Section R310.1.1 Minimum opening area: All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530 m<sup>2</sup>). R310.1.2 Minimum opening height: The minimum net clear opening height shall be 24 inches (610 mm): R310.1.3 Minimum opening width. The minimum net clear opening width shall be 20 inches (508 mm).
- 7.** On the electrical plans identify the electrical service overcurrent protection device for the main electrical service along with any sub panels; indicate the amperage rating of these devices. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground.
- 8.** On this date additional structural design information was relayed to your windload designer.

Thank You:



Joe Haltiwanger  
Plan Examiner  
Columbia County Building  
Department

April 26, 2010

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I am unable to continue building at this time.

Please accept this letter as my request to extend my current permit # 26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

A handwritten signature in black ink, appearing to read 'M. Byrd', written in a cursive style.

July 28, 2010

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I am unable to continue building at this time.

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If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

ATTN: Webbie

# Columbia County Building Department Culvert Waiver

## Culvert Waiver No. 000001423

DATE: 07/27/2007 BUILDING PERMIT NO. 26067

APPLICANT MICHAEL BYRD PHONE 407-832-1687

ADDRESS 7441 BELLE RIVER COURT WINTER PARK FL 32792

OWNER MICHAEL BYRD PHONE 407-832-1687

ADDRESS 336 SW BONIFAY GLEN FT. WHITE FL 32038

CONTRACTOR MICHAEL BYRD PHONE 407-832-1687

LOCATION OF PROPERTY 47S, TL ON 27, TR ON BONIFAY GLEN, TURN ON PAVEO DRIVE, LOT  
ON RIGHT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT \_\_\_\_\_

PARCEL ID # 19-7S-17-10026-021

I HEREBY CERTIFY THAT I UNDERSTAND AND WILL FULLY COMPLY WITH THE DECISION OF THE COLUMBIA COUNTY PUBLIC WORKS DEPARTMENT IN CONNECTION WITH THE HEREIN PROPOSED APPLICATION.

SIGNATURE: [Signature]

A SEPARATE CHECK IS REQUIRED  
MAKE CHECKS PAYABLE TO BCC

Amount Paid 50.00

**PUBLIC WORKS DEPARTMENT USE ONLY**

I HEREBY CERTIFY THAT I HAVE EXAMINED THIS APPLICATION AND DETERMINED THAT THE CULVERT WAIVER IS:

APPROVED  NOT APPROVED - NEEDS A CULVERT PERMIT

COMMENTS: Private Road

SIGNED: [Signature] DATE: 7-31-07

ANY QUESTIONS PLEASE CONTACT THE PUBLIC WORKS DEPARTMENT AT 386-752-5955.

135 NE Hernando Ave., Suite B-21  
Lake City, FL 32055  
Phone: 386-758-1008 Fax: 386-758-2160



October 24, 2008

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I am unable to continue building at this time.

Please accept this letter as my request to extend my current permit #26067.

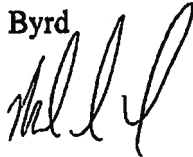
This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 407-832-1687.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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**July 24, 2008**

**Columbia County Building Dept.**

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**If you have any questions please feel free to contact me at 407-832-1687.**

**Thank you for your time and cooperation in this matter.**

**Sincerely,**

**Michael Byrd  
Byrd Building Group**



January 24, 2009

Columbia County Building Dept.

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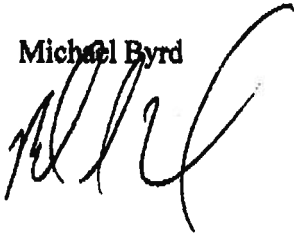
This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 407-832-1687.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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April 20, 2009

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I am unable to continue building at this time.

Please accept this letter as my request to extend my current permit # 26067.

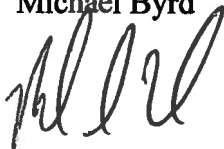
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Sincerely,

Michael Byrd

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July 20, 2009

Columbia County Building Dept.

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Sincerely,

Michael Byrd

---

January 24, 2010

Columbia County Building Dept.

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October 24, 2009

Columbia County Building Dept.

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Sincerely,

Michael Byrd



November 14, 2010

Columbia County Building Dept.

To Whom it May Concern:

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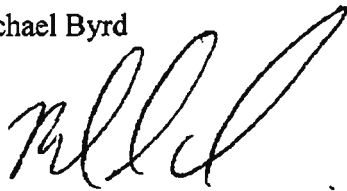
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Sincerely,

Michael Byrd

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26067

NOTICE OF COMMENCEMENT FORM  
COLUMBIA COUNTY, FLORIDA

\*\*\*THIS DOCUMENT MUST BE RECORDED AT THE COUNTY  
CLERKS OFFICE BEFORE YOUR FIRST INSPECTION.\*\*\*

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement.

Tax Parcel ID Number 19-75-17-10026-021

1. Description of property: (legal description of the property and street address or 911 address)

336 SW BONIFAY GLEN.  
FORT WHITE, FL 32038

Inst: 200712016835 Date: 7/27/2007 Time: 9:38 AM  
DC, P. DeWitt Cason, Columbia County Page 1 of 1

2. General description of Improvement: NEW HOME

3. Owner Name & Address MICHAEL S. BYRD 7441 BELLE RIVER CT., WINDY PARK  
PAUL, FL 32792 Interest in Property OWNER

4. Name & Address of Fee Simple Owner (if other than owner):

5. Contractor Name OWNER Phone Number 407-832-1687  
Address 7441 BELLE RIVER CT., WINDY PARK, FL 32792

6. Surety Holders Name \_\_\_\_\_ Phone Number \_\_\_\_\_  
Address \_\_\_\_\_  
Amount of Bond \_\_\_\_\_

7. Lender Name LENDING BANKERS Phone Number 1877-338-2265  
Address 1 PALMWOOD BLVD. #170 SUITE, HOLLYWOOD, FL 33020

8. Persons within the State of Florida designated by the Owner upon whom notices or other documents may be served as provided by section 718.13 (1)(a) 7; Florida Statutes:

Name NONE Phone Number \_\_\_\_\_  
Address \_\_\_\_\_

9. In addition to himself/herself the owner designates NONE of \_\_\_\_\_ to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) - (a) 7. Phone Number of the designee \_\_\_\_\_

10. Expiration date of the Notice of Commencement (the expiration date is 1 (one) year from the date of recording, (Unless a different date is specified) 7/27/07

**NOTICE AS PER CHAPTER 713, Florida Statutes:**

The owner must sign the notice of commencement and no one else may be permitted to sign in his/her stead.

Signature of Owner

Sworn to (or affirmed) and subscribed before day of July, 2007  
3 PM  
NOTARY STAMP/SEAL



Signature of Notary

# Residential System Sizing Calculation

## Summary

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

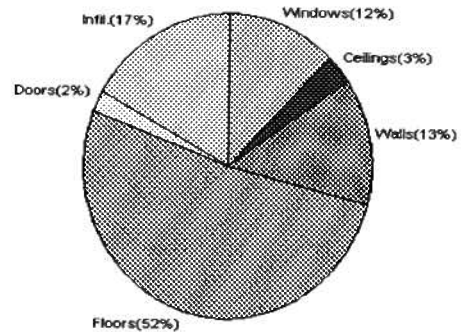
6/28/2007

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
<b>Total heating load calculation</b>	<b>45658 Btuh</b>	<b>Total cooling load calculation</b>	<b>23336 Btuh</b>
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	118.3 54000	Sensible (SHR = 0.75)	213.9 40500
Heat Pump + Auxiliary(0.0kW)	118.3 54000	Latent	306.8 13500
		Total (Electric Heat Pump)	231.4 54000

## WINTER CALCULATIONS

Winter Heating Load (for 1564 sqft)

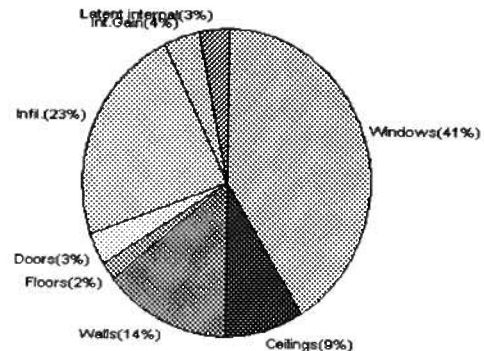
Load component		Load	
Window total	175 sqft	5643	Btuh
Wall total	1845 sqft	6161	Btuh
Door total	80 sqft	1036	Btuh
Ceiling total	1275 sqft	1502	Btuh
Floor total	See detail report	23714	Btuh
Infiltration	188 cfm	7602	Btuh
Duct loss		0	Btuh
<b>Subtotal</b>		<b>45658</b>	<b>Btuh</b>
Ventilation	0 cfm	0	Btuh
<b>TOTAL HEAT LOSS</b>		<b>45658</b>	<b>Btuh</b>



## SUMMER CALCULATIONS

Summer Cooling Load (for 1564 sqft)

Load component		Load	
Window total	175 sqft	9541	Btuh
Wall total	1845 sqft	3275	Btuh
Door total	80 sqft	784	Btuh
Ceiling total	1275 sqft	2111	Btuh
Floor total		469	Btuh
Infiltration	99 cfm	1834	Btuh
Internal gain		920	Btuh
Duct gain		0	Btuh
Sens. Ventilation	0 cfm	0	Btuh
<b>Total sensible gain</b>		<b>18935</b>	<b>Btuh</b>
Latent gain(ducts)		0	Btuh
Latent gain(infiltration)		3601	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		800	Btuh
<b>Total latent gain</b>		<b>4401</b>	<b>Btuh</b>
<b>TOTAL HEAT GAIN</b>		<b>23336</b>	<b>Btuh</b>



For Florida residences only

EnergyGauge® System Sizing

PREPARED BY: *[Signature]*

DATE: 6-28-07

# System Sizing Calculations - Winter

## Residential Load - Whole House Component Details

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F  
This calculation is for Worst Case. The house has been rotated 315 degrees.

6/28/2007

### Component Loads for Whole House

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=	Load
1	2, Clear, Metal, 0.87	NE	15.0		32.2	483 Btuh
2	2, Clear, Metal, 0.87	NW	20.0		32.2	644 Btuh
3	2, Clear, Metal, 0.87	NE	58.0		32.2	1867 Btuh
4	2, Clear, Metal, 0.87	SE	33.3		32.2	1072 Btuh
5	2, Clear, Metal, 0.87	SW	29.0		32.2	934 Btuh
6	2, Clear, Metal, 0.87	SW	20.0		32.2	644 Btuh
	Window Total		175(sqft)			5643 Btuh
Walls	Type	R-Value	Area	X	HTM=	Load
1	Concrete Blk, - Ext(0.09)	13.0	555		3.5	1924 Btuh
2	Frame - Wood - Adj(0.09)	13.0	250		3.3	821 Btuh
3	Frame - Wood - Ext(0.09)	13.0	1040		3.3	3415 Btuh
	Wall Total		1845			6161 Btuh
Doors	Type		Area	X	HTM=	Load
1	Insulated - Exterior		40		12.9	518 Btuh
2	Insulated - Adjacent		40		12.9	518 Btuh
	Door Total		80			1036Btuh
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=	Load
1	Vented Attic/D/Shin)	30.0	1275		1.2	1502 Btuh
	Ceiling Total		1275			1502Btuh
Floors	Type	R-Value	Size	X	HTM=	Load
1	Raised Wood - Adj	19	780.0 sqft		1.9	1447 Btuh
2	Slab On Grade	0	510.0 ft(p)		43.7	22267 Btuh
	Floor Total		1290			23714 Btuh
	Zone Envelope Subtotal:					38056 Btuh
Infiltration	Type	ACH X	Zone Volume	CFM=		Load
	Natural	0.80	14076	187.7		7602 Btuh
Ductload	Unsealed, R6.0, Supply(Attic), Return(Attic) (DLM of 0.00)					0 Btuh
Zone #1	Sensible Zone Subtotal					45658 Btuh

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Byrd, Michael  
 336 SW Bonifay Glen  
 Ft. White, FL

Project Title:  
 Byrd,MichaelResidence

Class 3 Rating  
 Registration No. 0  
 Climate: North

6/28/2007

<b>WHOLE HOUSE TOTALS</b>
---------------------------

	Subtotal Sensible	45658 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	45658 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
 (Frame types - metal, wood or insulated metal)  
 (U - Window U-Factor or 'DEF' for default)  
 (HTM - ManualJ Heat Transfer Multiplier)



Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )

For Florida residences only

# System Sizing Calculations - Winter

## Residential Load - Room by Room Component Details

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F  
This calculation is for Worst Case. The house has been rotated 315 degrees.

6/28/2007

### Component Loads for Zone #1: Main

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft)	X	HTM=	Load
1	2, Clear, Metal, 0.87	NE	15.0		32.2	483 Btuh
2	2, Clear, Metal, 0.87	NW	20.0		32.2	644 Btuh
3	2, Clear, Metal, 0.87	NE	58.0		32.2	1867 Btuh
4	2, Clear, Metal, 0.87	SE	33.3		32.2	1072 Btuh
5	2, Clear, Metal, 0.87	SW	29.0		32.2	934 Btuh
6	2, Clear, Metal, 0.87	SW	20.0		32.2	644 Btuh
	Window Total		175(sqft)			5643 Btuh
Walls	Type	R-Value	Area	X	HTM=	Load
1	Concrete Blk, - Ext(0.09)	13.0	555		3.5	1924 Btuh
2	Frame - Wood - Adj(0.09)	13.0	250		3.3	821 Btuh
3	Frame - Wood - Ext(0.09)	13.0	1040		3.3	3415 Btuh
	Wall Total		1845			6161 Btuh
Doors	Type		Area	X	HTM=	Load
1	Insulated - Exterior		40		12.9	518 Btuh
2	Insulated - Adjacent		40		12.9	518 Btuh
	Door Total		80			1036Btuh
Ceilings	Type/Color/Surface	R-Value	Area	X	HTM=	Load
1	Vented Attic/D/Shin)	30.0	1275		1.2	1502 Btuh
	Ceiling Total		1275			1502Btuh
Floors	Type	R-Value	Size	X	HTM=	Load
1	Raised Wood - Adj	19	780.0	sqft	1.9	1447 Btuh
2	Slab On Grade	0	510.0	ft(p)	43.7	22267 Btuh
	Floor Total		1290			23714 Btuh
<b>Zone Envelope Subtotal:</b>						<b>38056 Btuh</b>
Infiltration	Type	ACH X	Zone Volume	CFM=		Load
	Natural	0.80	14076	187.7		7602 Btuh
Ductload	Unsealed, R6.0, Supply(Attic), Return(Attic) (DLM of 0.00)					0 Btuh
Zone #1	<b>Sensible Zone Subtotal</b>					<b>45658 Btuh</b>

# Manual J Winter Calculations

## Residential Load - Component Details (continued)

Byrd, Michael  
 336 SW Bonifay Glen  
 Ft. White, FL

Project Title:  
 Byrd,MichaelResidence

Class 3 Rating  
 Registration No. 0  
 Climate: North

6/28/2007

<b>WHOLE HOUSE TOTALS</b>
---------------------------

	Subtotal Sensible Ventilation Sensible Total Btuh Loss	45658 Btuh 0 Btuh 45658 Btuh
--	--	------------------------------------

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
 (Frame types - metal, wood or insulated metal)  
 (U - Window U-Factor or 'DEF' for default)  
 (HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types )



For Florida residences only

# System Sizing Calculations - Summer

## Residential Load - Whole House Component Details

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

6/28/2007

This calculation is for Worst Case. The house has been rotated 315 degrees.

### Component Loads for Whole House

Window	Type*		Overhang		Window Area(sqft)			HTM		Load	
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, None,N,N	NE	1.5ft.	0ft.	15.0	0.0	15.0	29	60	901	Btuh
2	2, Clear, 0.87, None,N,N	NW	1.5ft.	5.5ft.	20.0	0.0	20.0	29	60	1201	Btuh
3	2, Clear, 0.87, None,N,N	NE	1.5ft.	5.33	58.0	0.0	58.0	29	60	3482	Btuh
4	2, Clear, 0.87, None,N,N	SE	1.5ft.	4.66	33.3	16.2	17.1	29	63	1540	Btuh
5	2, Clear, 0.87, None,N,N	SW	1.5ft.	5.5ft.	29.0	11.1	17.9	29	63	1440	Btuh
6	2, Clear, 0.87, None,N,N	SW	1.5ft.	5.5ft.	20.0	8.1	11.9	29	63	979	Btuh
	<b>Window Total</b>				<b>175 (sqft)</b>					<b>9541 Btuh</b>	
<b>Walls</b>	<b>Type</b>		<b>R-Value/U-Value</b>		<b>Area(sqft)</b>			<b>HTM</b>		<b>Load</b>	
1	Concrete Blk, - Ext		13.0/0.09		555.0			1.3		728 Btuh	
2	Frame - Wood - Adj		13.0/0.09		250.0			1.5		377 Btuh	
3	Frame - Wood - Ext		13.0/0.09		1040.0			2.1		2169 Btuh	
	<b>Wall Total</b>				<b>1845 (sqft)</b>					<b>3275 Btuh</b>	
<b>Doors</b>	<b>Type</b>				<b>Area (sqft)</b>			<b>HTM</b>		<b>Load</b>	
1	Insulated - Exterior				40.0			9.8		392 Btuh	
2	Insulated - Adjacent				40.0			9.8		392 Btuh	
	<b>Door Total</b>				<b>80 (sqft)</b>					<b>784 Btuh</b>	
<b>Ceilings</b>	<b>Type/Color/Surface</b>		<b>R-Value</b>		<b>Area(sqft)</b>			<b>HTM</b>		<b>Load</b>	
1	Vented Attic/DarkShingle		30.0		1275.0			1.7		2111 Btuh	
	<b>Ceiling Total</b>				<b>1275 (sqft)</b>					<b>2111 Btuh</b>	
<b>Floors</b>	<b>Type</b>		<b>R-Value</b>		<b>Size</b>			<b>HTM</b>		<b>Load</b>	
1	Raised Wood - Adj		19.0		780 (sqft)			0.6		469 Btuh	
2	Slab On Grade		0.0		510 (ft(p))			0.0		0 Btuh	
	<b>Floor Total</b>				<b>1290.0 (sqft)</b>					<b>469 Btuh</b>	
<b>Zone Envelope Subtotal:</b>										<b>16181 Btuh</b>	
<b>Infiltration</b>	<b>Type</b>		<b>ACH</b>		<b>Volume(cuft)</b>			<b>CFM=</b>		<b>Load</b>	
	SensibleNatural		0.42		14076			98.5		1834 Btuh	
<b>Internal gain</b>			<b>Occupants</b>		<b>Btuh/occupant</b>			<b>Appliance</b>		<b>Load</b>	
			4		X 230 +			0		920 Btuh	
<b>Duct load</b>	Unsealed, R6.0, Supply(Attic), Return(Attic)							DGM = 0.00		0.0 Btuh	
<b>Sensible Zone Load</b>										<b>18935 Btuh</b>	

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

6/28/2007

### WHOLE HOUSE TOTALS

<b>Whole House Totals for Cooling</b>	<b>Sensible Envelope Load All Zones</b>	<b>18935 Btuh</b>
	Sensible Duct Load	0 Btuh
	<b>Total Sensible Zone Loads</b>	<b>18935 Btuh</b>
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	<b>Total sensible gain</b>	<b>18935 Btuh</b>
	Latent infiltration gain (for 54 gr. humidity difference)	3601 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	<b>Latent total gain</b>	<b>4401 Btuh</b>
	<b>TOTAL GAIN</b>	<b>23336 Btuh</b>

\*Key: Window types (Pn - Number of panes of glass)  
 (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
 (U - Window U-Factor or 'DEF' for default)  
 (InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))  
 (ExSh - Exterior shading device: none(N) or numerical value)  
 (BS - Insect screen: none(N), Full(F) or Half(H))  
 (Ornt - compass orientation)



For Florida residences only

# System Sizing Calculations - Summer

## Residential Load - Room by Room Component Details

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F  
This calculation is for Worst Case. The house has been rotated 315 degrees.

6/28/2007

### Component Loads for Zone #1: Main

Window	Type*		Overhang		Window Area(sqft)			HTM		Load	
	Pn/SHGC/U/InSh/ExSh/IS	Ornt	Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, None,N,N	NE	1.5ft.	0ft.	15.0	0.0	15.0	29	60	901	Btuh
2	2, Clear, 0.87, None,N,N	NW	1.5ft.	5.5ft.	20.0	0.0	20.0	29	60	1201	Btuh
3	2, Clear, 0.87, None,N,N	NE	1.5ft.	5.33	58.0	0.0	58.0	29	60	3482	Btuh
4	2, Clear, 0.87, None,N,N	SE	1.5ft.	4.66	33.3	16.2	17.1	29	63	1540	Btuh
5	2, Clear, 0.87, None,N,N	SW	1.5ft.	5.5ft.	29.0	11.1	17.9	29	63	1440	Btuh
6	2, Clear, 0.87, None,N,N	SW	1.5ft.	5.5ft.	20.0	8.1	11.9	29	63	979	Btuh
<b>Window Total</b>					<b>175 (sqft)</b>					<b>9541 Btuh</b>	
<b>Walls</b>	<b>Type</b>	<b>R-Value/U-Value</b>		<b>Area(sqft)</b>			<b>HTM</b>		<b>Load</b>		
1	Concrete Blk. - Ext	13.0/0.09		555.0			1.3		728 Btuh		
2	Frame - Wood - Adj	13.0/0.09		250.0			1.5		377 Btuh		
3	Frame - Wood - Ext	13.0/0.09		1040.0			2.1		2169 Btuh		
<b>Wall Total</b>					<b>1845 (sqft)</b>					<b>3275 Btuh</b>	
<b>Doors</b>	<b>Type</b>	<b>R-Value</b>			<b>Area (sqft)</b>			<b>HTM</b>		<b>Load</b>	
1	Insulated - Exterior	13.0			40.0			9.8		392 Btuh	
2	Insulated - Adjacent	13.0			40.0			9.8		392 Btuh	
<b>Door Total</b>					<b>80 (sqft)</b>					<b>784 Btuh</b>	
<b>Ceilings</b>	<b>Type/Color/Surface</b>	<b>R-Value</b>		<b>Area(sqft)</b>			<b>HTM</b>		<b>Load</b>		
1	Vented Attic/DarkShingle	30.0		1275.0			1.7		2111 Btuh		
<b>Ceiling Total</b>					<b>1275 (sqft)</b>					<b>2111 Btuh</b>	
<b>Floors</b>	<b>Type</b>	<b>R-Value</b>		<b>Size</b>			<b>HTM</b>		<b>Load</b>		
1	Raised Wood - Adj	19.0		780 (sqft)			0.6		469 Btuh		
2	Slab On Grade	0.0		510 (ft(p))			0.0		0 Btuh		
<b>Floor Total</b>					<b>1290.0 (sqft)</b>					<b>469 Btuh</b>	
<b>Zone Envelope Subtotal:</b>										<b>16181 Btuh</b>	
<b>Infiltration</b>	<b>Type</b>	<b>ACH</b>		<b>Volume(cuft)</b>			<b>CFM=</b>		<b>Load</b>		
	SensibleNatural	0.42		14076			98.5		1834 Btuh		
<b>Internal gain</b>	<b>Occupants</b>			<b>Btuh/occupant</b>			<b>Appliance</b>		<b>Load</b>		
	4			X 230 +			0		920 Btuh		
<b>Duct load</b>	Unsealed, R6.0, Supply(Attic), Return(Attic)							DGM = 0.00		0.0 Btuh	
<b>Sensible Zone Load</b>										<b>18935 Btuh</b>	

# Manual J Summer Calculations

## Residential Load - Component Details (continued)

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

Class 3 Rating  
Registration No. 0  
Climate: North

6/28/2007

### WHOLE HOUSE TOTALS

<b>Whole House Totals for Cooling</b>	<b>Sensible Envelope Load All Zones</b>	<b>18935 Btuh</b>
	Sensible Duct Load	0 Btuh
	<b>Total Sensible Zone Loads</b>	<b>18935 Btuh</b>
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	<b>Total sensible gain</b>	<b>18935 Btuh</b>
	Latent infiltration gain (for 54 gr. humidity difference)	3601 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (4 people @ 200 Btuh per person)	800 Btuh
	Latent other gain	0 Btuh
	<b>Latent total gain</b>	<b>4401 Btuh</b>
	<b>TOTAL GAIN</b>	<b>23336 Btuh</b>

\*Key: Window types (Pn - Number of panes of glass)  
 (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)  
 (U - Window U-Factor or 'DEF' for default)  
 (InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))  
 (ExSh - Exterior shading device: none(N) or numerical value)  
 (BS - Insect screen: none(N), Full(F) or Half(H))  
 (Ornt - compass orientation)



For Florida residences only

# Residential Window Diversity

## MidSummer

Byrd, Michael  
336 SW Bonifay Glen  
Ft. White, FL

Project Title:  
Byrd,MichaelResidence

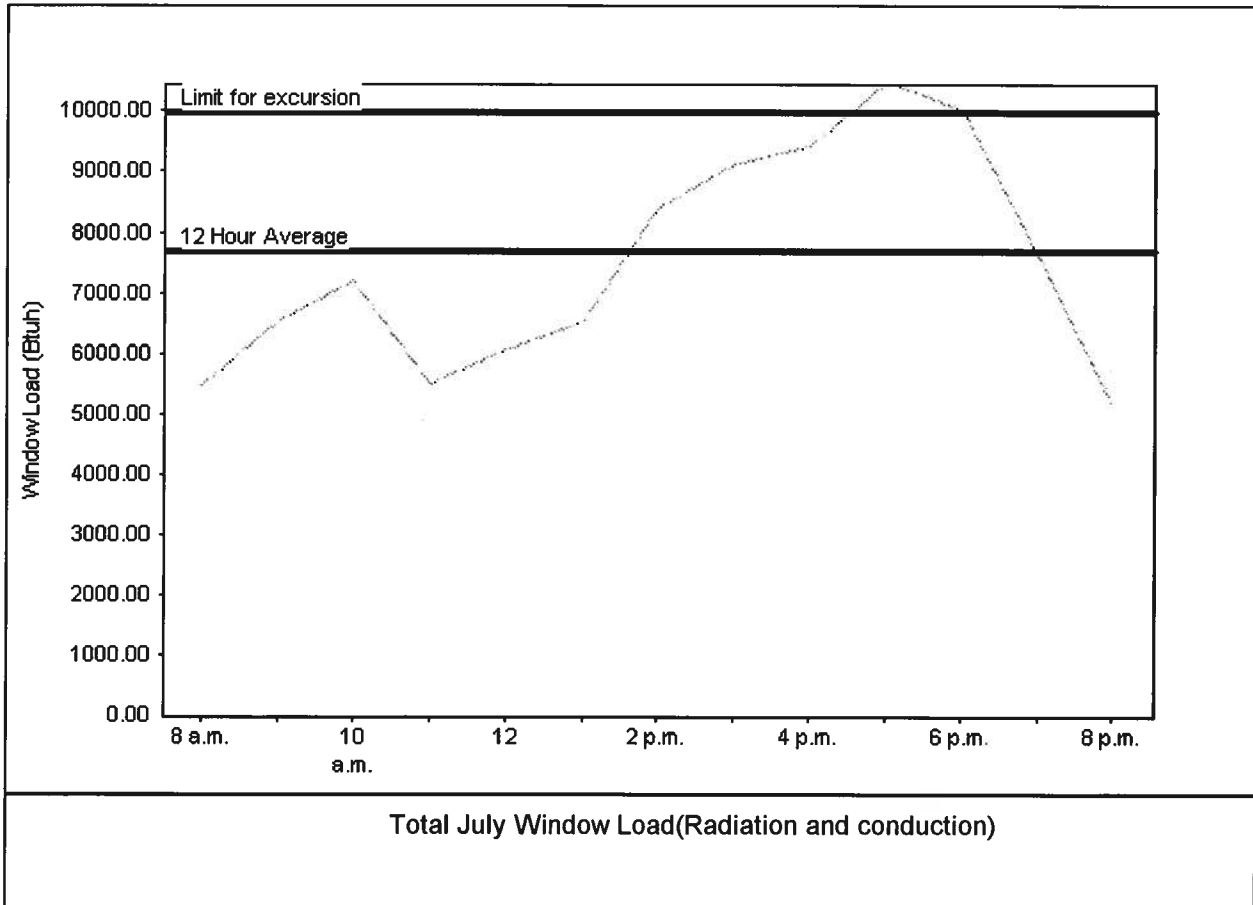
Class 3 Rating  
Registration No. 0  
Climate: North

6/28/2007

Weather data for: Gainesville - Defaults

Summer design temperature	92 F	Average window load for July	7688 Btuh
Summer setpoint	75 F	Peak window load for July	10479 Btuh
Summer temperature difference	17 F	Excursion limit(130% of Ave.)	9994 Btuh
Latitude	29 North	Window excursion (July)	485 Btuh

### WINDOW Average and Peak Loads



Warning: This application has glass areas that produce relatively large heat gains for part of the day. Variable air volume devices may be required to overcome spikes in solar gain for one or more rooms. A zoned system may be required or some rooms may require zone control.

EnergyGauge® System Sizing for Florida residences only  
PREPARED BY: *[Signature]*  
DATE: *6-28-07*







**b) Wood frame wall**

1. All materials making up wall
2. Size and species of studs
3. Sheathing size, type and nailing schedule
4. Headers sized
5. Gable end showing balloon framing detail or gable truss and wall hinge bracing detail
6. All required fasteners for continuous tie from roof to foundation (truss anchors, straps, anchor bolts and washers)
7. Roof assembly shown here or on roof system detail (FBC104.2.1 Roofing system, materials, manufacturer, fastening requirements and product evaluation with wind resistance rating)
8. Fire resistant construction (if applicable)
9. Fireproofing requirements
10. Show type of termite treatment (termicide or alternative method)
11. Slab on grade
  - a. Vapor retardant (6Mil. Polyethylene with joints lapped 6 inches and sealed)
  - b. Must show control joints, synthetic fiber reinforcement or welded wire fabric reinforcement and supports
12. Indicate where pressure treated wood will be placed
13. Provide insulation R value for the following:
  - a. Attic space
  - b. Exterior wall cavity
  - c. Crawl space (if applicable)



c) Metal frame wall and roof (designed, signed and sealed by Florida Prof. Engineer or Architect)

**Floor Framing System:**

- a) Floor truss package including layout and details, signed and sealed by Florida Registered Professional Engineer
- b) Floor joist size and spacing
- c) Girder size and spacing
- d) Attachment of joist to girder
- e) Wind load requirements where applicable



**Plumbing Fixture layout**

**Electrical layout including:**

- a) Switches, outlets/receptacles, lighting and all required GFCI outlets identified
- b) Ceiling fans
- c) Smoke detectors
- d) Service panel and sub-panel size and location(s)
- e) Meter location with type of service entrance (overhead or underground)
- f) Appliances and HVAC equipment
- g) Arc Fault Circuits (AFCI) in bedrooms



**HVAC information**

- a) Manual J sizing equipment or equivalent computation
- b) Exhaust fans in bathroom



**Energy Calculations** (dimensions shall match plans)

**Gas System** Type (LP or Natural) Location and BTU demand of equipment



**Disclosure Statement for Owner Builders**

**\*\*\*Notice Of Commencement Required Before Any Inspections Will Be Done**

**Private Potable Water**

- a) Size of pump motor
- b) Size of pressure tank
- c) Cycle stop valve if used



## **THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS**

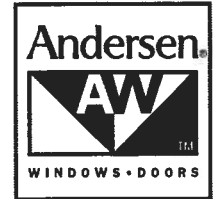
1. **Building Permit Application:** A current Building Permit Application form is to be completed and submitted for all residential projects.
2. **Parcel Number:** The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested.
3. **Environmental Health Permit or Sewer Tap Approval:** A copy of the Environmental Health permit, existing septic approval or sewer tap approval is required before a building permit can be issued.  
(386) 758-1058 ( Toilet facilities shall be provided for construction workers )
4. **City Approval:** If the project is to be located within the city limits of the Town of Fort White, prior approval is required. The Town of Fort White approval letter is required to be submitted by the owner or contractor to this office when applying for a Building Permit.  
(386) 497-2321
5. **Flood Information:** All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.8 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.7 of the Columbia County Land Development Regulations.  
**CERTIFIED FINISHED FLOOR ELEVATIONS WILL BE REQUIRED ON ANY PROJECT WHERE THE BASE FLOOD ELEVATION (100 YEAR FLOOD) HAS BEEN ESTABLISHED.**  
A development permit will also be required. Development permit cost is **\$50.00**
6. **Driveway Connection:** If the property does not have an existing access to a public road, then an application for a culvert permit (**\$25.00**) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (**\$50.00**). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.
7. **911 Address:** If the project is located in an area where the 911 address has been issued, then the proper paperwork from the 911 Addressing Department must be submitted. (386) 752-8787

**ALL REQUIRED INFORMATION IS TO BE SUBMITTED FOR REVIEW. YOU WILL BE NOTIFIED WHEN YOUR APPLICATION AND PLANS ARE APPROVED AND READY TO PERMIT. PLEASE DO NOT EXPECT OR REQUEST THAT PERMIT APPLICATIONS BE REVIEWED OR APPROVED WHILE YOU ARE HERE – TIME WILL NOT ALLOW THIS –PLEASE DO NOT ASK**

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# Installation Guide

for Andersen® 200/400 Series Casement, Awning, and Casement/Awning Picture Windows



**INSTALLER: Please leave this guide with the building owner to file for future reference.**

Congratulations! You have just purchased one of the many fine Andersen® products. Proper assembly, installation and maintenance are essential if the benefits of your Andersen product are to be fully attained. Therefore, please read and follow this instruction guide completely. If your abilities do not match this procedure's requirements, contact an experienced contractor. You may direct any questions about this or other products to your local Andersen dealer, found in the Yellow Pages under "Windows" or call Andersen WindowCare® service center at 1-888-888-7020 Monday through Friday, 7 a.m. to 7 p.m. Central Time and Saturday, 8 a.m. to 4 p.m. Central Time. Thank you for choosing Andersen.

## Important Safety, Assembly, and Installation Information

Every assembly and installation is different (windloads, structural support, etc.). Andersen strongly recommends consultation with an Andersen supplier or an experienced contractor, architect, or structural engineer prior to the assembly and installation of any Andersen product. For installation methods not covered in this guide, (i.e. through jamb) please visit the Architect Detail File on the web ([www.andersenwindows.com](http://www.andersenwindows.com)). Andersen has no responsibility in regard to the post-manufactured assembly and installation of Andersen products.

### ⚠ WARNING

Using ladders and/or scaffolding and working at elevated levels may be hazardous. Follow equipment manufacturer's instructions for safe operation. Use extreme caution when working around window and door openings. Falling from opening may result in personal injury or death.

### ⚠ WARNING

Improper use of hand/power tools could result in personal injury and/or product damage. Follow manufacturer's instructions for safe operation of equipment. Always wear safety glasses.

### ⚠ WARNING

Weight of window/door unit(s) and accessories will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install window and door unit(s) and accessories. Always use appropriate lifting techniques.

### ⚠ WARNING

Unless specifically ordered, Andersen windows and doors are not equipped with safety glass, and if broken, could fragment causing injury. Many laws and building codes require safety glass in locations adjacent to or near doors. Andersen windows are available with safety glass that may reduce the likelihood of injury when broken. Information on safety glass is available from your local Andersen dealer.

### ⚠ CAUTION

- Andersen® Head Flashing and Installation Flanges **DO NOT** take the place of standard window and door flashing. Unit must be properly flashed and sealed with silicone for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.
- Do not apply any type of film to glass. Thermal stress conditions resulting in glass damage could occur.
- Use of movable insulating materials such as window coverings, shutters, and other shading devices may damage glass and/or vinyl. In addition, excessive condensation may result causing deterioration of windows and doors.

**Tools Required for Procedure**

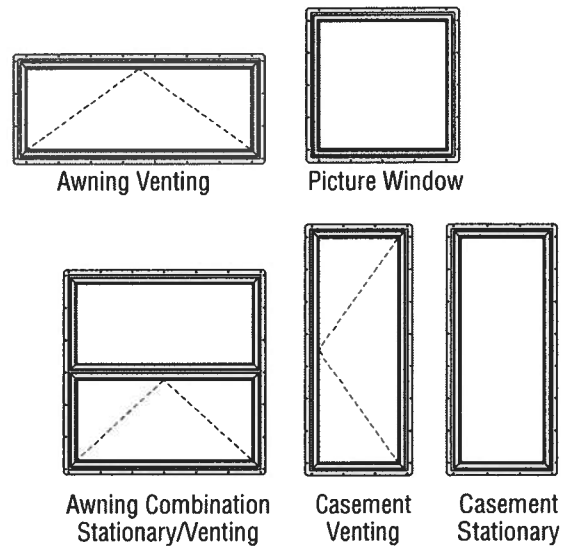
- Safety Glasses
- Tape Measure
- Hammer
- Level
- Carpenter's Square
- Wood Shims
- Utility Knife
- Quality Silicone Sealant
- Caulk Gun
- 1-3/4" Roofing Nails
- 1-1/2" (4d) Finish Nails

**Options and Accessories**

- Extension Jamb
- Grilles (Interior & Exterior)
- Art Glass Panels
- Glazing Panels
- Auxiliary Casings
- Mulling Information
- Joining Kits
- Jamb Clips

**Venting Accessories**

- Hardware Style Packs
- Insect Screens
- Operator Stud Covers
- Custodial Sash Locks
- Ventilation Control Adaptors
- Art Glass



Exterior View

**CAUTION**

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel fasteners, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

**NOTICE**

- Venting units are packaged with temporary operator/lock handles. Permanent operator/lock hardware is available in various styles and finishes from your Andersen dealer. Andersen dealers can be found in the Yellow Pages under Windows.
- Interior Trim Stops are soft nailed for easy removal when painting, staining, and/or joining units.

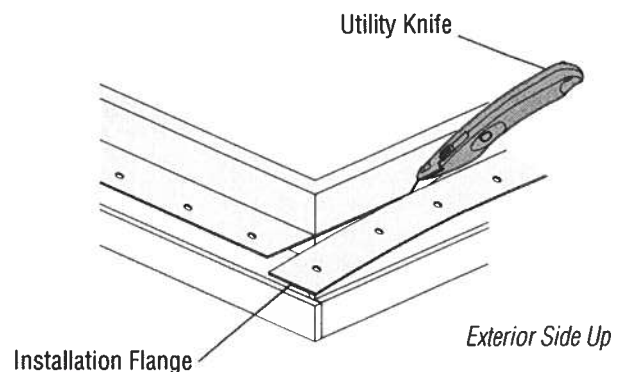
**1. Prepare Unit for Installation**

**Installation in Wood Frame/Buck Construction**

- Carefully remove unit from carton. Place unit exterior side up on a clean, flat work surface and remove packing blocks.
- Proceed to **Step 2**.

**Masonry/Brick Veneer and Replacement**  
(Replacement Installations where exterior finish (siding, brick veneer, stucco) is already applied.)

- Carefully remove unit from carton. Place unit exterior side up on a clean, flat work surface and remove packing blocks.
- Using a sharp utility knife, cut and remove *Installation Flanges* from window unit.



**Masonry/Brick Veneer and Replacement**

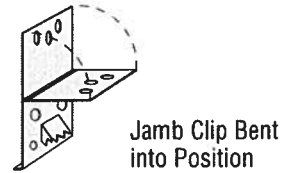
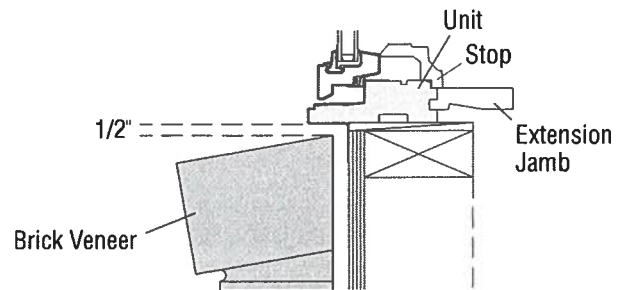
Installation in Masonry/Brick Veneer Walls

**CAUTION**

Provide a minimum clearance of 1/2" from top of brick or masonry to the bottom of any portion of sill. Failure to do so could result in product damage.

**Optional Jamb Clips by Andersen**

- Attach *Jamb Clips* in kerf on back of side jamb, spaced 12" apart on center starting 6" from corners using 5/8" fasteners. Bend *Jamb Clips* into position. Use number of *Jamb Clips* as recommended by architect or structural engineer. Maximum Design Load is 200 lbs. per *Jamb Clip*.

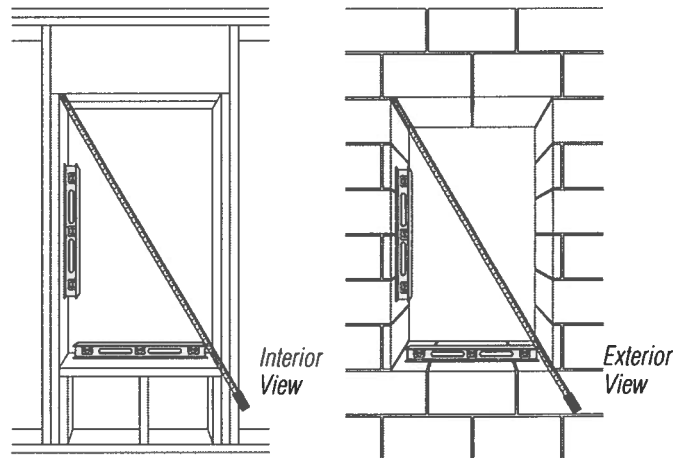


**2. Prepare Rough Opening**

- Prepare a rough opening for unit according to dimensions found in the *Andersen® Product Guide for Professionals*.
- Check squareness and dimension of rough opening by measuring diagonally across, upper left to lower right and upper right to lower left corner. If measurements are the same, opening is square.
- Check plumb and level using a carpenter's square and level. Sill plate must be level.

**NOTICE**

For masonry installations using wood bucks, follow procedure for wood frame construction.



Wood Frame/Buck Construction

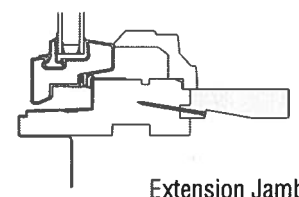
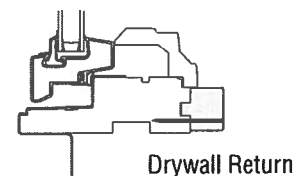
Masonry Construction

**3. Apply Extension Jambs or Drywall Return**

**NOTICE**

- Ripping of Extension Jambs may be required to fit nonstandard wall depths.
- Extension Jambs may be applied after unit installation is complete depending on wall thickness. See instruction guide for Interior Jamb Extension Options.
- Non-Andersen extension jambs may cause Trim Stop misalignment and may adversely affect insect screen fit.

- Position tongue on *Drywall Return* or *Extension Jamb* into groove on frame. Hold firmly to avoid tipping and fasten in place using 1-1/2" (4d) finish nail.



## 4. Install Window Unit

### ⚠ CAUTION

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel fasteners, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

### ⚠ CAUTION

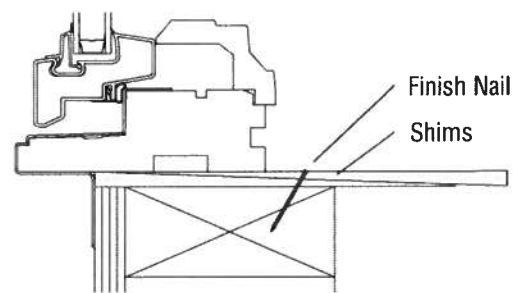
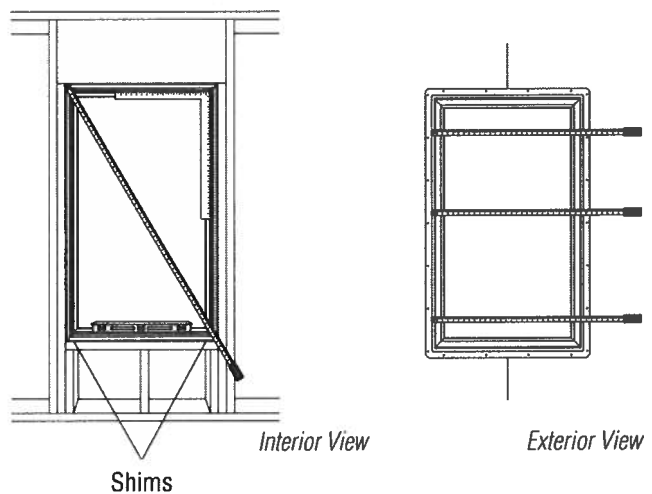
- **DO NOT** set window unit directly on Sill Plate. Elevate unit on shims. Sill Plate may bow and interfere with window operation.
- To prevent bending and cracking of Installation Flanges, **DO NOT** set nails when using low density insulating sheathing.

### Wood Frame/Buck Construction

### ⚠ WARNING

Weight of window/door unit(s) and accessories will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install window and door unit(s) and accessories. Always use appropriate lifting techniques.

- Lift unit into rough opening from exterior. From interior, shim at corners of *Sill* under *Side Jambs* to level and center unit. (On double and triple units, a *Shim* must be placed under mullion post(s) at the *Sill*.)
- From the exterior, nail upper corner of *Installation Flange* using 1-3/4" roofing nails. Recheck level.
- Measure diagonally across window, upper left to lower right and upper right to lower left corners. If measurements are equal, unit is square. If unit is not square, adjust with shims as required and fasten remaining corners.
- Measure across head, center, and sill of the window unit. Center dimensions should match head and sill dimensions. Shim or block to straighten *Side Jamb*. Insert shims at midpoint behind the *Side Jamb* between unit frame and rough opening. For venting Casement Units, insert and fasten shims every 18" on lock side.
- Secure unit to wood frame rough opening using 1-3/4" roofing nails. Nails should be placed in every hole.



Wood Frame /Buck Construction

**Masonry Construction**

**⚠ WARNING**

Weight of window/door unit(s) and accessories will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install window and door unit(s) and accessories. Always use appropriate lifting techniques.

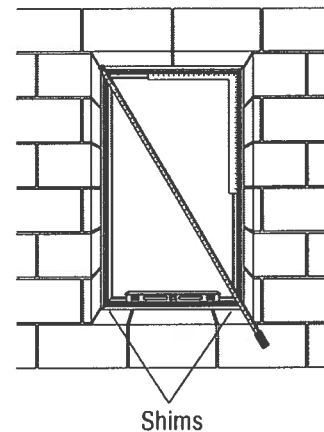
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- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

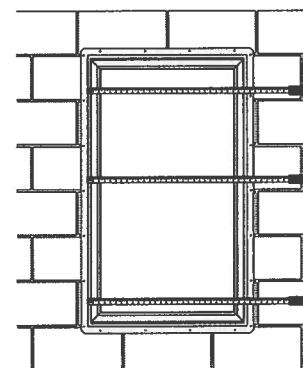
**NOTICE**

If using optional Jamb Clips by Andersen they must be installed before placing unit into rough opening. Space Jamb Clips 12" apart on center starting 6" from corners.

- Lift unit into rough opening from exterior. From the interior, shim at corners of sill under side jambs to level and center unit. For double and triple units, a shim must be placed under mull post(s) at sill.
- Measure diagonally across window, upper left to lower right and upper right to lower left corners. If measurements are equal, unit is square. If unit is not square, adjust with shims as required.
- Measure across head, center, and sill of the window unit. Center dimensions should match head and sill dimensions. Shim or block to straighten side jamb if necessary. Insert shims at midpoint behind the side jamb between unit frame and rough opening. For venting Casement Units, insert and fasten shims every 18" on lock side.
- Secure unit to masonry rough opening using masonry screws through side jamb or *Jamb Clips*, spaced 12" apart on center starting 6" from corners.



*Interior View*



*Exterior View*

**Masonry Construction**

## 5. Apply Flashing Tape

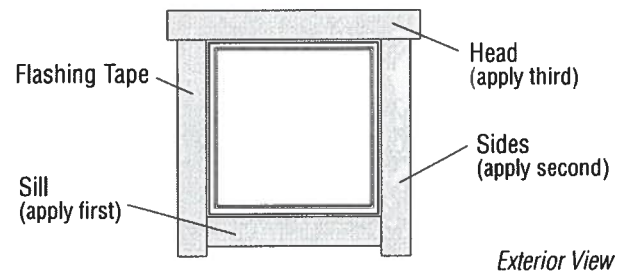
### ⚠ CAUTION

Unit must be properly flashed and sealed for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.

### NOTICE

- This instruction step depicts one of many options for proper flashing.
- Moisture infiltration problems in any type of building can be reduced by properly flashing and/or sealing around all building openings, including windows and doors. Proper flashing under and around window and door openings can reduce moisture problems, but the performance of any building system depends upon the design and construction of the building system in its entirety, which should address local environment, climate, building codes and product and material limitations. The design and installation of flashing and sealing systems are the responsibility of the architect, contractor, installer, and/or the manufacturer of the building exterior specified for the project.

- Apply flashing tape over *Installation Flange* at sill.
- Apply flashing tape over *Installation Flange* at sides, overlapping flashing tape at sill.
- Apply flashing tape over *Installation Flange* at head, overlapping flashing tape at sides.

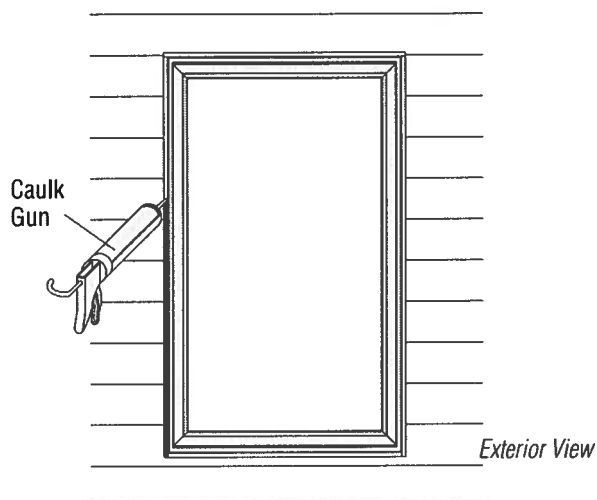


## 6. Insulate and Seal Unit

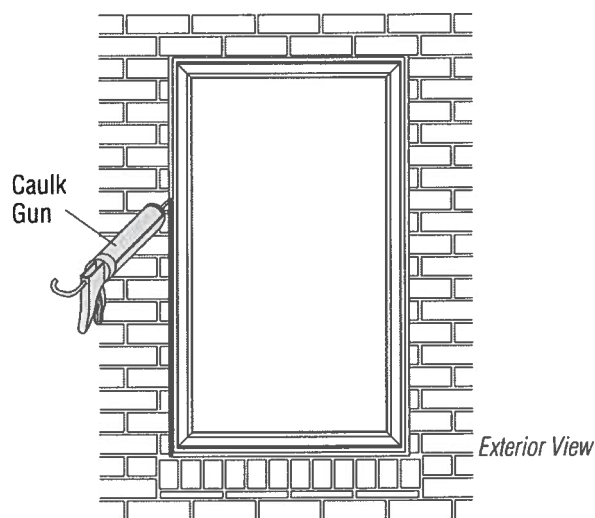
### **CAUTION**

- When insulating between the unit's frame and rough opening, **DO NOT** overpack batt insulation or overfill with expandable foam. Bowed jambs may result causing product performance problems and/or incorrect operation of unit.
- A minimum space of 1/4" is required around the exterior perimeter of the unit between the frame and siding. Masonry installations require a minimum 1/2" space along the sill and 1/4" space around the remaining perimeter.

- Insulate between frame, extension jambs and rough opening on all sides. Do not overpack or overfill with insulation, bowed jambs may result.
- Apply backer rod and a quality silicone sealant around exterior perimeter of window after siding (or other finish) is applied.



**Wood Frame/Buck Construction**

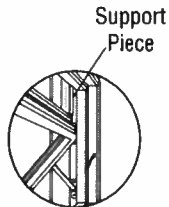


**Masonry Construction**

## Finishing, Cleaning, and Maintenance Instructions

### ⚠ CAUTION

- **DO NOT** expose unfinished wood to high moisture conditions, excessive heat or humidity. Finish interior wood surfaces immediately after installation. Unfinished wood surfaces will discolor, deteriorate and/or may bow and split.
- **DO NOT** stain or paint weatherstrip, silicone beads, vinyl, glass or hardware.
- Awning units are not equipped with a built in wash mode. To clean, open unit 4" and lift operator shoe off operator rod. Swing sash up fully and block open with Support Piece.
- Side Inside Stop on the Lock side of tandem lock Casement units has an underlying Lock mechanism. Use caution when removing Side Inside Stop on the lock side to avoid damage to Lock mechanism and/or Side Inside Stop.



### ⚠ CAUTION

Acid solutions used to wash masonry will damage glass, fasteners, hardware, and metal flashing. Follow the acid solution manufacturer's instructions carefully. Protect and/or cover Andersen® products during cleaning process to prevent acid contact. If acid does come in contact with unit, immediately wash all surfaces with clean water.

### CLEANING

Clean exterior frame, sash members, and insect screens using a mild detergent-and-water solution and a soft cloth or brush. **DO NOT** use abrasive cleaners or solutions containing corrosive solvents. For persistent dirt or grime, use a nonabrasive cleanser or a mixture of water and alcohol or ammonia.

### MAINTENANCE

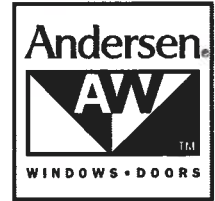
Immediately sand and refinish any interior wood that becomes stained or mildewed to prevent further discoloration and/or damage. For further information, contact your local Andersen dealer. Dealers can be found in the Yellow Pages under Windows.

### INTERIOR FINISHING

**Read and follow finishing manufacturer's instructions and warnings on each container of finish material for priming, painting, staining and varnishing.**

# Installation Guide

for Andersen® 400 Series Circle Top™, Quarter Round, Elliptical, Circle, and Oval Windows & 200 Series Casement Circle Top™ and Quarter Round & Narroline® Circle Top™ Windows



**INSTALLER: Please leave this guide with the building owner to file for future reference.**

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### ⚠ CAUTION

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- Do not apply any type of film to glass. Thermal stress conditions resulting in glass damage could occur.
- Use of movable insulating materials such as window coverings, shutters, and other shading devices may damage glass and/or vinyl. In addition, excessive condensation may result causing deterioration of windows and doors.

**NOTICE**

Extension Jambes are factory applied on some units or may be applied prior to installation, except when Jamb Clips are used.

**⚠ WARNING**

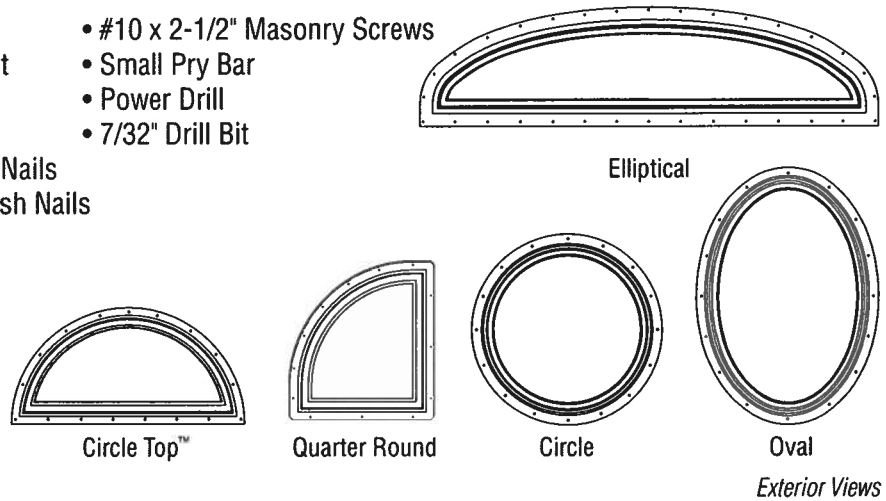
Steel will corrode when used with ACQ Pressure Treated Lumber. Obtain and use the appropriate size stainless steel fastener as called out by the installation guide to fasten unit to any rough opening made from ACQ Pressure Treated Lumber. Failure to use stainless steel fasteners for the installation could cause a failure resulting in injury, property, or product damage.

**Tools and Supplies**

- Safety Glasses
- Tape Measure
- Hammer
- Level
- Carpenter's Square
- Wood Shims
- Utility Knife
- Silicone Sealant
- Caulk Gun
- Flashing Tape
- 1-3/4" Roofing Nails
- 1-1/2" (4d) Finish Nails
- #10 x 2-1/2" Masonry Screws
- Small Pry Bar
- Power Drill
- 7/32" Drill Bit

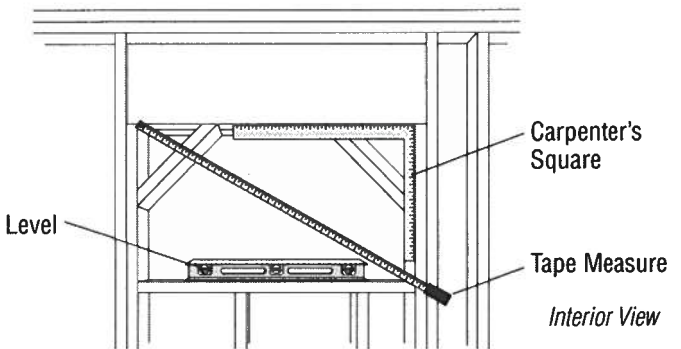
**Options and Accessories**

- Extension Jambes
- Grilles (Interior & Exterior)
- Auxiliary Casings
- Jamb Clips
- Joining Kits
- Andersen® Art Glass Panels

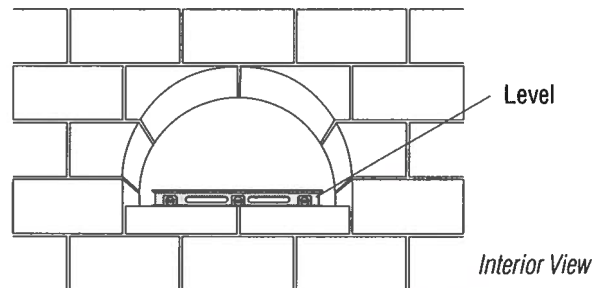


**1. Prepare Rough Opening**

- Prepare rough opening for unit according to dimensions found in the *Andersen® Product Guide*.
- Check sill plate for level. Sill **must** be level, shim sill plate if necessary.
- Check rough opening for plumb and level. If rough opening is **not** plumb or level, correct as necessary.
- Check opening for square by measuring diagonally, upper left to lower right and upper right to lower left corner. If measurements are the same, opening is square. If rough opening is **not** square, correct as necessary.



**Wood Frame/ Buck Construction**



**Masonry Construction**

**NOTICE**

For masonry installations using wood bucks, follow procedure for wood frame construction.

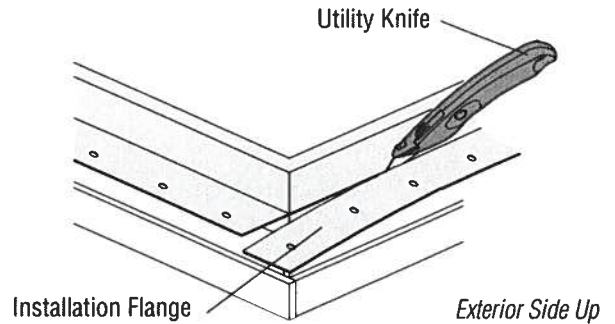
## 2. Prepare Unit for Installation

### Wood Frame/Buck Construction

- Carefully remove unit from carton. Place unit exterior side up on a clean, flat work surface.
- Proceed to **STEP 3**.

### Masonry/Replacement Installations (Where Removal of Installation Flange May Be Required)

- Carefully remove unit from carton. Place unit exterior side up on a clean, flat work surface.
- Cut and remove *Installation Flange* from perimeter of window unit, if required, using a sharp utility knife.

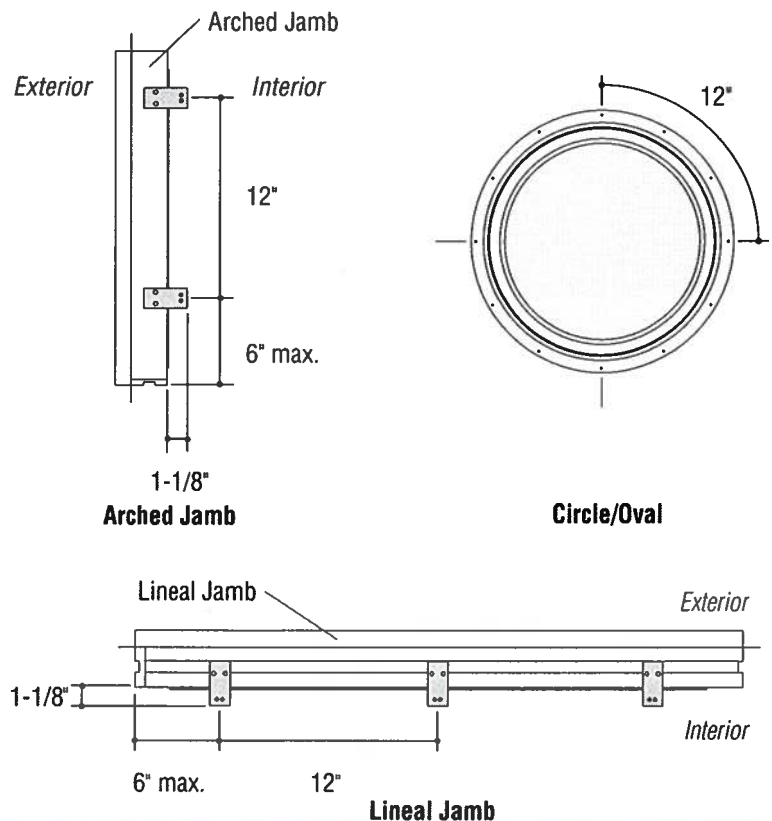
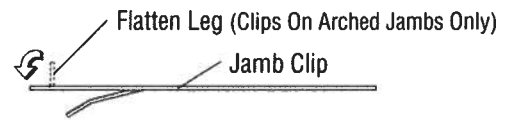


### Optional Jamb Clips by Andersen

**⚠ WARNING**

Steel will corrode when used with ACQ Pressure Treated Lumber. Obtain and use the appropriate size stainless steel fastener as called out by the installation guide to fasten unit to any rough opening made from ACQ Pressure Treated Lumber. Failure to use stainless steel fasteners for the installation could cause a failure resulting in injury, property, or product damage.

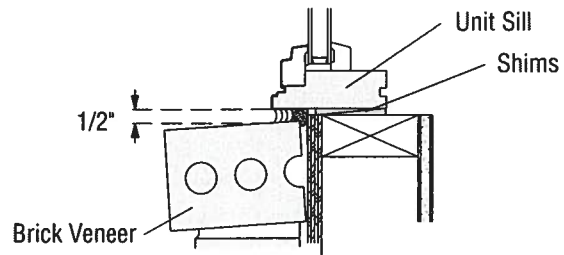
- Flatten leg on *Jamb Clips* being located on arched jambs.
- Attach *Jamb Clips* on back of jamb, spacing 12" apart on center and starting 6" from corners, using 5/8" fasteners. For Circle and Oval Units, use a minimum of four clips spaced 12" apart. Use number of *Jamb Clips* as required. Maximum Design Load is 200 lbs. per *Jamb Clip*.



### 3. Install Unit

#### CAUTION

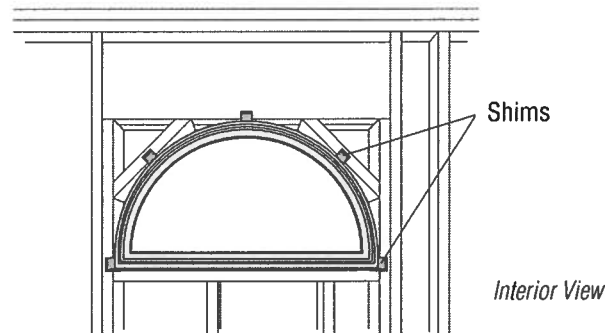
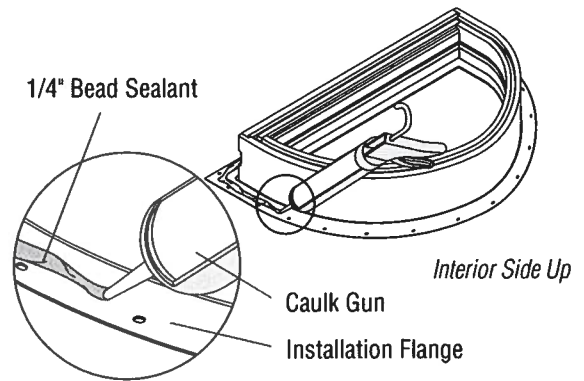
- To prevent bending and cracking of Installation Flanges, **DO NOT** set nails when using low density insulating sheathing.
- Provide a minimum clearance of 1/2" from top of brick or masonry to the bottom of any portion of sill. Failure to do so could result in product damage.



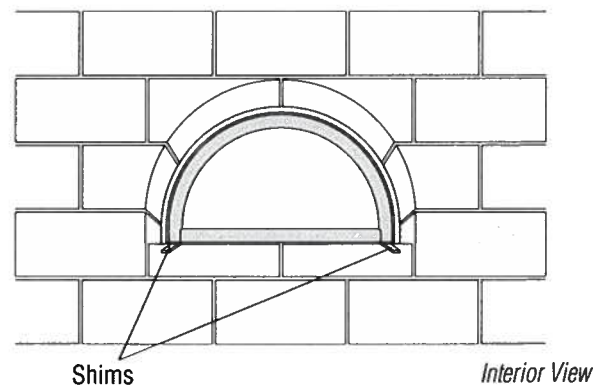
#### ⚠ WARNING

Steel will corrode when used with ACQ Pressure Treated Lumber. Obtain and use the appropriate size stainless steel fastener as called out by the installation guide to fasten unit to any rough opening made from ACQ Pressure Treated Lumber. Failure to use stainless steel fasteners for the installation could cause a failure resulting in injury, property, or product damage.

- Apply 1/4" bead of sealant, full perimeter, to back side of *Installation Flange* or around perimeter of rough opening 1/2" from edge.
- Lift unit into rough opening from exterior. From interior, shim at corners of sill under side jambs to level and center unit. Insert shims between frame and rough opening in middle of side jamb.
- Center, square, and level unit in opening.



Wood Construction



Masonry Construction

### 3. Install Unit (Continued)

#### Wood Frame/Buck Construction

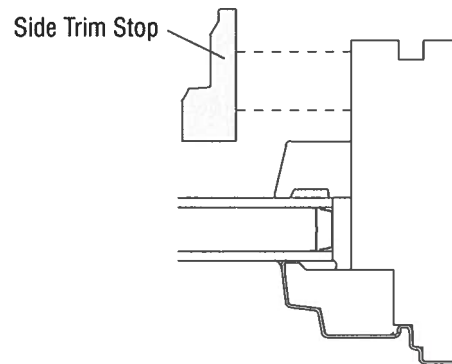
- From the exterior, nail upper *Installation Flange* using 1-3/4" roofing nails. Recheck level.
- If unit is not square, adjust with shims as required and fasten remaining corners.
- Secure unit to wood frame rough opening using 1-3/4" roofing nails. Nails should be spaced every other hole.

#### Masonry/Replacement Installation (Installation Using Jamb Clips)

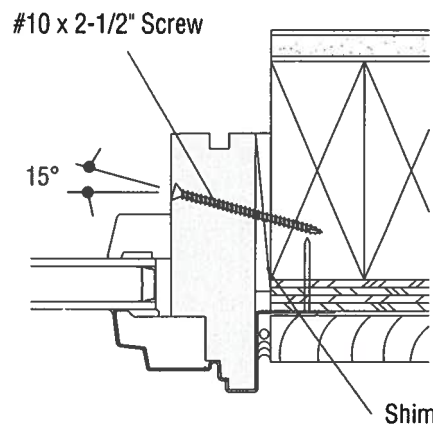
- Secure unit to masonry rough opening using masonry screws through *Jamb Clips*.

#### Masonry/Replacement Installation (Through-the-Jamb Installation)

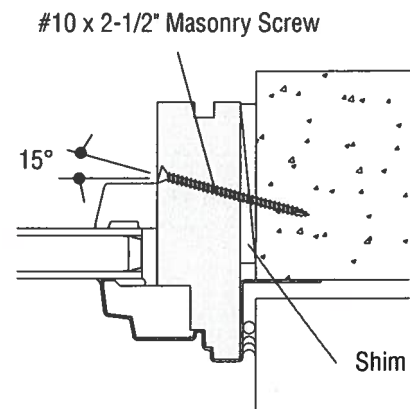
- Remove side *Trim Stops* from unit using small pry bar.
- Mark location for screws on side jamb 6" from top and bottom and every 16" in between. For Circle and Oval Units, mark location for screws at top of jamb and every 12" around the unit jamb.
- Insert *Shims* near hole locations.
- Drill and countersink 7/32" holes at a 15° angle toward exterior on marks.
- Fasten using #10 x 2-1/2" screws.
- Replace side *Trim Stops*.



**Cross Section Detail  
Side Jamb**



**Cross Section Detail  
Wood Frame Construction**



**Cross Section Detail  
Masonry Construction**

## 4. Apply Flashing Tape

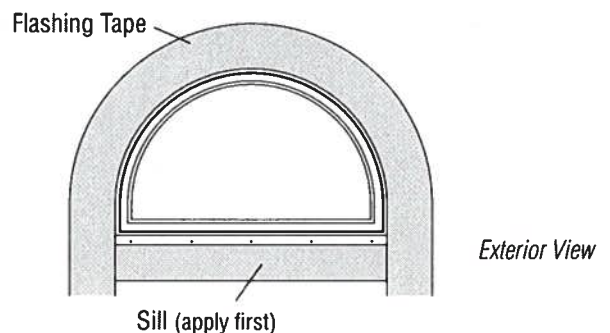
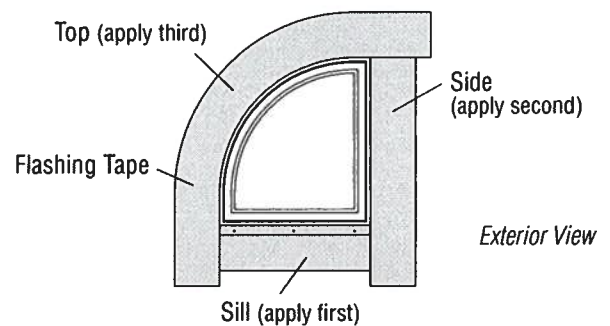
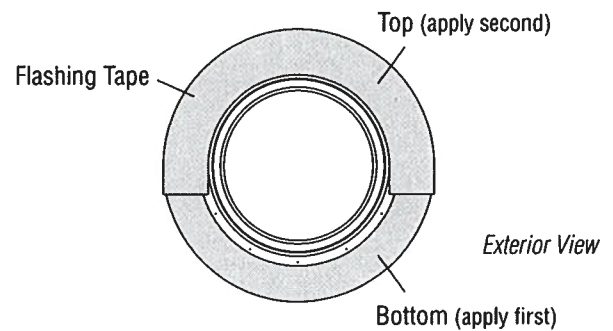
### ⚠ CAUTION

Unit must be properly flashed and sealed for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.

### NOTICE

- This instruction step depicts one of many options for proper flashing.
- Moisture infiltration problems in any type of building can be reduced by properly flashing and/or sealing around all building openings, including windows and doors. Proper flashing under and around window and door openings can reduce moisture problems, but the performance of any building system depends upon the design and construction of the building system in its entirety, which should address local environment, climate, building codes and product and material limitations. The design and installation of flashing and sealing systems are the responsibility of the architect, contractor, installer, and/or the manufacturer of the building exterior specified for the project.

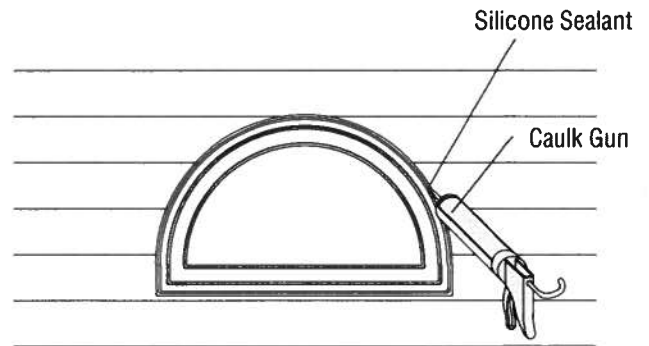
- Apply flashing tape over *Installation Flange* at sill on Circle Top™, Quarter Round, and Elliptical Windows or on lower half of Circle and Oval Windows.
- Apply flashing tape over *Installation Flange* on the upper arch, overlapping flashing tape at sill, side or lower arch a minimum of 2".



## 5. Insulate and Seal Unit

### ⚠ CAUTION

- When insulating between unit frame and rough opening, **DO NOT** over pack batt insulation or overfill with expandable foam. Bowed jambs may result, causing product performance problems and/or incorrect operation of unit.
- A minimum space of 1/4" is required around exterior perimeter of unit between the frame and exterior finish material to allow for material expansion.
- Masonry/Brick Veneer installations require a minimum 1/2" space along the sill and 1/4" space around remaining perimeter to allow for settling and expansion.



Exterior View

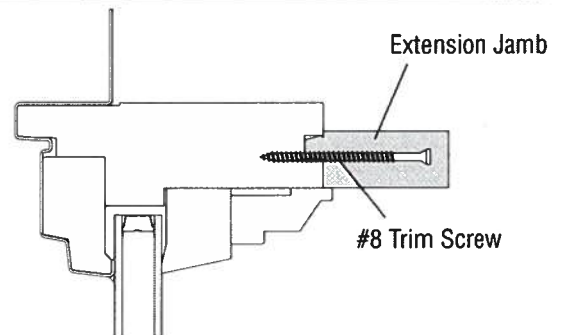
- Insulate between frame and rough opening on all sides. **DO NOT** over pack or overfill with insulation. Bowed jambs may result.
- Clean and prime around outside of unit where silicone sealant will be applied. Apply silicone sealant around exterior perimeter of window after siding (or other finish) is applied.

## 6. Apply Extension Jambs if Required

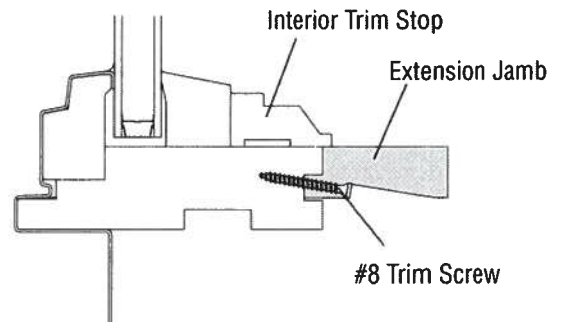
- Position *Extension Jamb* tongue into groove on frame. Hold *Extension Jamb* firmly in place and predrill using a 3/32" drill bit. Fasten *Extension Jamb* using appropriate length nail or screw.
- Ripping of *Extension Jambs* may be required to fit nonstandard wall depths. Contact your Andersen® supplier for further information.

### Suggested Fastener Sizes

Wall Dimension	Fastener Size
4-9/16"	10d (3") Finish Nail or 3" Trim Screw
5-1/4"	10d (3") Finish Nail or 3" Trim Screw
6-9/16" & 7-1/8"	16d (3-1/2") Casing or Galvanized Nail or 3-1/2" Trim Screw



Cross Section Detail  
Side/Arched Jamb



Cross Section Detail  
Sill

## Finishing, Cleaning, and Maintenance Instructions

### CAUTION

- **DO NOT** expose unfinished wood to high moisture conditions, excessive heat or humidity. Finish interior wood surfaces immediately after installation. Unfinished wood surfaces will discolor, deteriorate, and/or may bow and split.
- **DO NOT** stain or paint weatherstrip, silicone beads, vinyl, glass, or hardware. Damage to product may occur and unit operation may be impaired.
- Acid solutions used to wash masonry/concrete will damage glass, fasteners, hardware, and metal flashing. If these solutions are used, follow the acid solution manufacturer's instructions carefully. Protect and/or cover Andersen products during the cleaning process to prevent acid contact. If acid does come in contact with unit, immediately wash all surfaces with clean water.

### INTERIOR FINISHING

Read and follow finishing manufacturer's instructions and warnings on each container of finish material for priming, painting, staining, and varnishing.

### CLEANING

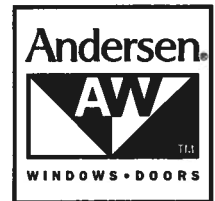
Clean exterior frame, sash members, and insect screens using a mild detergent-and-water solution and a soft cloth or brush. **DO NOT** use abrasive cleaners or solutions containing corrosive solvents. For persistent dirt or grime, use a nonabrasive cleanser or a mixture of water and alcohol or ammonia.

### MAINTENANCE

Immediately sand and refinish any interior wood that becomes stained or mildewed to prevent further discoloration and/or damage. For further information, contact your local Andersen dealer. Dealers can be found in the Yellow Pages under Windows.

# Installation

for Andersen® 400 Series Tilt-Wash Double-Hung and 200 Series Narroline® Double-Hung Windows



**INSTALLER:** Please leave this guide with the building owner to file for future reference.

Congratulations! You have just purchased one of the many fine Andersen® products. Proper assembly, installation and maintenance are essential if the benefits of your Andersen product are to be fully attained. Therefore, please read and follow this instruction guide completely. If your abilities do not match this procedure's requirements, contact an experienced contractor. You may direct any questions about this or other products to your local Andersen dealer, found in the Yellow Pages under "Windows" or call Andersen WindowCare® service center at 1-888-888-7020 Monday through Friday, 7 a.m. to 7 p.m. Central Time and Saturday, 8 a.m. to 4 p.m. Central Time. Thank you for choosing Andersen.

## Important Safety, Assembly, and Installation Information

Every assembly and installation is different (windloads, structural support, etc.). Andersen strongly recommends consultation with an Andersen supplier or an experienced contractor, architect, or structural engineer prior to the assembly and installation of any Andersen product. For installation methods not covered in this guide, (i.e. through jamb) please visit the Architect Detail File on the web ([www.andersenwindows.com](http://www.andersenwindows.com)). Andersen has no responsibility in regard to the post-manufactured assembly and installation of Andersen products.

### ⚠ WARNING

Using ladders and/or scaffolding and working at elevated levels may be hazardous. Follow equipment manufacturer's instructions for safe operation. Use extreme caution when working around window and door openings. Falling from opening may result in personal injury or death.

### ⚠ WARNING

Improper use of hand/power tools could result in personal injury and/or product damage. Follow manufacturer's instructions for safe operation of equipment. Always wear safety glasses.

### ⚠ WARNING

Weight of window/door unit(s) and accessories will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install window and door unit(s) and accessories. Always use appropriate lifting techniques.

### ⚠ WARNING

Unless specifically ordered, Andersen windows and doors are not equipped with safety glass, and if broken, could fragment causing injury. Many laws and building codes require safety glass in locations adjacent to or near doors. Andersen windows are available with safety glass that may reduce the likelihood of injury when broken. Information on safety glass is available from your local Andersen dealer.

### ⚠ CAUTION

- Andersen® Head Flashing and Installation Flanges **DO NOT** take the place of standard window and door flashing. Unit must be properly flashed and sealed with silicone for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.
- Do not apply any type of film to glass. Thermal stress conditions resulting in glass damage could occur.
- Use of movable insulating materials such as window coverings, shutters, and other shading devices may damage glass and/or vinyl. In addition, excessive condensation may result causing deterioration of windows and doors.

**⚠ WARNING**  
**DO NOT** install air conditioning unit in window. Unit could tip or fall causing severe personal injury and/or product damage.

**⚠ CAUTION**  
**DO NOT** attach objects to unit other than Andersen® products specifically designed for unit. Product damage and/or personal injury could occur.

**CAUTION**

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel fastener, as called out in the installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

**NOTICE**

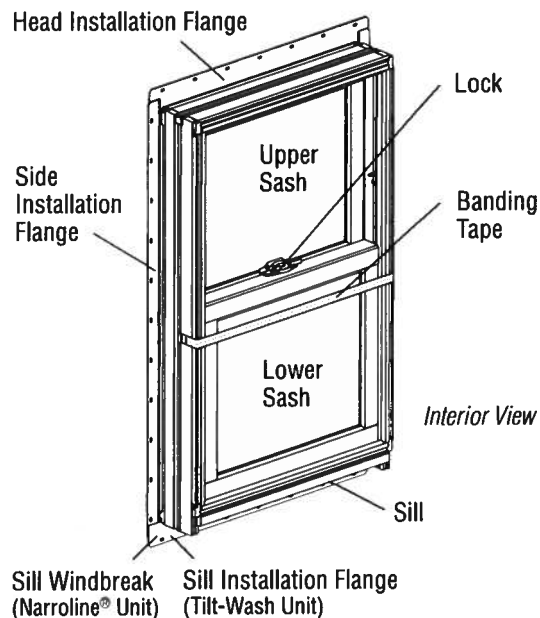
- **DO NOT** remove banding tape until unit is installed.
- Narrow, Support, or Steel Reinforced Joining Kits are necessary when joining multiple units. Please refer to specific instruction guides.
- For Sill Stop, Optional Stool, or Extension Jamb application, please refer to specific instruction guides.

**Tools and Supplies**

- Safety Glasses
- Tape Measure
- Hammer
- Level
- Shims
- Caulk Gun
- Carpenter's Square
- Silicone Sealant
- 1-3/4" Roofing Nails
- Blocking
- Backer Rod
- Insulation

**Options and Accessories**

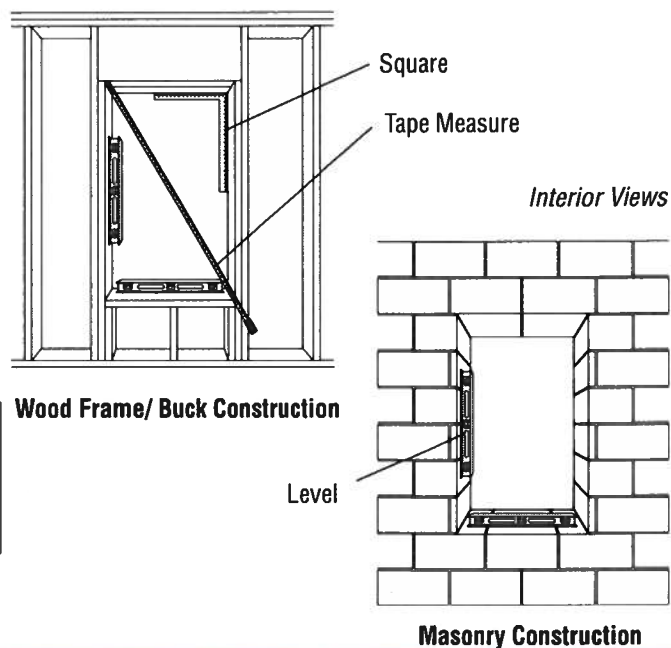
- Extension Jamb
- Grilles
- Insect Screens
- Joining Kits
- Jamb Clips



**1. Prepare Rough Opening**

- Check sill plate for level. Sill **must** be level, shim sill plate if necessary.
- Check rough opening for plumb and level. If rough opening is **not** plumb or level, correct as necessary.
- Check opening for square by measuring diagonally, upper left to lower right and upper right to lower left corner. If measurements are within 1/8", opening is square. If rough opening is **not** square, correct as necessary.

**NOTICE**  
 For masonry installations using wood bucks, follow procedure for wood frame construction.



## 2. Prepare Unit

- Remove unit from packaging. Place unit interior side up on a clean, flat work surface.

### NOTICE

**DO NOT** remove banding tape until unit is installed.

- Remove packaging blocks and staples.
- For **Tilt-Wash Units**, remove packing block at top of unit.
- Close and lock sash to keep unit rigid and square during installation.

### NOTICE

Installation Flanges are factory applied to fit 4-1/2" wall thickness. Installation Flanges may be reversed to fit 4-1/8" wall thicknesses.

#### 4-1/2" Wood Frame/Buck Construction

- For 4-1/2" wall thickness, proceed to **Step 3**.

#### 4-1/8" Wood Frame/Buck Construction

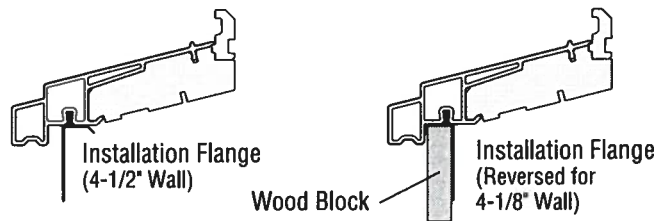
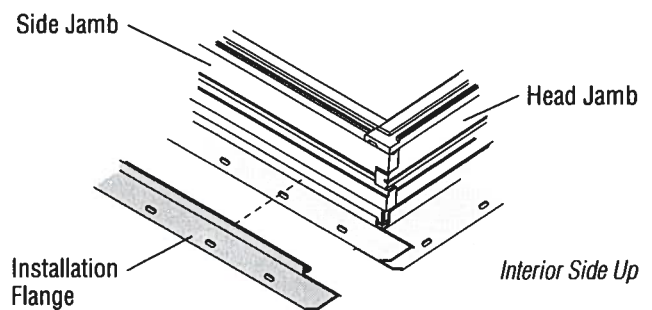
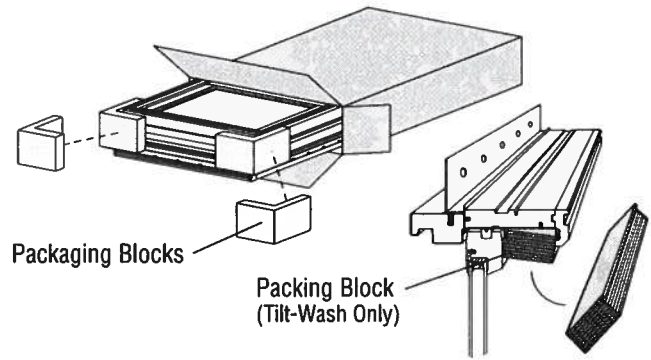
- Remove *Installation Flanges* by pulling outward. Reverse end for end.
- Replace sill *Installation Flange* in kerf centering along sill. Tap in place until fully seated using a wood block and hammer.
- Repeat for side *Installation Flanges*. Place flange flush with bottom of unit and overlap sill *Installation Flange* equally to the exterior.
- Repeat for head *Installation Flange*. Center flange along head and overlap side *Installation Flanges* equally to the exterior.

#### Masonry Construction/Replacement Installations (may require removal of Installation Flanges)

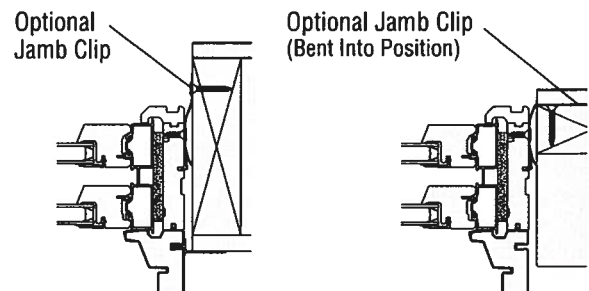
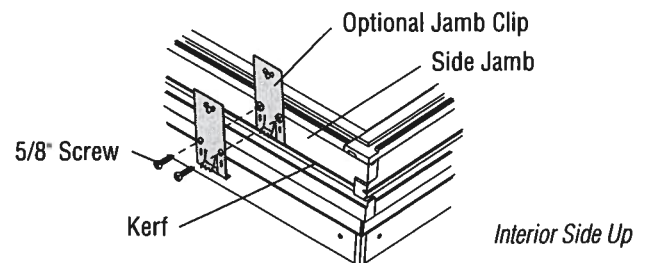
### NOTICE

Removal of Installation Flange may be necessary for some masonry installations, replacement installations, and/or where exterior finish (siding, brick veneer, stucco) is already applied.

- Remove *Installation Flanges* by pulling outward.
- For **Optional Jamb Clips by Andersen®**, attach *Jamb Clips* in kerf on back of *Side Jamb*. Position *Jamb Clips* 6" from each end and every 12" on center. Fasten *Jamb Clips* using two 5/8" screws. *Jamb Clips* can be bent into position if needed. Use number of *Jamb Clips* recommended by architect or structural engineer. Maximum Design Load is 200 pounds per *Jamb Clip*.



#### 4-1/8 Wood Frame/Buck Construction - Tilt Wash



#### Masonry Construction/Replacement Installations - Tilt Wash

**3. Apply Extension Jamb**

**Extension Jamb Application BEFORE Installation  
Tilt-Wash Units ONLY**

**NOTICE**

- **DO NOT** apply Extension Jamb before installing unit if Jamb Clips are being used.
- Ripping of Extension Jamb may be required to fit nonstandard wall depths.

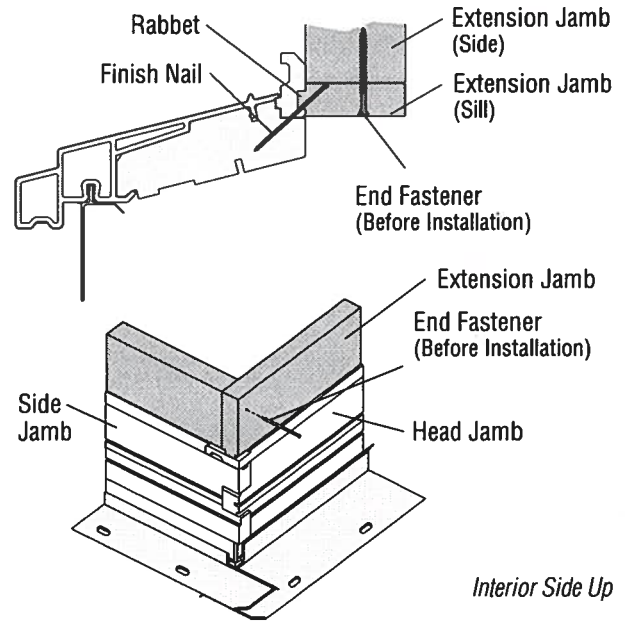
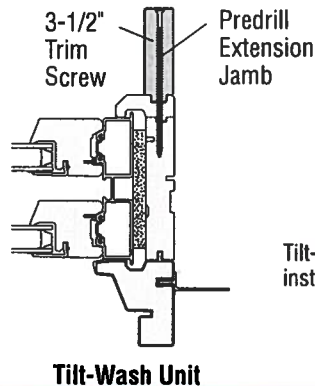
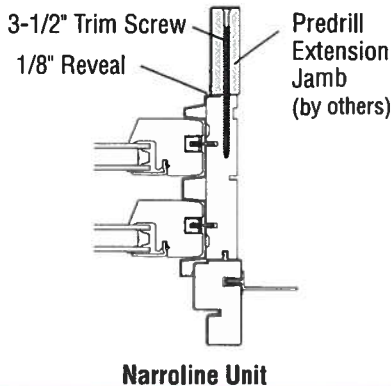
- Position *Extension Jamb* into rabbet on frame.
- Hold *Extension Jamb* firmly to avoid tipping. Drill a 5/32" hole in *Extension Jamb*, if not predrilled.
- Fasten *Extension Jamb* to unit, as shown, spacing fasteners evenly, 12" to 16" apart.
- Fasten *Extension Jamb* ends together as shown.

**Extension Jamb Application AFTER Installation  
Tilt-Wash or Narroline® Units**

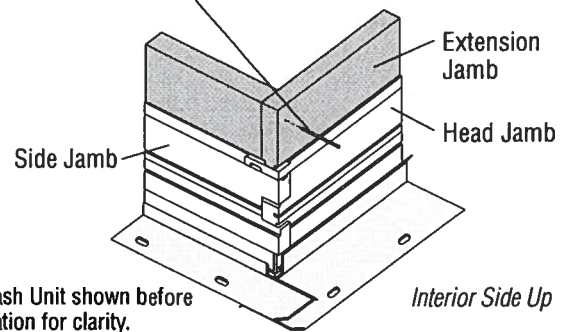
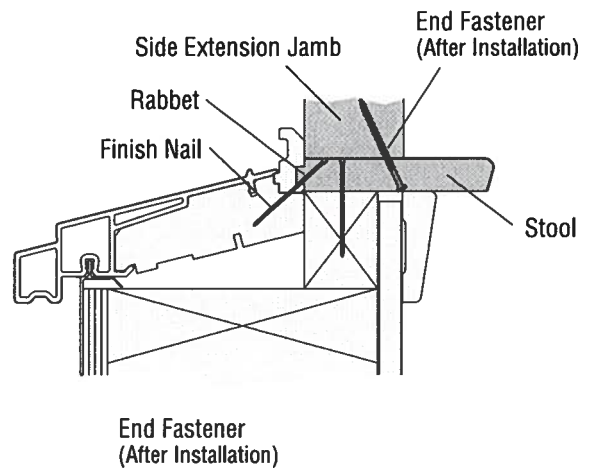
**NOTICE**

Ripping of Extension Jamb may be required to fit nonstandard wall depths.

- For **Tilt-Wash Units**, position *Extension Jamb* into rabbet on frame. For **Narroline® Units**, position *Extension Jamb* with desired reveal (about 1/8").
- Hold *Extension Jamb* firmly to avoid tipping. Drill a 5/32" hole in *Extension Jamb*, if not predrilled.
- Fasten *Extension Jamb* to unit as shown, spacing fasteners evenly, 12" to 16" apart. For **Narroline® Head**, **DO NOT** nail within 8" of either side jamb. Balancer damage will result.
- Fasten *Extension Jamb* ends together, as shown.



**Extension Jamb Application BEFORE Installation  
Tilt-Wash Units ONLY**



**Extension Jamb Application AFTER Installation  
Tilt-Wash or Narroline Units**

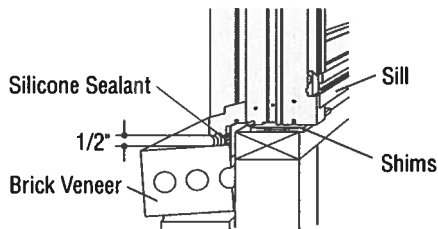
4. Install Unit

**⚠ WARNING**

Weight of window unit(s) will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install window unit(s) and accessories. Always use appropriate lifting techniques.

**CAUTION**

- **DO NOT** set window unit directly on sill plate. Elevate unit on shims at side jambs. Sill plate may bow and interfere with window operation.
- **DO NOT** set nails when using low density insulating sheathing to prevent bending and cracking of Installation Flanges.
- Unit must be properly shimmed. Failure to do so could result in product damage.
- Provide a minimum clearance of 1/2" from top of brick/masonry to the bottom of any portion of sill. Failure to do so could result in product damage.

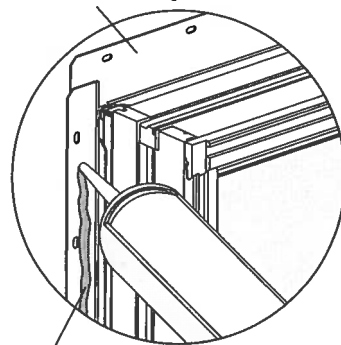


**NOTICE**

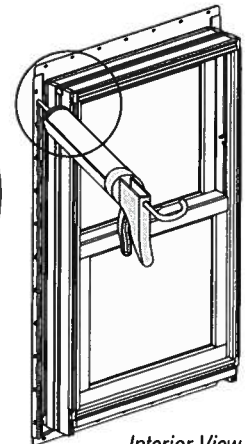
If using optional Jamb Clips by Andersen®, they must be installed before placing unit into rough opening, spaced 12" apart on center starting 6" from corners.

- For installations with ACQ Pressure rated Lumber, see caution on **Page 2**.
- Apply 1/4" silicone sealant bead, full perimeter, to back side of *Installation Flange* or around perimeter of rough opening 1/2" from edge, as shown.
- Lift unit into rough opening. From interior, shim only at corners of sill under *Side Jambs* to level and center unit. For **Joined Units**, a shim must be placed under joining post(s) at the sill.
- For **Wood Frame/Buck Construction**, from the exterior, nail upper corner of *Installation Flange* using 1-3/4" roofing nails. Recheck level.
- Measure diagonally across unit, upper left to lower right and upper right to lower left corners. If measurements are equal, unit is square. If unit is not square, adjust using shims. For **Wood Frame/Buck Construction**, fasten remaining corners.

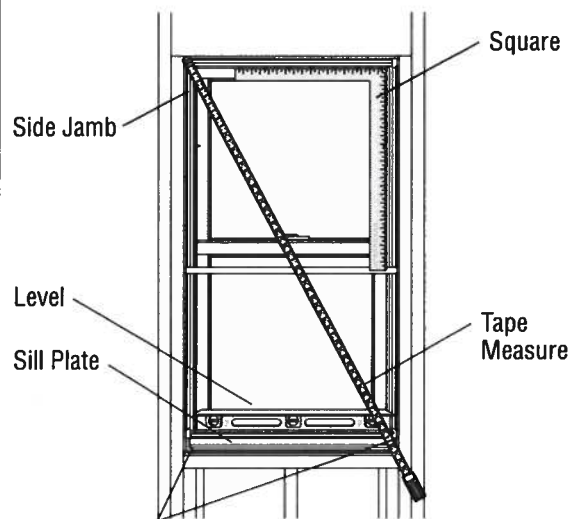
Installation Flange



1/4" Bead Silicone Sealant



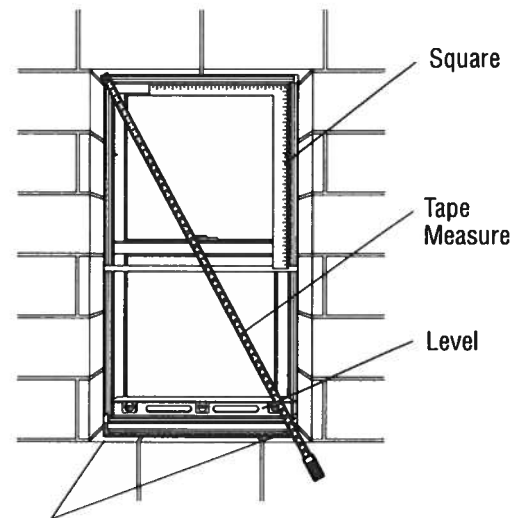
Interior View



Shims

Interior View

**Wood Frame/Buck Construction**



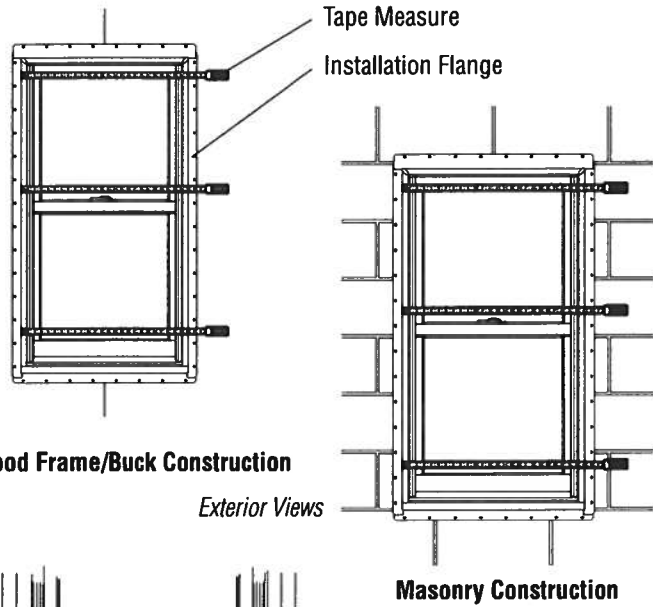
Shims

Interior View

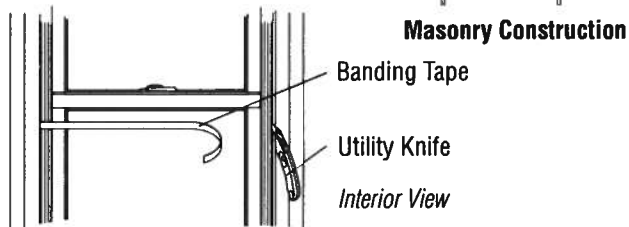
**Masonry Construction**

#### 4. Install Window Unit (Continued)

- Measure across head, center, and sill of unit. Center dimensions should match head and sill dimensions. Shim to straighten *Side Jamb*s if needed. Insert shims at midpoint behind the *Side Jamb*s between unit frame and rough opening.
- For **Wood Frame/Buck Construction**, fasten unit to wood frame rough opening through *Installation Flanges* using 1-3/4" roofing nails. Space nails every other hole.
- For **Masonry Construction**, fasten unit to masonry rough opening through *Jamb Clips* using masonry screws. Space screws 12" apart on center starting 6" from corners.
- Remove banding tape.



<b>NOTICE</b>	
<p>For <b>Joined Units</b>, Sill Gusset Plate tabs can be bent down and secured to sill plate for additional support.</p>	



#### 5. Apply Flashing Tape

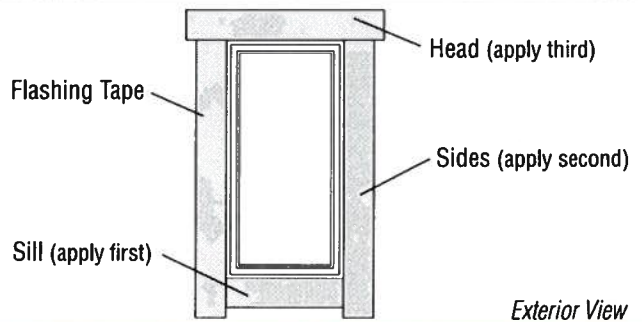
### CAUTION

Unit must be properly flashed and sealed for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.

### NOTICE

- This instruction step depicts one of many options for proper flashing.
- Moisture infiltration problems in any type of building can be reduced by properly flashing and/or sealing around all building openings, including windows and doors. Proper flashing under and around window and door openings can reduce moisture problems, but the performance of any building system depends upon the design and construction of the building system in its entirety, which should address local environment, climate, building codes and product and material limitations. The design and installation of flashing and sealing systems are the responsibility of the architect, contractor, installer, and/or the manufacturer of the building exterior specified for the project.

- Apply flashing tape over *Installation Flange* at sill.
- Apply flashing tape over *Installation Flange* at sides, overlapping flashing tape at sill.
- Apply flashing tape over *Installation Flange* at head, overlapping flashing tape at sides.



## 6. Insulate and Seal Unit

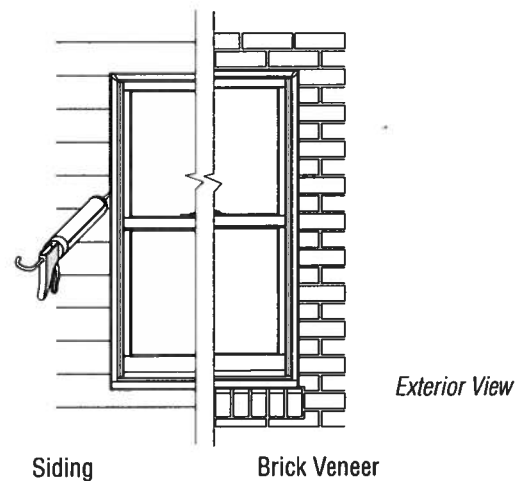
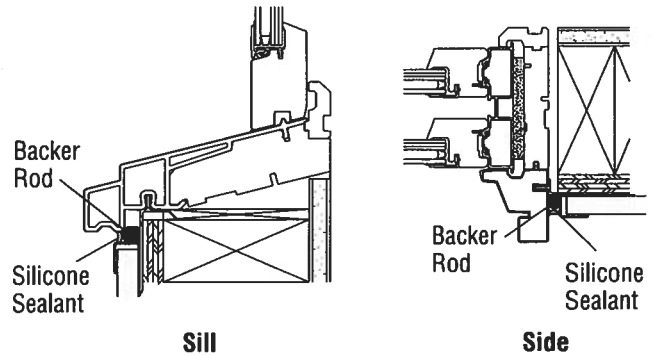
### CAUTION

When insulating between unit frame and rough opening or between units when joining, **DO NOT** overpack batt insulation or overfill with foam. Bowed jambs will result affecting product performance and/or proper operation of unit.

### NOTICE

A minimum space of 1/4" is required around exterior perimeter of unit between frame and siding. Masonry/Brick Veneer installations require a minimum 1/2" space along sill and 1/4" space around the remaining perimeter.

- Insulate between frame, extension jambs, and rough opening on all sides. **DO NOT** overpack or overfill with insulation, bowed jambs may result.
- Apply silicone sealant around exterior perimeter of window after siding (or other finish) is applied.



## 7. Attach Interior Casing (Supplied by Others)

- If optional *Sill Stop*, *Stool*, or *Sill Extension Jambs* are being used, refer to specific instruction guides available at your Andersen Dealer. Install before applying *Interior Casing*.

### CAUTION

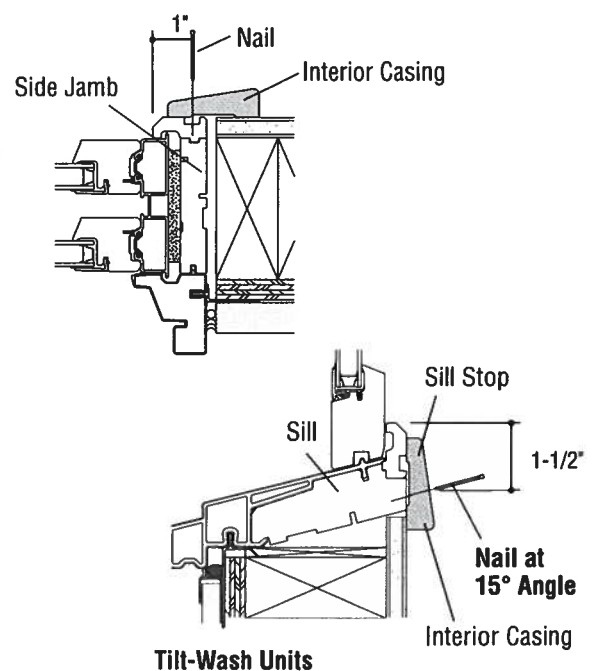
When applying Interior Casing, carefully read and follow below directions and illustrations specific to your **Double-Hung Unit**. Failure to do so may result in damage to Sill, Jamb Liners, and/or Balancers.

#### Tilt Wash Units

- Fasten *Interior Casing* to sill using 3d (1-1/4") finish nails. Fasten 1-1/2" below top of *Sill Stop*.
- Fasten *Interior Casing* to side jambs and head using 3d (1-1/4") finish nails. Fasten 1" in from outside of *Head* and *Side Stop*.
- Set all nails to approximately 1/16" deep below wood surface. Apply wood filler to nail holes.

#### Narroline Units

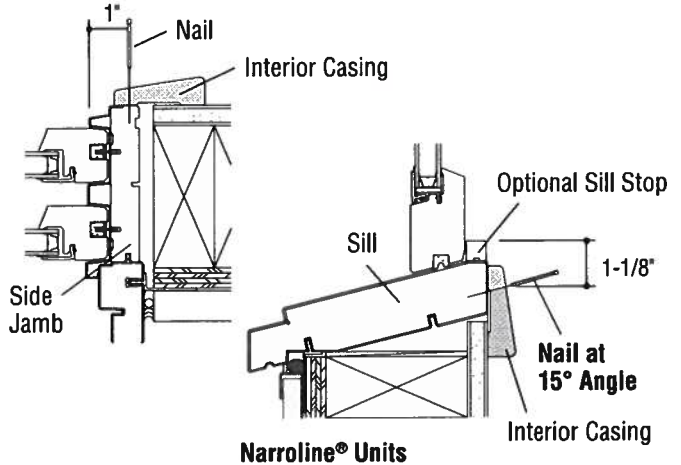
- For **Narroline Units**, go to **Page 8**.



**7. Attach Interior Casing (Supplied by Others)**

**Narroline® Units**

- Fasten *Interior Casing* to sill, 1-1/8" below top of *Sill Stop*, using 3d (1-1/4") finish nails.
- Fasten *Interior Casing* to side jambs and head, 1" from unit edge as shown, using 3d (1-1/4") finish nails. For **Narroline® Units** when fastening at head, **DO NOT** nail within 8" of either side jamb to avoid damaging balancer.
- Set all nails to approximately 1/16" deep below wood surface. Apply wood filler to nail holes.



**Finishing, Cleaning, and Maintenance Instructions**

**CAUTION**

- **DO NOT** expose unfinished wood to high moisture conditions, excessive heat or humidity. Finish interior wood surfaces immediately after installation. Unfinished wood surfaces will discolor, deteriorate, and/or may bow and split.
- **DO NOT** stain or paint weatherstrip, silicone beads, vinyl, glass, or hardware.
- Acid solutions used to wash masonry will damage glass, fasteners, hardware, and metal flashing. Follow the acid solution manufacturer's instructions carefully. Protect and/or cover Andersen products during the cleaning process to prevent acid contact. If acid does come in contact with unit, immediately wash all surfaces with clean water.

**INTERIOR FINISHING**

Read and follow finishing manufacturer's instructions and warnings on each container of finish material for priming, painting, staining, and varnishing.

**CLEANING**

Clean exterior frame, sash members, and insect screens using a mild detergent-and-water solution and a soft cloth or brush. **DO NOT** use abrasive cleaners or solutions containing corrosive solvents. For persistent dirt or grime, use a nonabrasive cleanser or a mixture of water and alcohol or ammonia.

**MAINTENANCE**

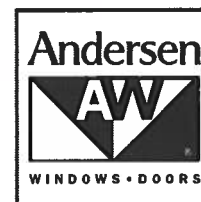
Immediately sand and refinish any interior wood that becomes stained or mildewed to prevent further discoloration and/or damage. For further information, contact your local Andersen dealer. Dealers can be found in the Yellow Pages under Windows.

**NOTICE**

Finish interior wood surfaces, including hidden surfaces (as shown by arrows) at check rails immediately after installation.

# Installation Guide

for Andersen® 200 Series Hinged Patio Door - Inswing 1/2" Low Profile Sill



**INSTALLER: Please leave this guide with the building owner to file for future reference.**

Congratulations! You have just purchased one of the many fine Andersen® products. Proper assembly, installation and maintenance are essential if the benefits of your Andersen product are to be fully attained. Therefore, please read and follow this instruction guide completely. If your abilities do not match this procedure's requirements, contact an experienced contractor. You may direct any questions about this or other products to your local Andersen dealer, found in the Yellow Pages under "Windows" or call Andersen WindowCare® service center at 1-888-888-7020 Monday through Friday, 7 a.m. to 7 p.m. Central Time and Saturday, 8 a.m. to 4 p.m. Central Time. Thank you for choosing Andersen.

## Important Safety, Assembly, and Installation Information

Every assembly and installation is different (windloads, structural support, etc.). Andersen strongly recommends consultation with an Andersen supplier or an experienced contractor, architect, or structural engineer prior to the assembly and installation of any Andersen product. For installation methods not covered in this guide, (i.e. through jamb) please visit the Architect Detail File on the web ([www.andersenwindows.com](http://www.andersenwindows.com)). Andersen has no responsibility in regard to the post-manufactured assembly and installation of Andersen products.

### ⚠ WARNING

Using ladders and/or scaffolding and working at elevated levels may be hazardous. Follow equipment manufacturer's instructions for safe operation. Use extreme caution when working around window and door openings. Falling from opening may result in personal injury or death.

### ⚠ WARNING

Improper use of hand/power tools could result in personal injury and/or product damage. Follow manufacturer's instructions for safe operation of equipment. Always wear safety glasses.

### ⚠ WARNING

Windows and doors can be heavy. Use safe lifting techniques and a reasonable number of people with enough strength to lift, carry and install window and door products to avoid injury and/or product damage.

### ⚠ WARNING

Unless specifically ordered, Andersen windows and doors are not equipped with safety glass, and if broken, could fragment causing injury. Many laws and building codes require safety glass in locations adjacent to or near doors. Andersen windows are available with safety glass that may reduce the likelihood of injury when broken. Information on safety glass is available from your local Andersen dealer.

### ⚠ CAUTION

- Andersen® Head Flashing and Installation Flanges **DO NOT** take the place of standard window and door flashing. Unit must be properly flashed and sealed with silicone for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.
- Do not apply any type of film to glass. Thermal stress conditions resulting in glass damage could occur.
- Use of movable insulating materials such as window coverings, shutters, and other shading devices may damage glass and/or vinyl. In addition, excessive condensation may result causing deterioration of windows and doors.

**⚠ WARNING**

Unsecured door may swing open or closed causing injury. Secure door when open.



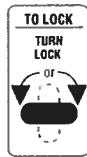
**⚠ WARNING**

Metal fasteners and other hardware components may corrode when exposed to preservative treated and fire-retardant treated lumber. Obtain and use the appropriate metal fasteners and hardware as called out by the installation guide to fasten unit to any rough opening made from pressure treated and fire-retardant treated lumber. Failure to use the appropriate materials for the installation may cause a failure resulting in injury, property or product damage.

**NOTICE**

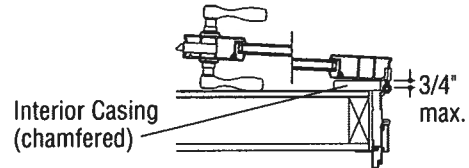
**Lock Operation**

- To lock, turn lock turn-piece to horizontal position.
- To unlock, turn lock turn-piece to vertical position. Open door by bringing handle downward.

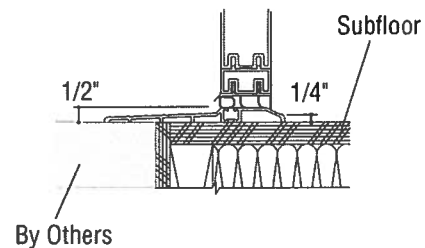


**NOTICE**

- For installations where full panel (180°) operation is desired, install unit flush to interior surface and apply interior casing no thicker than 3/4". If thicker Interior Casing is used, chamfer edge to prevent interference with panel, as shown.



- For installations where interior finishing material is higher than 1/4" above the subfloor, raise door by placing a wooden spacer under sill to gain sufficient clearance for door to open. Allowances **must** be made in height of rough opening.



**Parts Included**

- (1) Instruction Guide
- (1) Patio Door Unit
- (1) Screw Pack (Part No. Located on I.D. Card)
  - (1) 5/32" Hex Wrench
  - (1) Temporary Handle
  - (10) #10 x 3" Screws (Yellow Zinc Chromate)
  - (8) #10 x 3" Screws (Hinge Color)
  - (2) #10 x 3" Screws (Clear Chromate)
  - (11) Installation Hole Plugs

Not all fasteners may be used.



Single Panel

**Tools & Supplies**

- Safety Glasses
- Tape Measure
- 4' Level
- Flat Blade Screwdriver
- Phillips Screwdriver
- Small Pry Bar
- Caulk Gun
- Silicone Sealant
- Shims
- Backer Rod
- Masonry Screws (concrete/masonry installation)

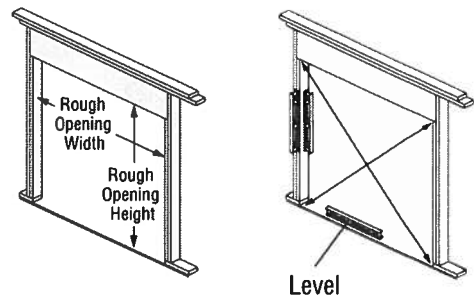
SINGLE	Unit Designation	33611	3376	3380
	Rough Opening Width	3'3"	3'3"	3'3"
	Rough Opening Height	6'11"	7'6"	8'0"

## 1. Prepare Rough Opening

### CAUTION

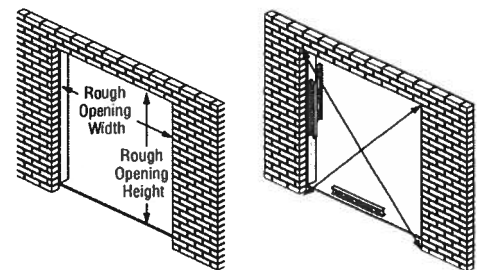
**DO NOT** install unit directly on masonry/concrete surface. Place full length barrier (i.e. treated wood, tar paper, ice/water membrane) between unit sill and masonry/concrete surface. Failure to use barrier and to seal it to unit sill and masonry/concrete surface may result in product and/or property damage. Entire barrier must be sealed to masonry/concrete surface to help prevent water infiltration. Barrier thickness must not exceed 1/4".

- Prepare rough opening based on unit size according to table on **Page 2**.
- Check sill plate for level. Sill **must** be level. Shim if necessary.
- Check rough opening for plumb and level. If rough opening is **not** plumb or level, correct as needed.
- Check opening for square by measuring diagonally, upper left to lower right and upper right to lower left corner. If measurements are within 1/8", opening is square. If rough opening is **not** square, correct as needed.



Standard Construction

*Exterior Views*



Masonry/Concrete Construction

## 2. Prepare Unit

### ⚠ WARNING

Weight of Patio Doors will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install door unit(s) and accessories. Always use appropriate lifting techniques. Failure to do so may result in injury or product damage.

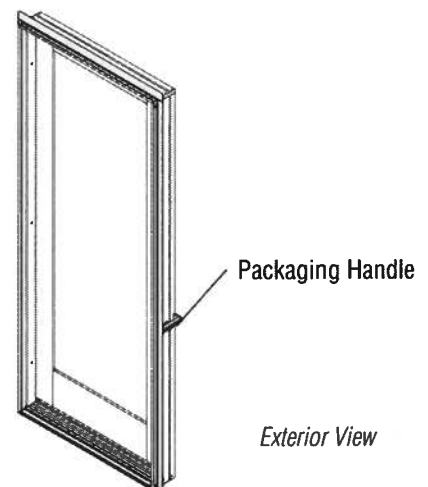
### ⚠ WARNING

Door panels must be in locked position before beginning. Failure to do so may result in panels inadvertently opening causing injury, property, and/or product damage.

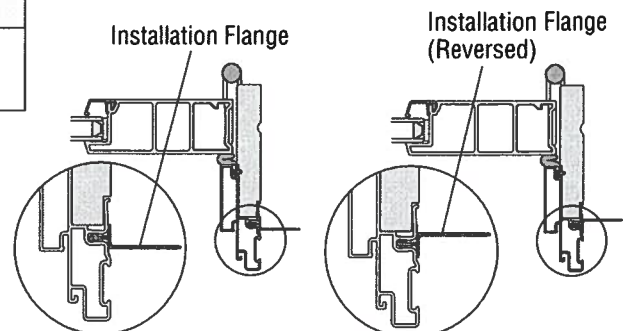
### NOTICE

Packaging handle is not intended for reuse.

- Remove unit from carton. Remove corner packing blocks.
- Remove packaging handle.
- Installation Flange can be reversed to accommodate 4-1/8" wall construction.
- Installation Flange may need to be removed for some masonry/concrete wall construction.



*Exterior View*



4-9/16" Wall Construction

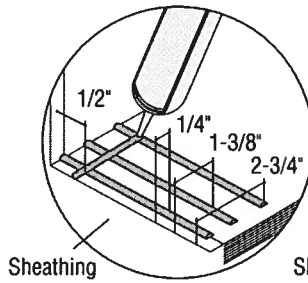
4-1/8" Wall Construction

### 3. Seal Rough Opening

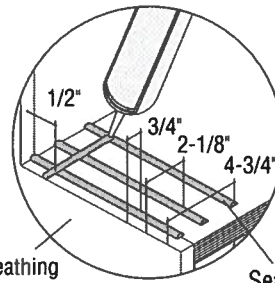
#### CAUTION

Clean and prepare surfaces receiving Sealant following product manufacturer's instructions. Failure to do so may cause water infiltration.

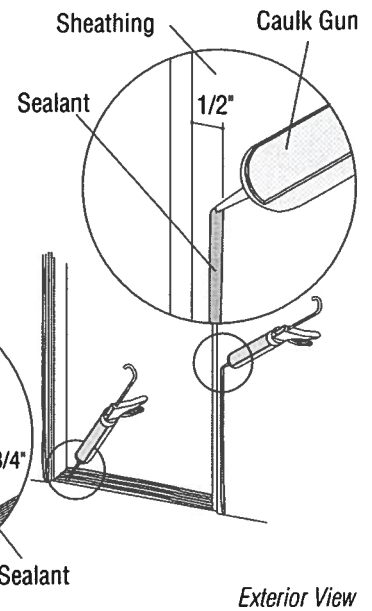
- Apply three, 3/8" beads of sealant to bottom of rough opening full length, as shown.
- Apply a 3/8" bead of sealant to bottom of rough opening 1/2" from side and perpendicular to the three beads of sealant, as shown. Repeat for opposite side.
- Apply 1/4" bead of sealant around full perimeter of rough opening 1/2" from edge.



4-9/16" Wall Construction



6-9/16" Wall Construction



Exterior View

### 4. Install Unit

#### ⚠ WARNING

Windows and doors can be heavy. Use safe lifting techniques and a reasonable number of people with enough strength to lift, carry and install window and door products to avoid injury and/or product damage.

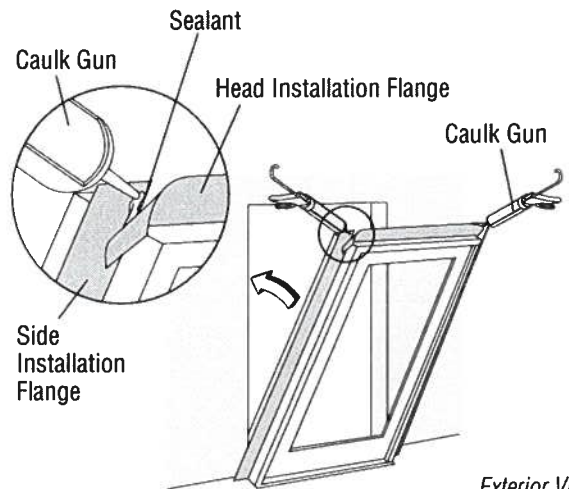
#### ⚠ WARNING

Support unit in rough opening at all times until secured. Failure to support unit could result in unit falling out causing injury, property, and/or product damage.

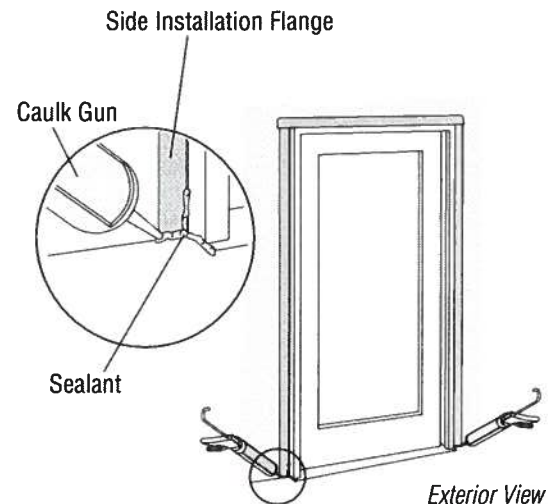
#### ⚠ WARNING

Installation Flanges are for sealing only. **DO NOT** use for securing unit to rough opening. Installation Flanges must be flush with exterior of opening. Failure to secure unit through jambs could result in door falling out causing injury, property and/or product damage.

- Apply 1/4" bead of sealant between head and side Installation flanges at corners where flanges intersect at head jamb.
- From the exterior, lift and center unit in rough opening, setting sill of unit onto silicone sealant. **DO NOT** open panel until **Step 8**.
- Press unit firmly into sealant around perimeter of rough opening. Installation flanges must be flush with exterior of opening.
- Apply 1/4" bead of sealant at bottom of side installation flange.



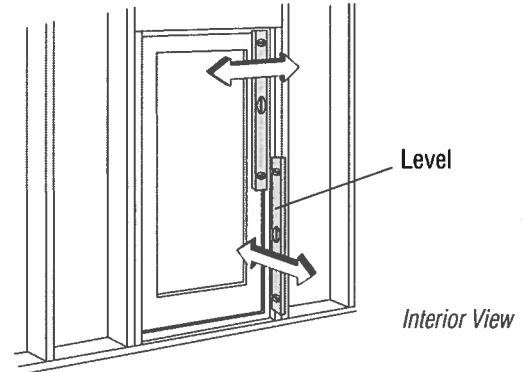
Exterior View



Exterior View

### 5. Plumb and Level Unit

- Adjust door in opening from the interior using shims. Entire unit must be plumb, level, and square.
- Check unit for square by measuring diagonally, upper left to lower right and upper right to lower left corners. Measurements must be within 1/8". Correct as necessary.

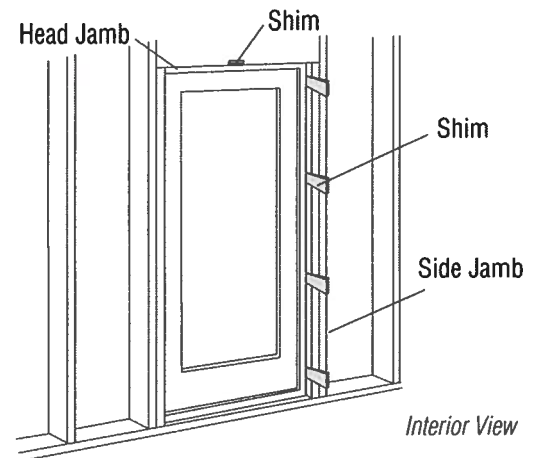


### 6. Shim Unit

#### CAUTION

Shims **must** be used between jambs and framing to prevent bowing when frame is secured. Bowed jambs will affect product performance and/or cause improper unit operation.

- Insert shims between rough opening and door unit, directly above and below hinges and near each installation hole in jambs, from the interior. Shims prevent jambs from bowing when unit is secured to rough opening.

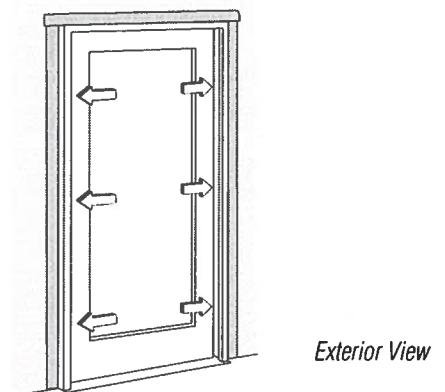
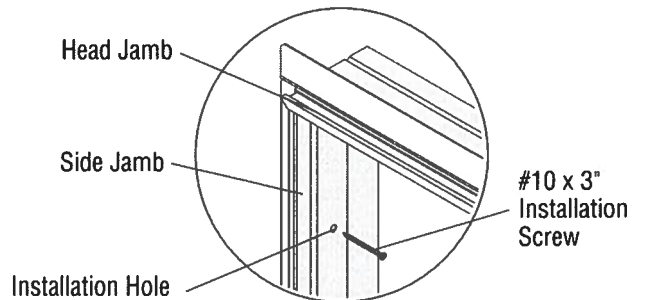


### 7. Fasten Unit

#### WARNING

Metal fasteners and other hardware components may corrode when exposed to preservative treated and fire-retardant treated lumber. Obtain and use the appropriate metal fasteners and hardware as called out by the installation guide to fasten unit to any rough opening made from pressure treated and fire-retardant treated lumber. Failure to use the appropriate materials for the installation may cause a failure resulting in injury, property or product damage.

- From the exterior, fasten unit through installation holes in *Side Jambs* into rough opening using Yellow Zinc Chromate #10 x 3" Screws. Take care **not** to scratch door.



6' 7-1/2" and 6' 10-3/8" Height (6 screws)  
 7' 5-1/2" and 7' 11-1/2" Height (8 screws)

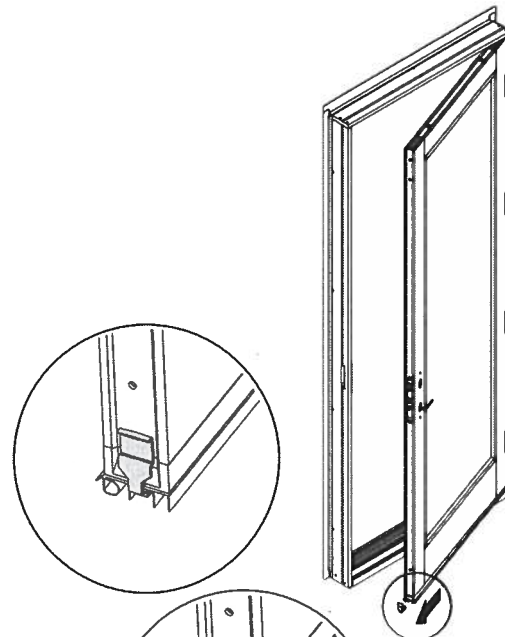
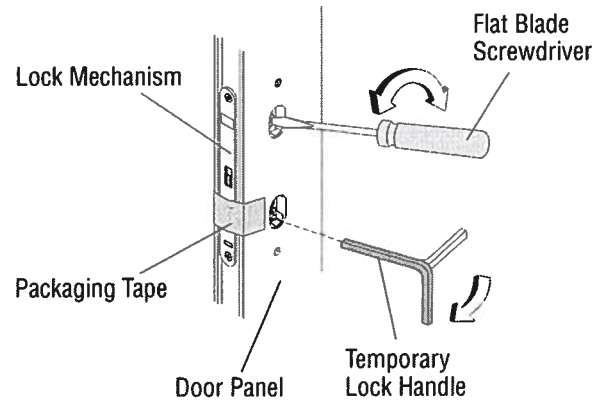
## 8. Secure Hardware

- Insert a flat blade screwdriver into upper lock hole on door panel and turn to unlock dead bolt.
- Insert *Temporary Lock Handle* into lower lock hole and turn downward.
- Remove packaging tape from *Lock Mechanism*.
- Remove orange packaging spacer from bottom of panel and dispose of properly.

### ⚠ WARNING

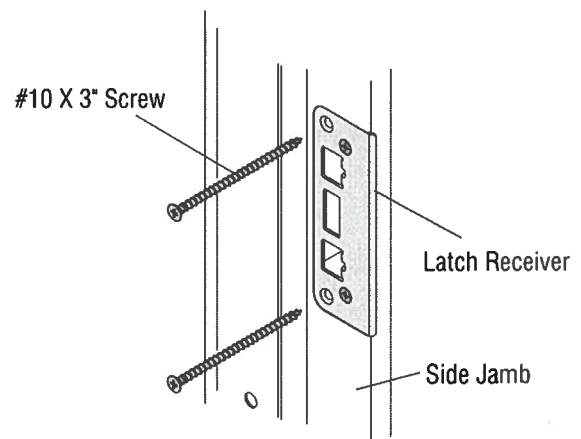
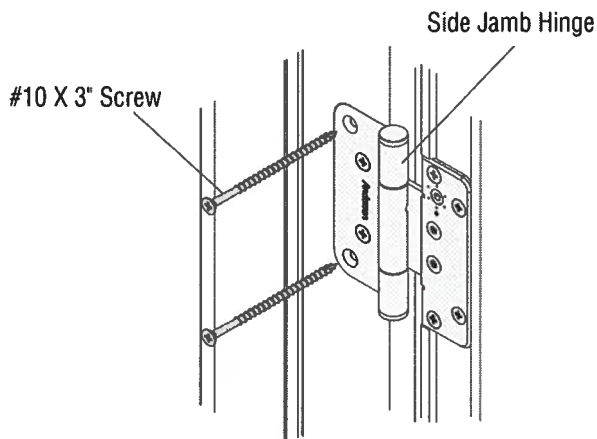
Metal fasteners and other hardware components may corrode when exposed to preservative treated and fire-retardant treated lumber. Obtain and use the appropriate metal fasteners and hardware as called out by the installation guide to fasten unit to any rough opening made from pressure treated and fire-retardant treated lumber. Failure to use the appropriate materials for the installation may cause a failure resulting in injury, property or product damage.

- Fasten *Side Jamb* through top and bottom holes of all *Hinges* using color matched #10 x 3" Screws (2 screws per hinge).
- Fasten through *Latch Receiver* using two Clear Chromate #10 x 3" Screws.



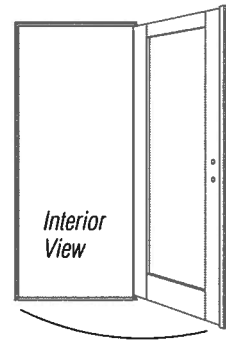
Orange Packaging Spacer

Interior Views



## 9. Check Clearance and Operation

- Determine if clearance and operation are correct. *Door Panel* should remain motionless through entire operation range. If clearance and/or operation are **not** correct: First, recheck rough opening for plumb, level and square. If rough opening is **not** plumb or level, correct as necessary. Second, recheck sill plate for level. Third, recheck unit for plumb, level and square. Fourth, refer to hinge and hardware adjustment instruction guide for this product.



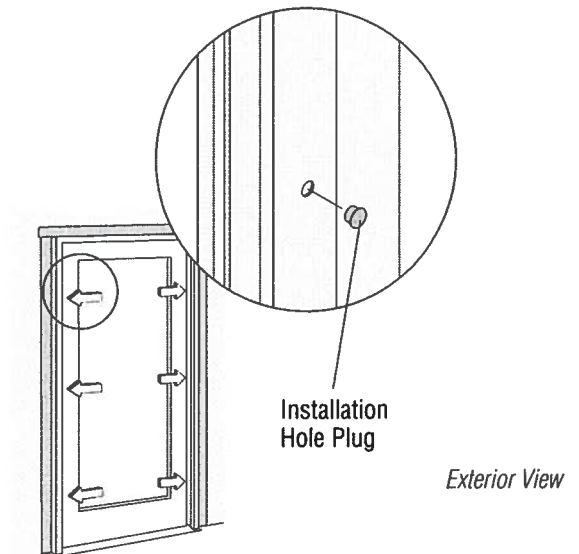
Door should remain motionless when positioned at any point in the entire operation range.

## 10. Secure Unit and Apply Installation Hole Plugs

### ⚠ WARNING

Installation Hole Plugs are small parts and, if swallowed, could pose a choking hazard to young children. Remove and dispose of any loose or easily removed installation hole plugs.

- Position *Installation Hole Plugs* to all installation holes and snap into place by tapping lightly.



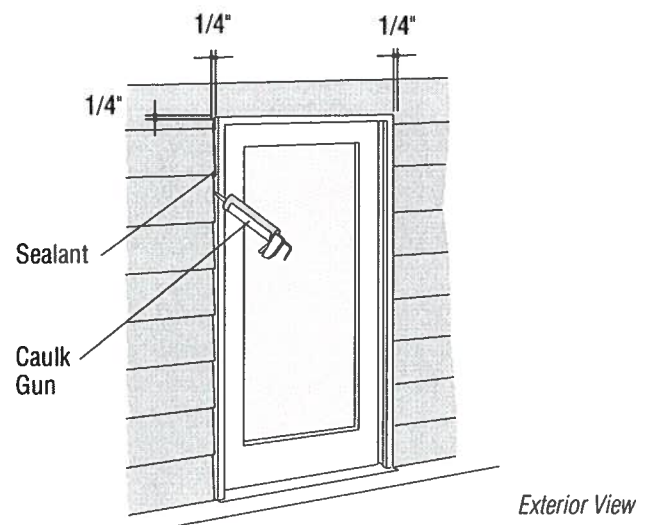
Exterior View

## 11. Apply Exterior Finish and Seal

### NOTICE

For installations not using *Installation Flanges*, backer rod (not supplied) must be inserted around perimeter of door between frame and exterior finish.

- Apply exterior finish over *Installation Flanges* leaving 1/4" between door frame and exterior finish.
- Apply backer rod and a continuous bead of sealant around exterior perimeter of door between frame and exterior finish.



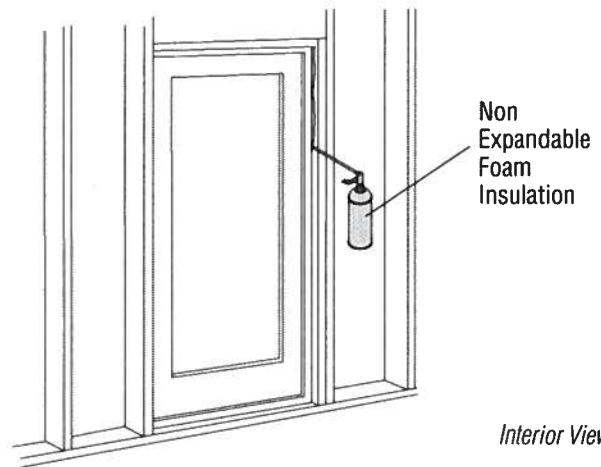
Exterior View

## 12. Insulate Around Unit

### CAUTION

When insulating between the unit frame and rough opening, **DO NOT** over pack batt insulation or overfill with expandable foam. Bowed jambs may result causing product performance problems and/or incorrect operation of unit.

- Insert batt insulation or non expandable foam insulation between door frame and rough opening from the interior.



Interior View

## Finishing and Cleaning Instructions

### CAUTION

- **DO NOT** paint weatherstrip, glass, or hardware.
- Acid solutions used to wash masonry/ concrete will damage glass, fasteners, hardware, and metal flashing. Follow the acid solution manufacturer's instructions carefully. Protect and/or cover Andersen products during the cleaning process to prevent acid contact. If acid does come in contact with unit, immediately wash all surfaces with clean water.

### EXTERIOR AND INTERIOR FINISHING

**Read and follow finishing manufacturer's instructions and warnings on each container of finish material for priming and painting.**

### CLEANING

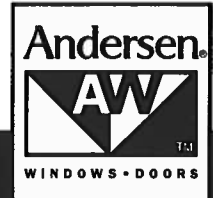
Clean exterior frame and panel, using a mild detergent-and-water solution and a soft cloth or brush. **DO NOT** use abrasive cleaners or solutions containing corrosive solvents. For persistent dirt or grime, use a nonabrasive cleanser or a mixture of water and alcohol or ammonia.

For more finishing, cleaning and maintenance information visit [www.andersenwindows.com](http://www.andersenwindows.com)

# Installation Guide

for Andersen® Frenchwood® Outswing Patio Door or

Andersen® Frenchwood® Outswing Patio Door with Stormwatch™ Protection  
(High-Performance™ Impact Resistant Glass)



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Congratulations! You have just purchased one of the many fine Andersen® products. Proper assembly, installation and maintenance are essential if the benefits of your Andersen product are to be fully attained. Therefore, please read and follow this instruction guide completely. If your abilities do not match this procedure's requirements, contact an experienced contractor. You may direct any questions about this or other products to your local Andersen dealer, found in the Yellow Pages under "Windows" or call Andersen WindowCare® service center at 1-888-888-7020 Monday through Friday, 7 a.m. to 7 p.m. Central Time and Saturday, 8 a.m. to 4 p.m. Central Time. Thank you for choosing Andersen.

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Every assembly and installation is different (windloads, structural support, etc.). Andersen strongly recommends consultation with an Andersen supplier or an experienced contractor, architect, or structural engineer prior to the assembly and installation of any Andersen product. For installation methods not covered in this guide, (i.e. through jamb) please visit the Architect Detail File on the web ([www.andersenwindows.com](http://www.andersenwindows.com)). Andersen has no responsibility in regard to the post-manufactured assembly and installation of Andersen products.

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### ⚠ WARNING

Improper use of hand/power tools could result in personal injury and/or product damage. Follow manufacturer's instructions for safe operation of equipment. Always wear safety glasses.

### ⚠ WARNING

Weight of window/door unit(s) and accessories will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install window and door unit(s) and accessories. Always use appropriate lifting techniques.

### ⚠ WARNING

Unless specifically ordered, Andersen windows and doors are not equipped with safety glass, and if broken, could fragment causing injury. Many laws and building codes require safety glass in locations adjacent to or near doors. Andersen windows are available with safety glass that may reduce the likelihood of injury when broken. Information on safety glass is available from your local Andersen dealer.

### ⚠ CAUTION

- Andersen® Head Flashing and Installation Flanges **DO NOT** take the place of standard window and door flashing. Unit must be properly flashed and sealed with silicone for protection against water and air infiltration. Use non-reflective flashings. Highly reflective flashing tapes can raise the surface temperature of the vinyl to the point where vinyl deformation and product damage may occur.
- Do not apply any type of film to glass. Thermal stress conditions resulting in glass damage could occur.
- Use of movable insulating materials such as window coverings, shutters, and other shading devices may damage glass and/or vinyl. In addition, excessive condensation may result causing deterioration of windows and doors.

**⚠ WARNING**

**DO NOT** carry door unit horizontally, exterior down. Door panels may swing open causing product damage and/or severe personal injury.

**⚠ WARNING**

Unsecured door may swing open or closed causing injury. Secure door when open.



**⚠ CAUTION**

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel screws, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

**NOTICE**

If your Andersen® Frenchwood® Outswing Patio Door will be equipped with Exterior Sill Extension these accessories must be applied to door unit before installation.

**NOTICE**

**Optional Panel Removal**

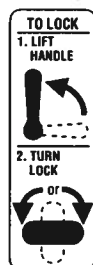
Panels may be removed for easier installation. Refer to *Panel Removal and Reinstallation Guide #0005225*, included in installation packet.

**Panel Operation**

Active Panel will open first. Passive Panel will operate only after Active Panel has been opened.

**Lock Operation**

- To lock, lift handle to engage upper and lower hook bolts. Turn lock turnpiece to horizontal position.
- To unlock, turn lock turnpiece to vertical position. Open door by turning handle downward.



**Parts Included**

- (1) Instruction Guide
- (1) Door Unit
- (3) Installation Flange
- (1) Temporary Locking Handle
- (1) Screw Pack

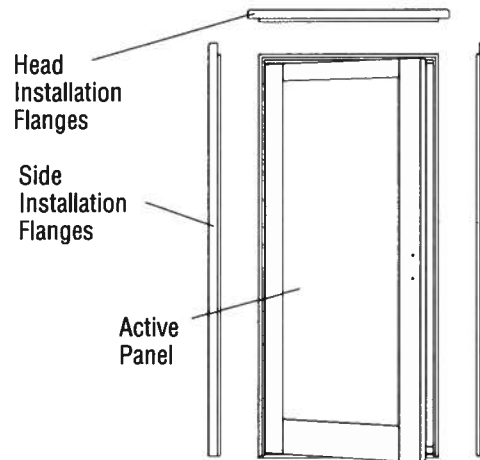
**Optional Accessories**

- Sill Support
- #10 x 2-1/2" Screw

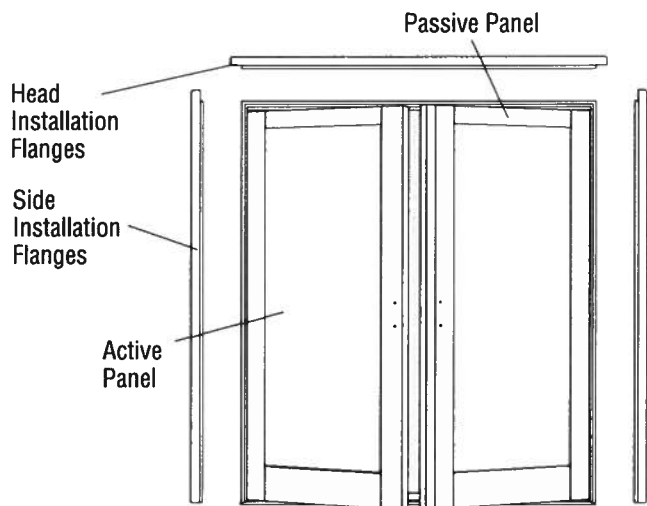
**Tools & Supplies**

- Safety Glasses
- Phillips Screwdriver
- Flat Blade Screwdriver
- Hammer
- Tape Measure
- Hand Level
- Small Pry Bar
- Silicone Sealant
- Finish Nails
- Caulk Gun
- Clamp
- Shims

**Component Identification**



**Single Panel**



**Double Panel**

*Exterior Views*

## 1. Prepare Rough Opening

- Frame rough opening to dimensions from table below according to unit size.

### SINGLE PANEL UNITS

Unit No.	2168	2768	2968	3168	21611	27611	29611	31611	2180	2780	2980	3180
Rough Opening Width	2'1"	2'7"	2'9"	3'1"	2'1"	2'7"	2'9"	3'1"	2'1"	2'7"	2'9"	3'1"
Height	6'8"	6'8"	6'8"	6'8"	6'11"	6'11"	6'11"	6'11"	8'0"	8'0"	8'0"	8'0"
Approximate Weight (lbs.)												
Standard Units	100	105	115	125	110	115	125	135	125	135	150	160
Impact Resistant Units	115	126	138	152	126	137	149	163	144	161	179	194

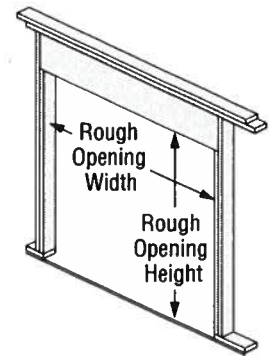
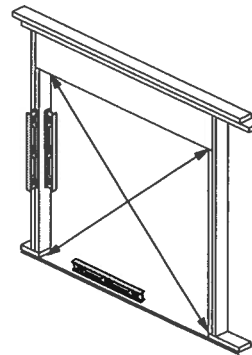
### DOUBLE PANEL UNITS

Unit No.	4168	5068	5468	6068	41611	50611	54611	60611	4180	5080	5480	6080
Rough Opening Width	4'1"	5'0"	5'4"	6'0"	4'1"	5'0"	5'4"	6'0"	4'1"	5'0"	5'4"	6'0"
Height	6'8"	6'8"	6'8"	6'8"	6'11"	6'11"	6'11"	6'11"	8'0"	8'0"	8'0"	8'0"
Approximate Weight (lbs.)												
Standard Units	150	185	197	215	165	195	205	225	185	230	248	275
Impact Resistant Units	180	227	243	305	197	239	253	281	223	282	306	343

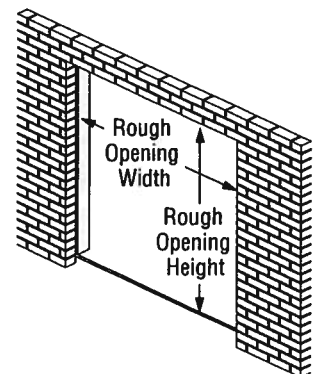
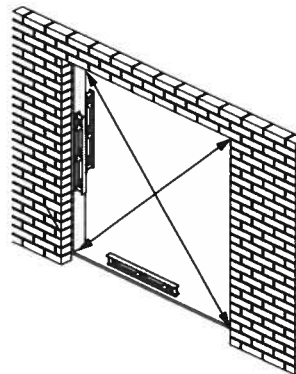
### CAUTION

**DO NOT** install unit directly on masonry/concrete surface. Place a full length barrier (i.e. treated wood, tar paper, ice/water membrane) between unit sill and masonry/concrete surface. Failure to use barrier and sealing it to masonry/concrete surface and unit sill may result in product and/or property damage. Entire barrier must be sealed to masonry/concrete surface to help prevent water infiltration. Barrier thickness must not exceed 1/4".

- Check sill plate for level. Sill must be level. Shim sill plate if necessary.
- Check rough opening for plumb and level. If rough opening is not plumb or level, correct as necessary.
- Check opening for square by measuring diagonally, upper left to lower right and upper right to lower left corner. If measurements are the same, opening is square. If rough opening is not square, correct as necessary.



Standard Construction



Masonry/Concrete Construction

## 2. Prepare Unit

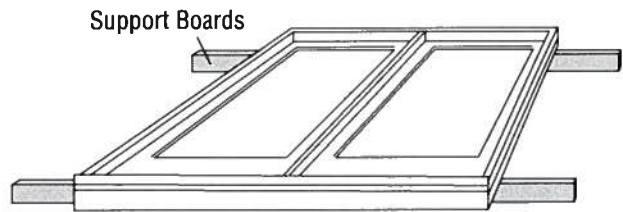
### ⚠ WARNING

Door Panels must be in locked position before beginning. Failure to do so may result in Door Panels inadvertently opening causing personal injury and/or product damage.

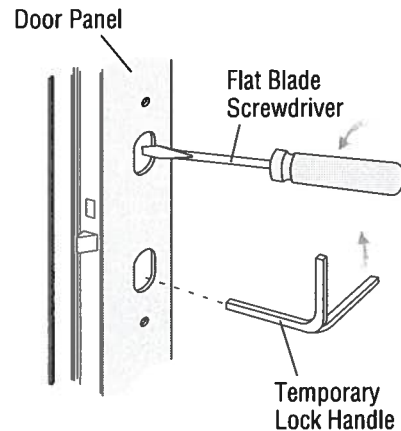
### ⚠ WARNING

Weight of Patio Doors will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install door unit(s) and accessories. Always use appropriate lifting techniques.

- Carefully remove unit from carton.
- Insert the *Temporary Lock Handle* into lock on *Door Panel* and lift upwards. Use a flat blade screwdriver to lock dead bolt. Doors **must** be in locked position before beginning.
- Place unit interior side up on support boards over a clean flat work surface to protect hinges.
- Remove packaging blocks.



Interior Side Up



## 3. Apply Installation Flanges

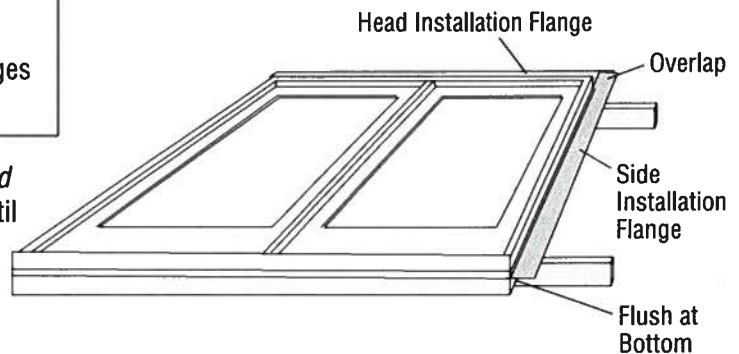
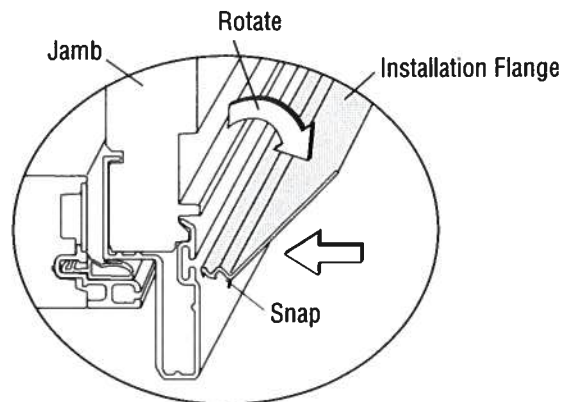
### ⚠ CAUTION

- Side Installation Flanges must overlap Head Installation Flanges to the interior to help prevent water infiltration.
- Install Installation Flanges by hand only. Use of hammer or other tools may damage unit or flanges.

### NOTICE

**DO NOT** apply Installation Flanges to unit if installing unit into masonry/concrete walls or remodeling/replacement applications where flanges cannot be used.

- Position *Head Installation Flange* on center of *Head Jamb*, snap into groove and rotate flange down until perpendicular to jamb.
- Repeat for *Side Installation Flanges* positioning flush with bottom of door unit. *Side Installation Flanges* must overlap *Head Installation Flange* when viewed from the interior.



Interior Side Up

#### 4. Install Sill Support or Wood Blocking

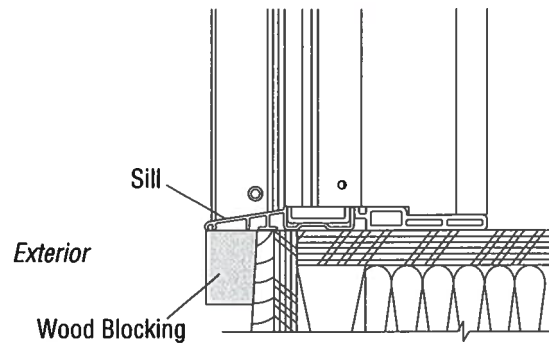
**CAUTION**

Sill must be supported its entire length and width or Sill deformation may occur.

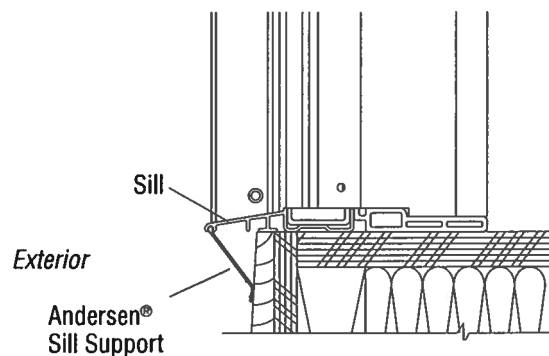
- Install wood blocking or *Andersen® Sill Support* under *Sill* on the exterior to support the door, if necessary. *Sill* must be supported its entire length and width.

**CAUTION**

**DO NOT** install unit directly on masonry/concrete surface. Place a full length barrier (i.e. treated wood, tar paper, ice/water membrane) between unit sill and masonry/concrete surface. Failure to use barrier and sealing it to masonry/concrete surface and unit sill may result in product and/or property damage. Entire barrier must be sealed to masonry/concrete surface to help prevent water infiltration. Barrier thickness must not exceed 1/4".



**Wood Blocking**



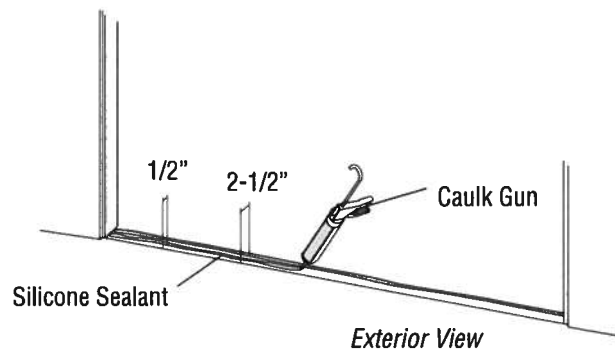
**Andersen® Sill Support**

#### 5. Seal Frame and Rough Opening

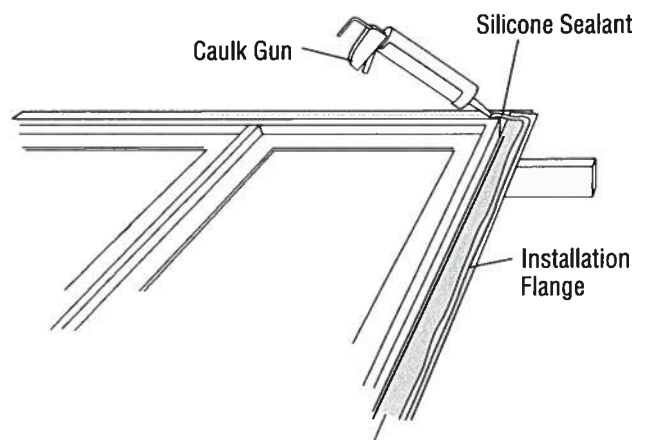
**CAUTION**

- Clean and prepare surfaces receiving Silicone Sealant following manufacturer's instructions. Failure to do so may result in water infiltration.
- Complete installation of all fasteners before Silicone Sealant cures. If silicone sealant sets before Sill Receiver is secure (**Step 12**), sill bow and improper unit operation may result.

- Apply two 3/8" beads of *Silicone Sealant* to bottom of rough opening, 1/2" and 2-1/2" from exterior edge.
- Apply a 1/4" bead of *Silicone Sealant* to interior surface of *Head* and *Side Installation Flanges* and at corners where flanges intersect at *Head Jamb*.



**Exterior View**



**Interior Side Up**

## 6. Lift Door into Rough Opening

### ⚠ WARNING

Weight of Patio Doors will vary. Use a reasonable number of people with sufficient strength to lift, carry, and install door unit(s) and accessories. Always use appropriate lifting techniques.

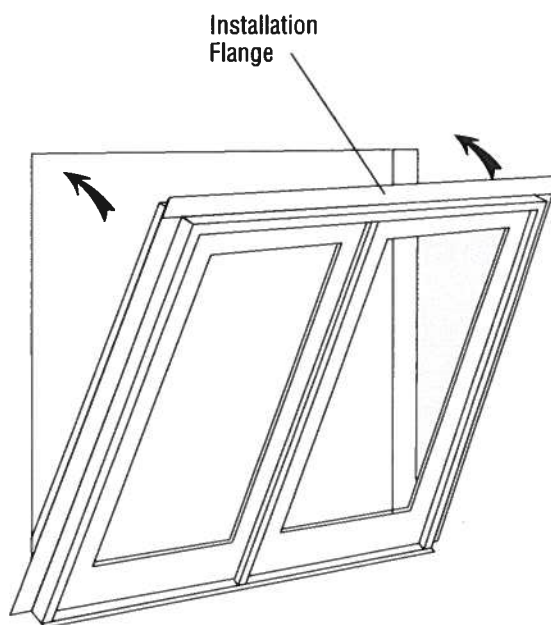
### ⚠ WARNING

Support unit in rough opening at all times until secured. Failure to support unit could result in unit falling out causing product damage and/or personal injury.

### ⚠ CAUTION

- **DO NOT** use Installation Flanges for fastening unit. Installation Flanges are for sealing only, Installation Flanges must be flush with exterior of rough opening.
- Lift unit into rough opening to avoid displacing silicone. **DO NOT** slide.

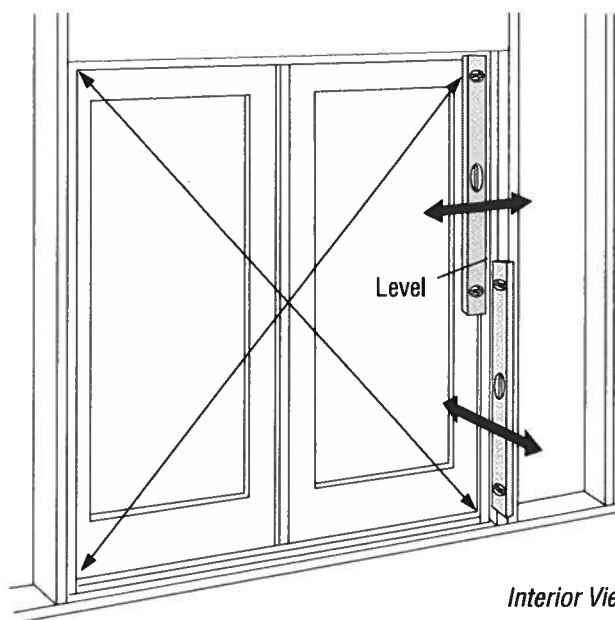
- Lift door unit into rough opening from the exterior, setting *Sill* of unit onto *Silicone Sealant*. **DO NOT** slide into rough opening.
- Center unit and press firmly into *Silicone Sealant*. *Installation Flanges* must be positioned flush with exterior of rough opening.



Exterior View

## 7. Plumb Unit

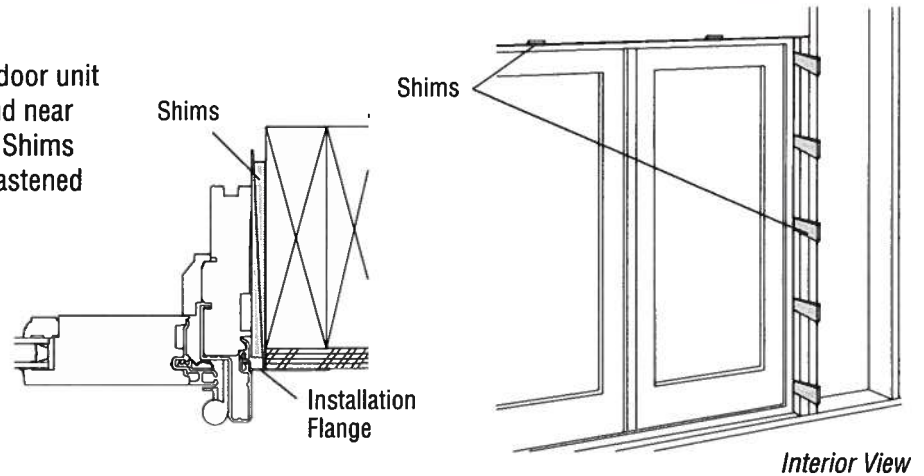
- Adjust door in opening from the interior, entire unit **must** be plumb, level, and square.
- Check unit for plumb and level. If unit is **not** plumb or level, correct as necessary.
- Check unit for square by measuring diagonally, upper left to lower right and upper right to lower left corner. If measurements are the same, opening is square. If unit is **not** square, correct as necessary.



Interior View

## 8. Shim Unit

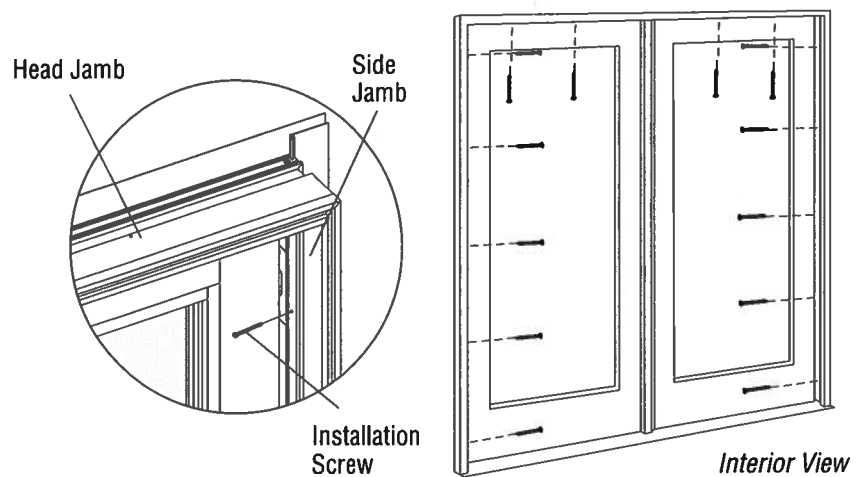
- Shim between rough opening and door unit directly above and below hinges and near each fastener hole at head of unit. Shims help prevent bowing when unit is fastened to rough opening.



## 9. Secure Unit

### CAUTION

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel screws, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.



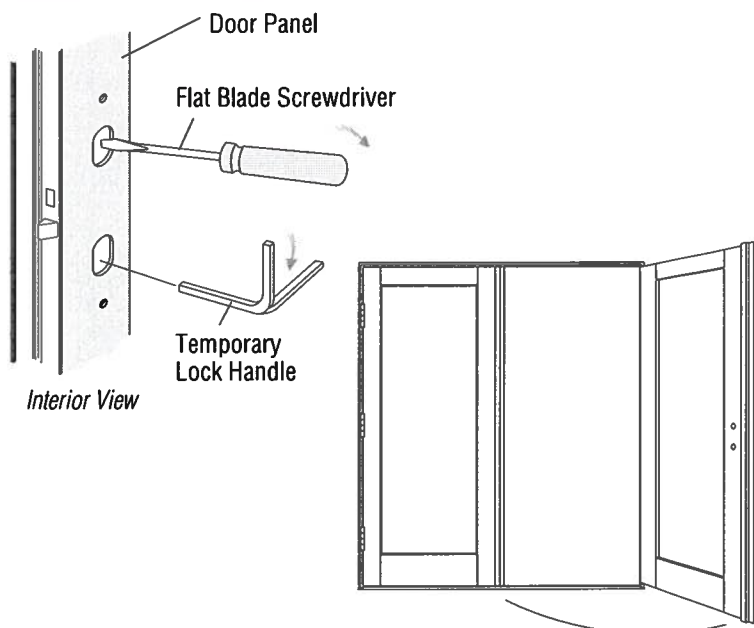
- Fasten **#10 x 3" Installation Screws** through all predrilled holes in *Side Jamb* and *Head Jamb* from the interior. Check unit for plumb and level while fastening screws.
- Reinstall *Door Panels* if panels were removed for installation. Refer to *Panel Removal Instruction Guide #0005225*, included in installation packet for panel reinstallation.

### 10. Check Door Clearance and Swing

- Unlock doors using a flat blade screwdriver to turn dead bolt clockwise, then insert *Temporary Lock Handle* into lock on *Door Panel* and turn downwards.
- Check if clearance and/or swing are correct. Door should remain motionless when positioned at any point in the entire swing range.

If clearance and/or swing are not correct:

- First, check and adjust unit plumb and square. Second, check and adjust sill for level. Third, refer to *Patio Door Hinge and Hardware Adjustment Installation Guide #0005105*.
- For **Single Panel** units proceed to **Step 11**.  
For **Double Panel** units proceed to **Step 12**.



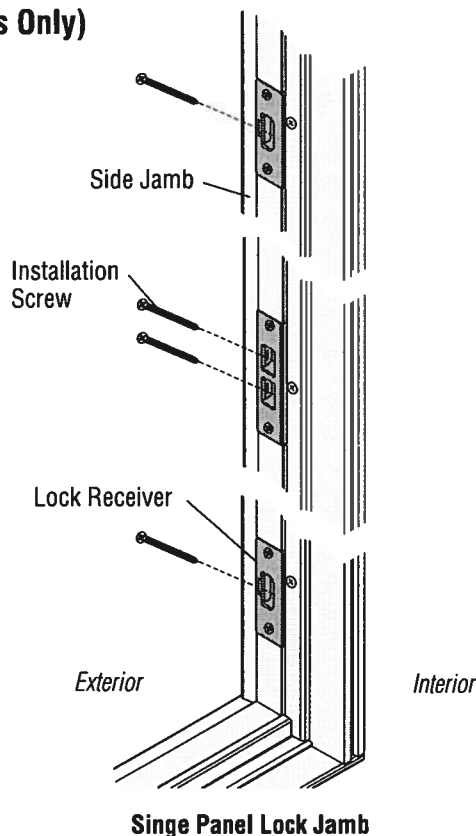
Door should remain motionless when positioned at any point in the entire swing range. Exterior View

### 11. Secure Through Lock Receivers (Single Panel Units Only)

#### CAUTION

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel screws, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

- For **Single Panel** units fasten through *Lock Receivers* on *Side Jamb* using *#10 x 3" Installation Screws*. Proceed to **Step 13**.



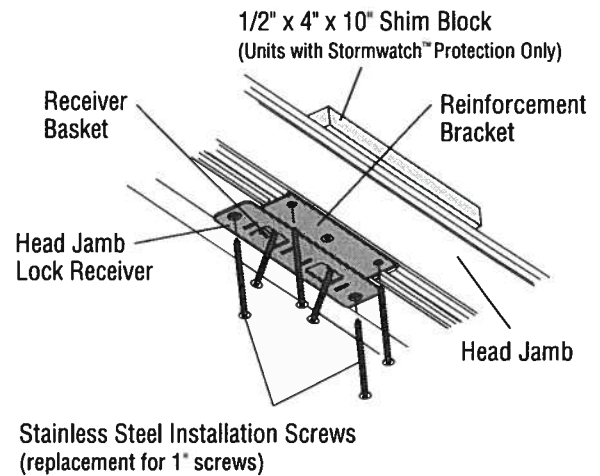
## 12. Secure Through Hardware (Double Panel Units Only)

### ⚠ CAUTION

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel screws, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

### ⚠ CAUTION

- **DO NOT** bow Head Jamb when blocking and shimming. Interference with Door Panels will result affecting product performance and/or proper operation of unit.
- **DO NOT** fasten #10 x 3" Installation Screw through receiver basket on Head Jamb Lock Receivers until all other receiver screws are fastened. Doing so may cause rocking of Head receiver plate and may affect product performance and/or operation of unit.



**Double Panel Head Jamb\***

*Interior View*

- For **Double Panel Units with Stormwatch™ Protection**, place a 1/2" x 4" x 10" shim block directly above *Head Jamb Lock Receiver*, between header and *Head Jamb*.
- Remove screws and cardboard spacer from *Head Jamb Lock Receiver*. Refasten *Lock Receiver* using two #10 x 3" *Installation Screws*.
- Fasten #10 x 3" *Installation Screws* through *Reinforcement Bracket* and each receiver basket at a 15° angle toward the interior. Outer screws **must** be secured first. (For **Double Panel Units with Stormwatch™ Protection**, all screws **must** pass through shim block)

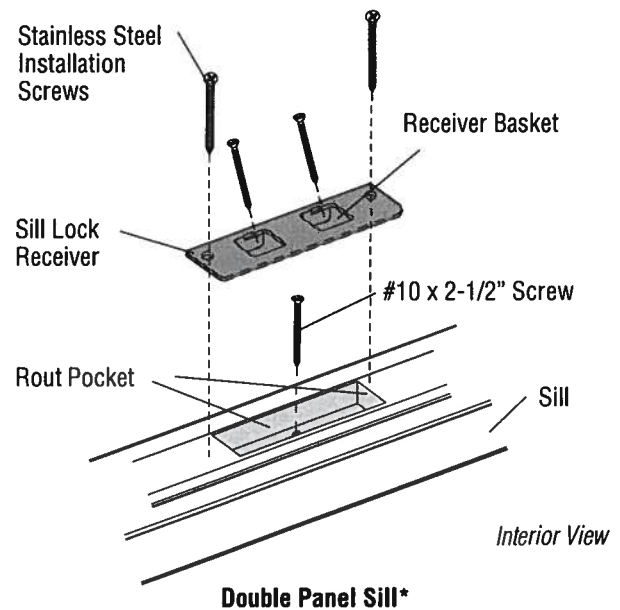
## 12. Secure Through Hardware, continued (Double Panel Units Only)

### ⚠ CAUTION

- Steel fasteners will corrode when used with ACQ Pressure Treated Lumber.
- Obtain and use the appropriate size stainless steel screws, as called out in this installation guide, to fasten unit to any rough opening made from ACQ Pressure Treated Lumber.
- Failure to use stainless steel fasteners may result in fastener corrosion causing product damage.

### ⚠ CAUTION

**DO NOT** fasten #10 x 3" Installation Screw through receiver basket on Sill Lock Receiver until all other receiver screws are fastened. Doing so may cause rocking of Sill receiver plate and may affect product performance and/or operation of unit.

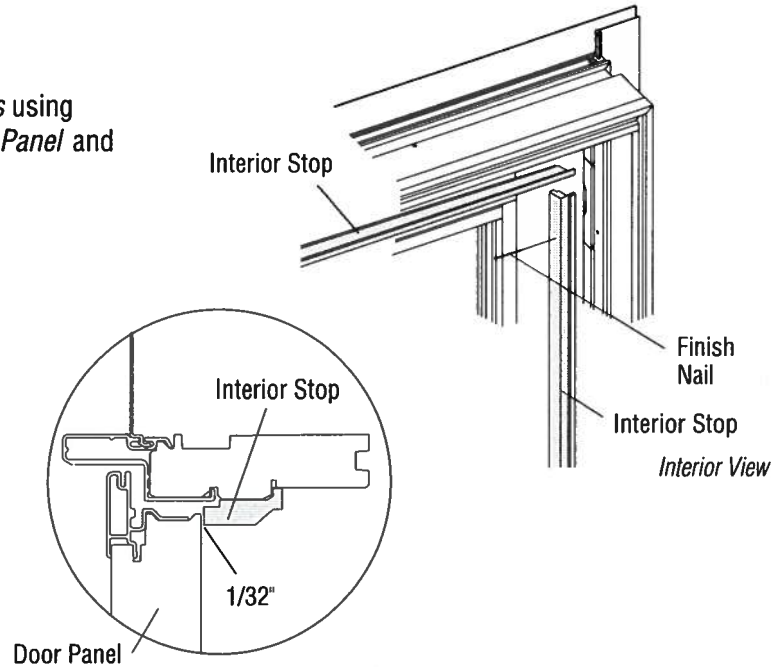


\*For STANDARD UNITS only.

- Remove plastic fasteners and cardboard spacer from *Sill Lock Receiver*.
- Apply *Silicone Sealant* to all holes located in *Sill* rout pocket. Remove *Sill Lock Receiver* and fasten a #10 x 2-1/2" screw (not included) into predrilled hole in rout pocket to keep *Sill* level and prevent upward draw. For masonry/concrete subfloor, predrill hole into concrete prior to installation.
- Replace *Sill Lock Receiver* and fasten using two #10 x 3" *Installation Screws*. Fasten an additional #10 x 3" *Installation Screw* through each receiver basket at a 15° angle toward the interior.
- Check for equal panel/frame reveal along *Side Jambs*, *Head Jamb*, and *Sill*. If door adjustment is necessary, refer to the *Frenchwood® Outswing Hinge and Hardware Adjustment Instruction Guide*.

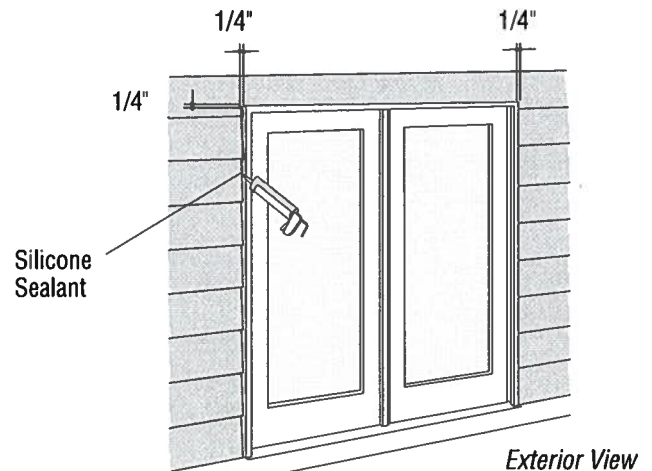
### 13. Apply Interior Stops

- Close and lock *Door Panels*.
- Fasten *Interior Stops* to *Head* and *Side Jamb*s using finish nails. Leave 1/32" space between *Door Panel* and *Interior Stops*.



### 14. Seal Unit

- Apply exterior finish over *Installation Flanges* leaving 1/4" between door frame and exterior finish.
- Apply a continuous bead of *Silicone Sealant* around exterior perimeter of door between frame and exterior finish.

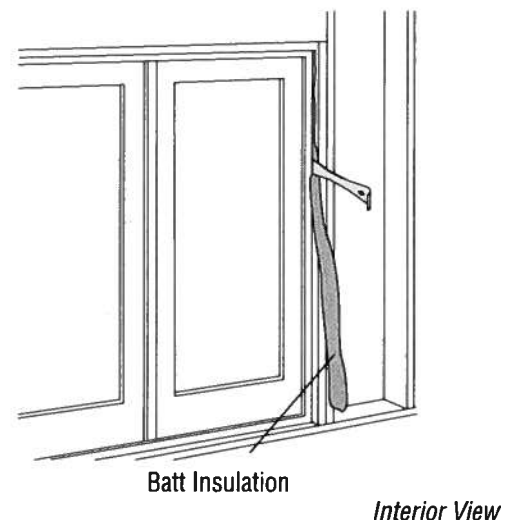


### 15. Insulate Around Unit

#### CAUTION

When insulating between the unit frame and rough opening, or between units when joining, **DO NOT** overpack batt insulation or overfill with foam. Bowed jambs will result, adversely affecting product performance and/or proper unit operation.

- Insert insulation between frame and rough opening from the interior side of door. **DO NOT** overpack batt insulation or overfill with foam.



## Finishing, Cleaning, and Maintenance Instructions

### CAUTION

- **DO NOT** expose unfinished wood to high moisture conditions, excessive heat or humidity. Finish interior wood surfaces immediately after installation. Unfinished wood surfaces will discolor, deteriorate, and/or may bow and split.
- **DO NOT** stain or paint weatherstrip, silicone beads, vinyl, glass, or hardware.
- Acid solutions used to wash masonry/concrete will damage glass, fasteners, hardware, and metal flashing. Follow the acid solution manufacturer's instructions carefully. Protect and/or cover Andersen products during the cleaning process to prevent acid contact. If acid does come in contact with unit, immediately wash all surfaces with clean water.

### INTERIOR FINISHING

Read and follow finishing manufacturer's instructions and warnings on each container of finish material for priming, painting, staining, and varnishing.

### CLEANING

Clean exterior frame, sash members, and insect screens using a mild detergent-and-water solution and a soft cloth or brush. **DO NOT** use abrasive cleaners or solutions containing corrosive solvents. For persistent dirt or grime, use a nonabrasive cleanser or a mixture of water and alcohol or ammonia.

### MAINTENANCE

Immediately sand and refinish any interior wood that becomes stained or mildewed to prevent further discoloration and/or damage. For further information, contact your local Andersen dealer. Dealers can be found in the Yellow Pages under Windows.

# ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844  
Florida Engineering Certificate of Authorization Number: 567  
Florida Certificate of Product Approval # FL1999  
Page 1 of 1 Document ID:1T8D8228Z0120160255

Truss Fabricator: Anderson Truss Company  
Job Identification: 7-172ROOF--Fill in later MIKE BYRD -- , \*\*  
Truss Count: 10  
Model Code: Florida Building Code 2004 and 2006 Supplement  
Truss Criteria: ANSI/TPI-2002(STD)/FBC  
Engineering Software: Alpine Software, Version 7.36.  
Structural Engineer of Record: The identity of the structural EOR did not exist as of  
Address: the seal date per section 61G15-31.003(5a) of the FAC  
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration  
Floor - N/A  
Wind - 110 MPH ASCE 7-02 -Closed

**Notes:**

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR8228

Details: -

#	Ref	Description	Drawing#	Date
1	48026--	H7A	07171032	06/20/07
2	48027--	A	07171033	06/20/07
3	48028--	H13A	07171034	06/20/07
4	48029--	H11A	07171035	06/20/07
5	48030--	H9A	07171036	06/20/07
6	48031--	CJ1	07171037	06/20/07
7	48032--	HJ7	07171038	06/20/07
8	48033--	CJ3	07171039	06/20/07
9	48034--	CJ5	07171041	06/20/07
10	48035--	EJ7	07171040	06/20/07



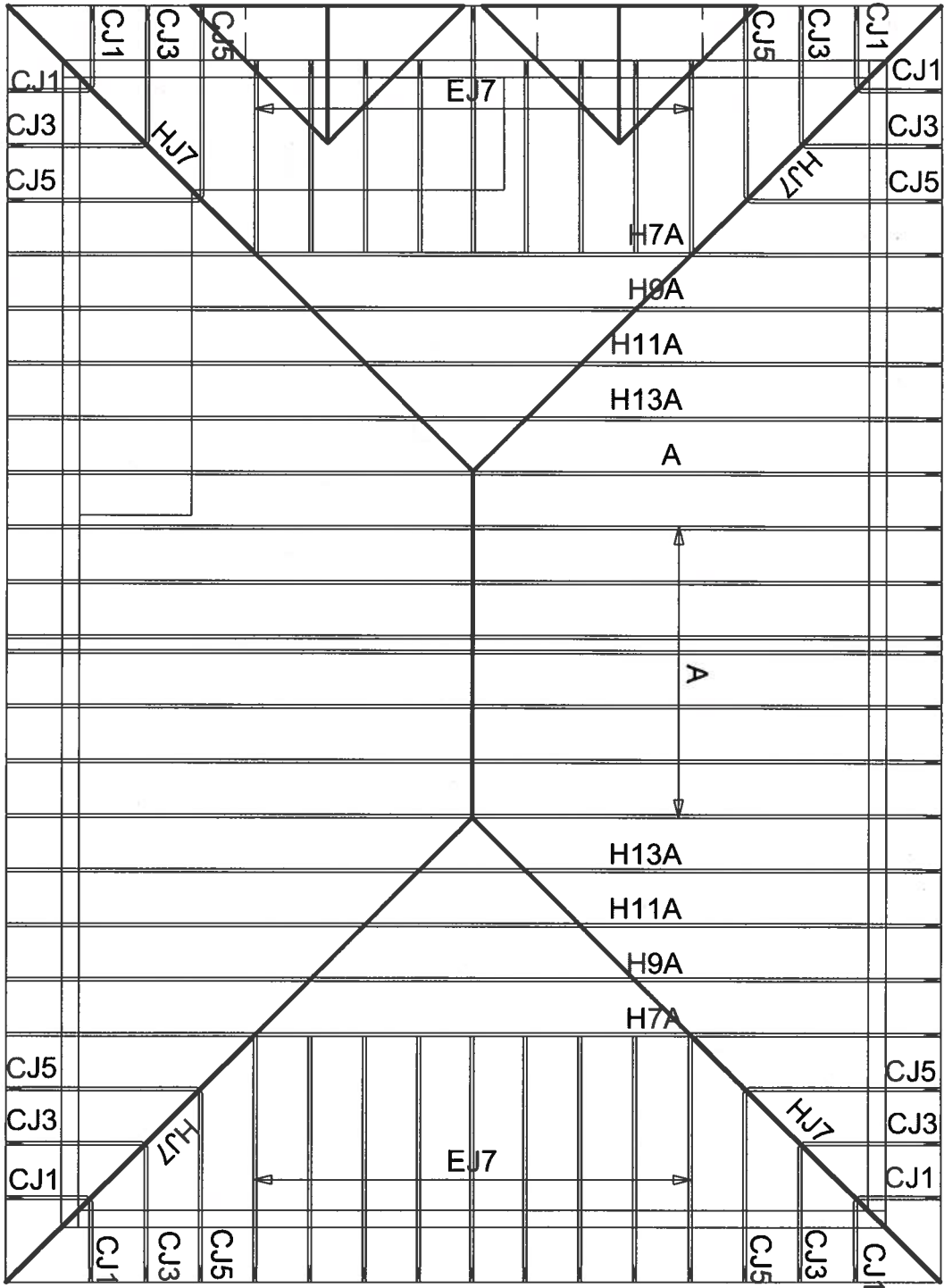
Seal Date: 06/20/2007

-Truss Design Engineer-  
Arthur R. Fisher

Florida License Number: 59687  
1950 Marley Drive  
Haines City, FL 33844



# #7-172 Mike Byrd - Roof 6/20/07



JOB DESCRIPTION: Fill in later  
/: MIKE BYRD

JOB NO:

7-172ROO

PAGE NO:

1 OF 1

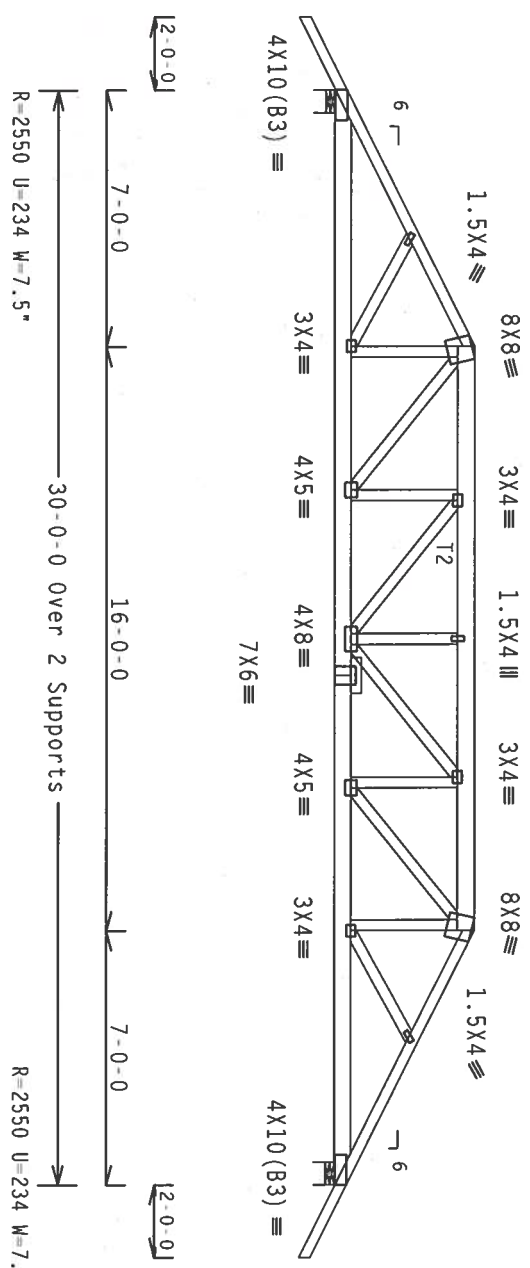
Top Chord 2x4 SP #2 Dense : T2 2x6 SP #2:  
 Bot chord 2x6 SP #2  
 Webs 2x4 SP #3  
 : Rt Splice Block 2x4 SP #3:

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpl(+/-)=0.18

Wind reactions based on MMFRS pressures.  
 #1 hip supports 7-0-0 jacks with no webs.



PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
 Cq/RT=1.00(1.25)/10(0)

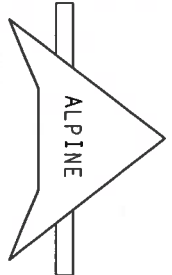
7.36.04

FL/-/4/-/R/-

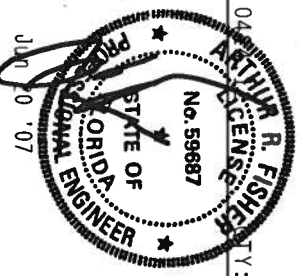
Scale = .1875"/ft.

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BC31 (BUILDING COMPONENT SAFETY INFORMATION) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND NCEA (WOOD TRUSS COUNCIL OF AMERICA, 6200 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. TPC, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN: ANY FAILURE OF TRUSS IN PERFORMANCE WITH TPI: OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY ASCE) AND TPI. DESIGNER OR FABRICATOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANY INSPECTION OF PLATES FOLLOWED BY (C) SHALL BE PERFORMED AS OF TPI-2002 SEC. 3.1 UNLESS OTHERWISE INDICATED. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



TPW Building Components Group, Inc.  
 Haines City, FL 33844  
 Phone: 888-338-4444

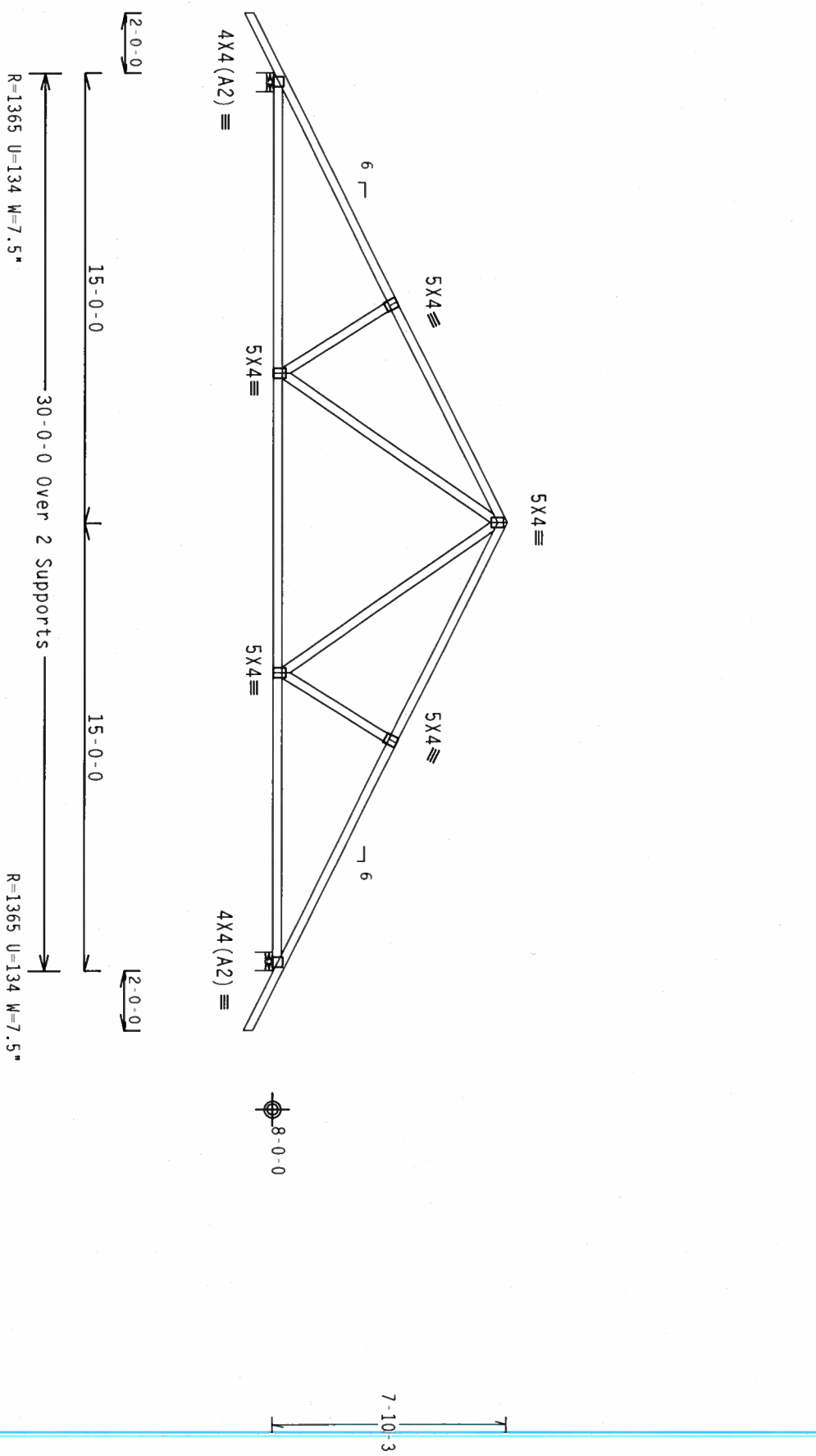


TC LL	20.0 PSF	REF	R8228-48026
TC DL	10.0 PSF	DATE	06/20/07
BC DL	10.0 PSF	DRW	HCUSR8228 07171032
BC LL	0.0 PSF	HC-ENG	TCE/AF
TOT. LD.	40.0 PSF	SEGN-	18189
DUR. FAC.	1.25	FROM	JFB
SPACING	SEE ABOVE	JREF-	1T8D8228Z01

(7 1/2R00F F-111 in later MIKE BYRD, \*\* A)  
 Top chord 2x4 SP #2 Dense  
 Bot chord 2x4 SP #2 Dense  
 Webs 2x4 SP #3

Wind reactions based on MWFRS pressures.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, Wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 Gcpi(+/-)=0.18 Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
 Cq/RT=1.00(1.25)/10(0)

7.36.00

FL/-/4/-/R/-

Scale = .1875"/ft.

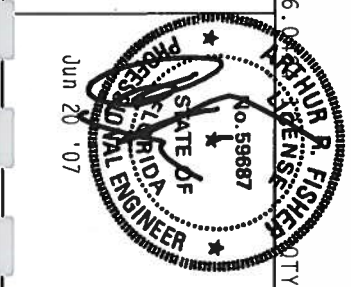
**ALPINE**

TRUSS BUILDING COMPONENTS GROUP, INC.  
 HAINES CITY, FL 33844  
 FL State of Florida Registration # 477

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSP (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND NCA (WOOD TRUSS COUNCIL OF AMERICA, ONE 55 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** TURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

DESIGN CONNECTIONS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ITW BCG CONNECTOR PLATES ARE MADE OF 20/18/16GA (W/H/S/S/T/S) ASTM A653 GRADE 40/50 (W. K/M/SS) GALV. STEEL. APPLY ANY APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. POSITION PER DRAWINGS. 16GA. 2. ANY INSPECTION OF PLATES FOLLOWED BY TESTS SHOWN. BE RESPONSIBLE FOR THE TRUSS COMPONENT DESIGN INDICATES. ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOCIETY FOR THE TRUSS COMPONENT DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER AWS/TP1 SEC. 2.



TC LL	20.0 PSF	REF	R8228-48027
TC DL	10.0 PSF	DATE	06/20/07
BC DL	10.0 PSF	DRW	HCUSR8228 07171033
BC LL	0.0 PSF	HC-ENG	TCE/AF
TOT. LD.	40.0 PSF	SEON-	18155
DUR. FAC.	1.25	FROM	JFB
SPACING	24.0"	JREF-	1T808228201



(7-172R00F-F111 in later MIKE BYRD - \*\* - H11A)

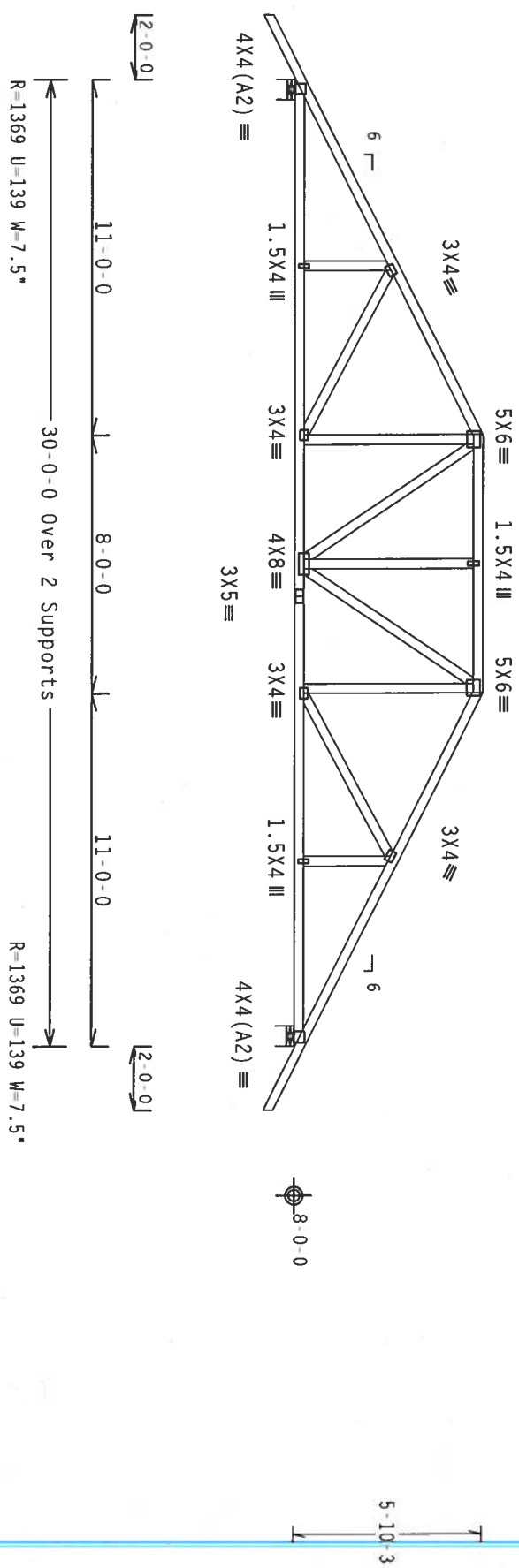
Top Chord 2x4 SP #2 Dense  
 Bot chord 2x4 SP #2 Dense  
 Webs 2x4 SP #3

Wind reactions based on MWFRS pressures.

Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, Wind TC DL=5.0 psf, wind BC DL=5.0 psf, Iw=1.00 Gcpl(+/-)=0.18

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.



PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
 Cq/RT=1.00(1.25)/10(0)

7.36.04

QTY: 1

Scale = .1875"/ft.

ALPINE

TTW Building Components Group, Inc.  
 Haines City, FL 33844  
 Phone: 888-338-4444  
 Fax: 888-338-4444

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSEI (BUILDING COMPONENT SAFETY INFORMATION) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22304) AND WICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI, 53719) FOR SAFETY PRACTICES TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** TURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ITW BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES.

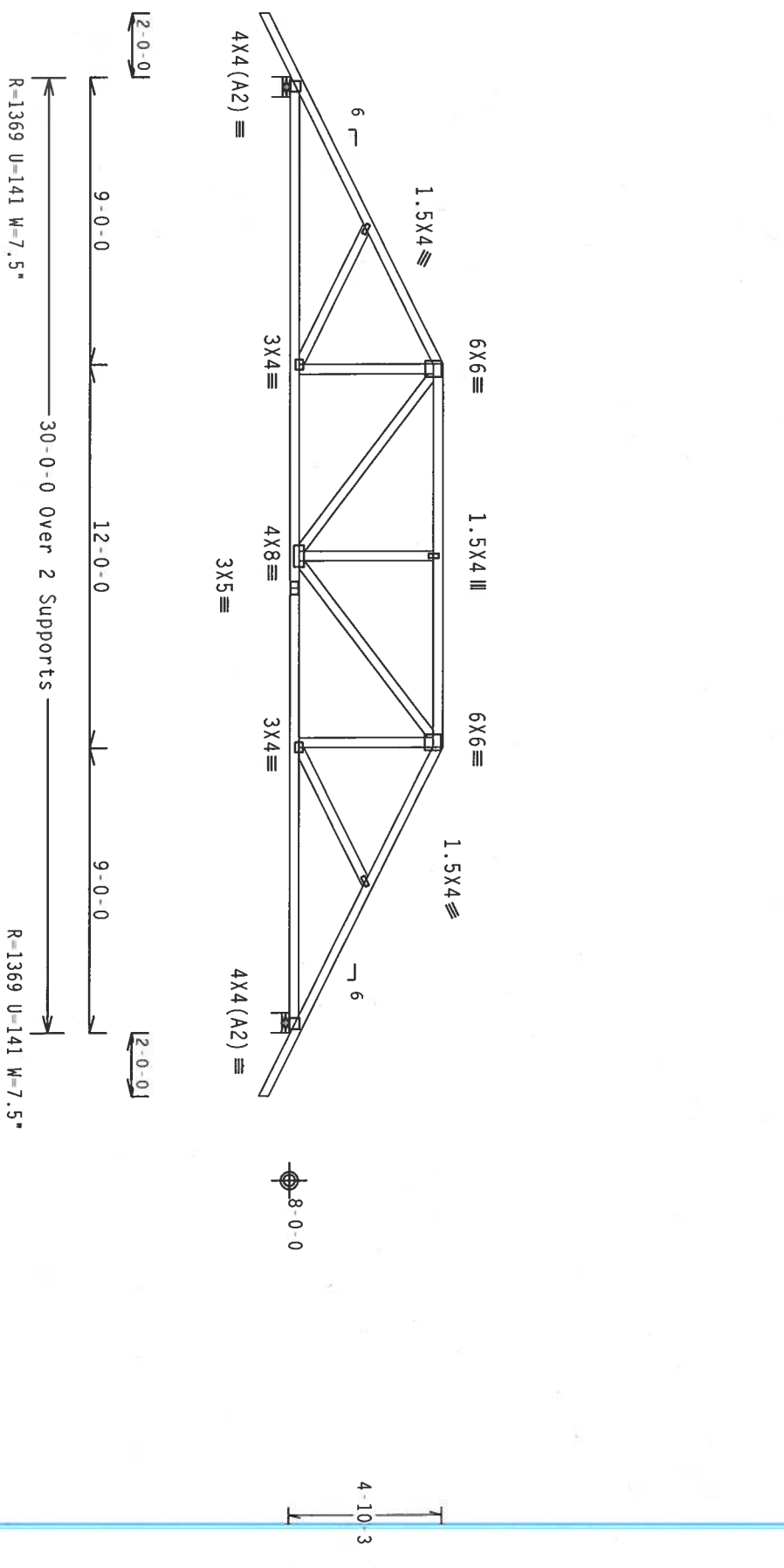
DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. CONNECTOR PLATES ARE MADE OF 20/18/16GA (W/H/S/S/T/S) ASTM A653 GRADE 40/50 (W, K/M, SSI) GALV. STEEL. APPLY AN ANTI-RUST COATING TO ALL EXPOSED SURFACES. UNLESS OTHERWISE SPECIFIED, POSITION PER DRAWINGS 160A, 2. DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOCIETY FOR THE INDEPENDENT BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

TC LL	20.0 PSF	REF	R8228-48029
TC DL	10.0 PSF	DATE	06/20/07
BC DL	10.0 PSF	DRW	HCURS8228 07171035
BC LL	0.0 PSF	HC-ENG	TCE/AF
TOT. LD.	40.0 PSF	SEON-	18166
DUR. FAC.	1.25	FROM	JFB
SPACING	24.0"	JREF-	1T8D8228Z01

Top chord 2x4 SP #2 Dense  
Bot chord 2x4 SP #2 Dense  
Webs 2x4 SP #3

Wind reactions based on MWFRS pressures.  
Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, not located within 4.50 ft from roof edge, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf.  $I_w=1.00$   $G_{CPI}(+/-)=0.18$   
In lieu of structural panels use purlins to brace all flat TC @ 24" OC.



PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
Cq/RT=1.00(1.25)/10(0)

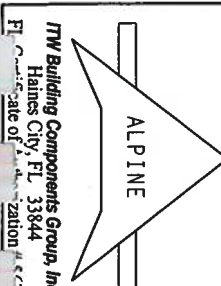
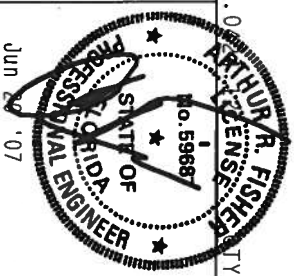
7.36.0

TY: 1 FL/-/4/-/R/-

Scale = .1875\*/ft.

**\*\*WARNINGS\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI (BUILDING COMPONENT SAFETY INFORMATION) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 210 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND NCA (WOOD TRUSS COUNCIL OF AMERICA, 6200 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. TPC BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN; ANY FAILURE OF TRUSS IN COMPLIANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN COMPLIANCE WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AREA) AND TPI. DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN, POSITION PER DRAWINGS 160A, 2, 160B, 160C, 160D, 160E, 160F, 160G, 160H, 160I, 160J, 160K, 160L, 160M, 160N, 160O, 160P, 160Q, 160R, 160S, 160T, 160U, 160V, 160W, 160X, 160Y, 160Z, 160AA, 160AB, 160AC, 160AD, 160AE, 160AF, 160AG, 160AH, 160AI, 160AJ, 160AK, 160AL, 160AM, 160AN, 160AO, 160AP, 160AQ, 160AR, 160AS, 160AT, 160AU, 160AV, 160AW, 160AX, 160AY, 160AZ, 160BA, 160BB, 160BC, 160BD, 160BE, 160BF, 160BG, 160BH, 160BI, 160BJ, 160BK, 160BL, 160BM, 160BN, 160BO, 160BP, 160BQ, 160BR, 160BS, 160BT, 160BU, 160BV, 160BW, 160BX, 160BY, 160BZ, 160CA, 160CB, 160CC, 160CD, 160CE, 160CF, 160CG, 160CH, 160CI, 160CJ, 160CK, 160CL, 160CM, 160CN, 160CO, 160CP, 160CQ, 160CR, 160CS, 160CT, 160CU, 160CV, 160CW, 160CX, 160CY, 160CZ, 160DA, 160DB, 160DC, 160DD, 160DE, 160DF, 160DG, 160DH, 160DI, 160DJ, 160DK, 160DL, 160DM, 160DN, 160DO, 160DP, 160DQ, 160DR, 160DS, 160DT, 160DU, 160DV, 160DW, 160DX, 160DY, 160DZ, 160EA, 160EB, 160EC, 160ED, 160EE, 160EF, 160EG, 160EH, 160EI, 160EJ, 160EK, 160EL, 160EM, 160EN, 160EO, 160EP, 160EQ, 160ER, 160ES, 160ET, 160EU, 160EV, 160EW, 160EX, 160EY, 160EZ, 160FA, 160FB, 160FC, 160FD, 160FE, 160FF, 160FG, 160FH, 160FI, 160FJ, 160FK, 160FL, 160FM, 160FN, 160FO, 160FP, 160FQ, 160FR, 160FS, 160FT, 160FU, 160FV, 160FW, 160FX, 160FY, 160FZ, 160GA, 160GB, 160GC, 160GD, 160GE, 160GF, 160GG, 160GH, 160GI, 160GJ, 160GK, 160GL, 160GM, 160GN, 160GO, 160GP, 160GQ, 160GR, 160GS, 160GT, 160GU, 160GV, 160GW, 160GX, 160GY, 160GZ, 160HA, 160HB, 160HC, 160HD, 160HE, 160HF, 160HG, 160HH, 160HI, 160HJ, 160HK, 160HL, 160HM, 160HN, 160HO, 160HP, 160HQ, 160HR, 160HS, 160HT, 160HU, 160HV, 160HW, 160HX, 160HY, 160HZ, 160IA, 160IB, 160IC, 160ID, 160IE, 160IF, 160IG, 160IH, 160II, 160IJ, 160IK, 160IL, 160IM, 160IN, 160IO, 160IP, 160IQ, 160IR, 160IS, 160IT, 160IU, 160IV, 160IW, 160IX, 160IY, 160IZ, 160JA, 160JB, 160JC, 160JD, 160JE, 160JF, 160JG, 160JH, 160JI, 160JJ, 160JK, 160JL, 160JM, 160JN, 160JO, 160JP, 160JQ, 160JR, 160JS, 160JT, 160JU, 160JV, 160JW, 160JX, 160JY, 160JZ, 160KA, 160KB, 160KC, 160KD, 160KE, 160KF, 160KG, 160KH, 160KI, 160KJ, 160KK, 160KL, 160KM, 160KN, 160KO, 160KP, 160KQ, 160KR, 160KS, 160KT, 160KU, 160KV, 160KW, 160KX, 160KY, 160KZ, 160LA, 160LB, 160LC, 160LD, 160LE, 160LF, 160LG, 160LH, 160LI, 160LJ, 160LK, 160LL, 160LM, 160LN, 160LO, 160LP, 160LQ, 160LR, 160LS, 160LT, 160LU, 160LV, 160LW, 160LX, 160LY, 160LZ, 160MA, 160MB, 160MC, 160MD, 160ME, 160MF, 160MG, 160MH, 160MI, 160MJ, 160MK, 160ML, 160MN, 160MO, 160MP, 160MQ, 160MR, 160MS, 160MT, 160MU, 160MV, 160MW, 160MX, 160MY, 160MZ, 160NA, 160NB, 160NC, 160ND, 160NE, 160NF, 160NG, 160NH, 160NI, 160NJ, 160NK, 160NL, 160NM, 160NO, 160NP, 160NQ, 160NR, 160NS, 160NT, 160NU, 160NV, 160NW, 160NX, 160NY, 160NZ, 160OA, 160OB, 160OC, 160OD, 160OE, 160OF, 160OG, 160OH, 160OI, 160OJ, 160OK, 160OL, 160OM, 160ON, 160OO, 160OP, 160OQ, 160OR, 160OS, 160OT, 160OU, 160OV, 160OW, 160OX, 160OY, 160OZ, 160PA, 160PB, 160PC, 160PD, 160PE, 160PF, 160PG, 160PH, 160PI, 160PJ, 160PK, 160PL, 160PM, 160PN, 160PO, 160PP, 160PQ, 160PR, 160PS, 160PT, 160PU, 160PV, 160PW, 160PX, 160PY, 160PZ, 160QA, 160QB, 160QC, 160QD, 160QE, 160QF, 160QG, 160QH, 160QI, 160QJ, 160QK, 160QL, 160QM, 160QN, 160QO, 160QP, 160QQ, 160QR, 160QS, 160QT, 160QU, 160QV, 160QW, 160QX, 160QY, 160QZ, 160RA, 160RB, 160RC, 160RD, 160RE, 160RF, 160RG, 160RH, 160RI, 160RJ, 160RK, 160RL, 160RM, 160RN, 160RO, 160RP, 160RQ, 160RR, 160RS, 160RT, 160RU, 160RV, 160RW, 160RX, 160RY, 160RZ, 160SA, 160SB, 160SC, 160SD, 160SE, 160SF, 160SG, 160SH, 160SI, 160SJ, 160SK, 160SL, 160SM, 160SN, 160SO, 160SP, 160SQ, 160SR, 160SS, 160ST, 160SU, 160SV, 160SW, 160SX, 160SY, 160SZ, 160TA, 160TB, 160TC, 160TD, 160TE, 160TF, 160TG, 160TH, 160TI, 160TJ, 160TK, 160TL, 160TM, 160TN, 160TO, 160TP, 160TQ, 160TR, 160TS, 160TT, 160TU, 160TV, 160TW, 160TX, 160TY, 160TZ, 160UA, 160UB, 160UC, 160UD, 160UE, 160UF, 160UG, 160UH, 160UI, 160UJ, 160UK, 160UL, 160UM, 160UN, 160UO, 160UP, 160UQ, 160UR, 160US, 160UT, 160UU, 160UV, 160UW, 160UX, 160UY, 160UZ, 160VA, 160VB, 160VC, 160VD, 160VE, 160VF, 160VG, 160VH, 160VI, 160VJ, 160VK, 160VL, 160VM, 160VN, 160VO, 160VP, 160VQ, 160VR, 160VS, 160VT, 160VU, 160VV, 160VW, 160VX, 160VY, 160VZ, 160WA, 160WB, 160WC, 160WD, 160WE, 160WF, 160WG, 160WH, 160WI, 160WJ, 160WK, 160WL, 160WM, 160WN, 160WO, 160WP, 160WQ, 160WR, 160WS, 160WT, 160WU, 160WV, 160WW, 160WX, 160WY, 160WZ, 160XA, 160XB, 160XC, 160XD, 160XE, 160XF, 160XG, 160XH, 160XI, 160XJ, 160XK, 160XL, 160XM, 160XN, 160XO, 160XP, 160XQ, 160XR, 160XS, 160XT, 160XU, 160XV, 160XW, 160XX, 160XY, 160XZ, 160YA, 160YB, 160YC, 160YD, 160YE, 160YF, 160YG, 160YH, 160YI, 160YJ, 160YK, 160YL, 160YM, 160YN, 160YO, 160YP, 160YQ, 160YR, 160YS, 160YT, 160YU, 160YV, 160YW, 160YX, 160YY, 160YZ, 160ZA, 160ZB, 160ZC, 160ZD, 160ZE, 160ZF, 160ZG, 160ZH, 160ZI, 160ZJ, 160ZK, 160ZL, 160ZM, 160ZN, 160ZO, 160ZP, 160ZQ, 160ZR, 160ZS, 160ZT, 160ZU, 160ZV, 160ZW, 160ZX, 160ZY, 160ZZ



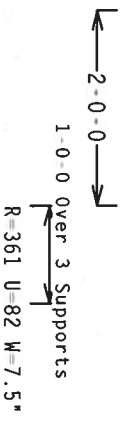
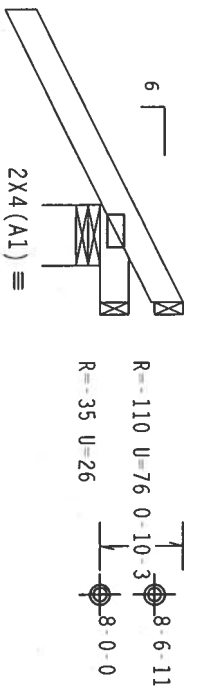
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TC DL	10.0 PSF	DATE 06/20/07
BC DL	10.0 PSF	DRW HCUR8228 07171036
BC LL	0.0 PSF	HC-ENG TCE/AF
TOT. LD.	40.0 PSF	SEON- 18171
DUR. FAC.	1.25	FROM JFB
SPACING	24.0"	JRFF- 1T808228Z01

Top Chord 2x4 SP #2 Dense  
Bot Chord 2x4 SP #2 Dense

Wind reactions based on MWFRS pressures.

Provide (2) 0.162x3.5" 16d Common toe nails at Top Chord.  
Provide (2) 0.162x3.5" 16d Common toe nails at Bottom Chord.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, Wind TC DL=5.0 psf, wind BC DL=5.0 psf.  $I_w=1.00$  GCPI(+/-)=0.18  
Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.

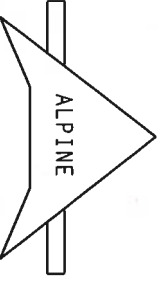


Design Crit: TPI-2002(STD)/FBC  
Cq/RT=1.00(1.25)/10(0)

PLT TYP. Wave

**\*\*WARNING\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSE (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND WICA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. TPI BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN TO BUILD THE TRUSS IN CONFORMANCE WITH TPI: OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. BY A(B)P(A) AND TPI. TPI BCG DESIGN COMPROMISES WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY A(B)P(A) AND TPI. TPI BCG CONNECTIONS MADE TO 20/18/18GA. 4W/SS/S ASH/ABS3 GRADE. 40/80 (4.5/7H/5SI) GALV. STEEL. APPLY TO ALL TRUSS CHORDS AND MEMBERS. ALL TRUSS MEMBERS SHALL BE DESIGNED PER DRAWINGS A60A, Z, AND Y. ALL TRUSS MEMBERS SHALL BE DESIGNED PER DRAWINGS A60A, Z, AND Y. ANY INSPECTION OF PLATES FOLLOWED BY TPI SHALL BE PERFORMED BY A TPI DESIGNER. TPI DESIGNER'S DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOCIETY FOR THE TRUSS COMPONENT BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



TW Building Components Group, Inc.  
Haines City, FL 33844  
FL State of Florida Registration # 537



Scale = .5" / Ft.

TC LL	20.0 PSF	REF R8228-48031
TC DL	10.0 PSF	DATE 06/20/07
BC DL	10.0 PSF	DRW HCUSR8228 07171037
BC LL	0.0 PSF	HC-ENG TCE/AF
TOT.LD.	40.0 PSF	SECN- 18130
DUR.FAC.	1.25	FROM JFB
SPACING	24.0"	JRFF- 1T808228Z01

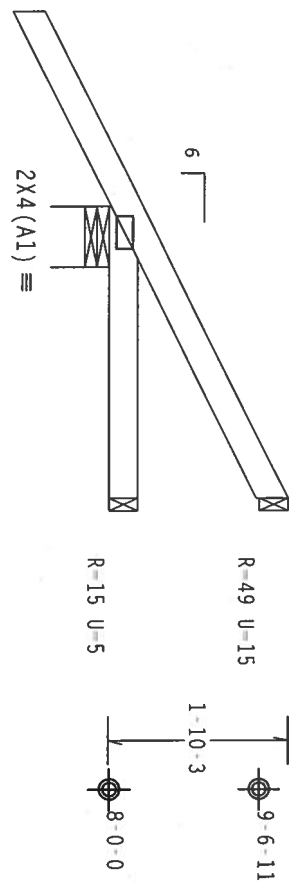


Top Chord 2x4 SP #2 Dense  
Bot chord 2x4 SP #2 Dense

Wind reactions based on MWFRS pressures.

Provide (2) 0.162x3.5" 16d Common toe-nails at Top Chord.  
Provide (2) 0.162x3.5" 16d Common toe-nails at Bottom Chord.

110 mph wind, 15.00 ft mean hgt, ASCE 7-02, CLOSED bldg, Located anywhere in roof, CAT II, EXP B, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCPI(+/-)=0.18  
Deflection meets L/240 live and L/180 total load. Creep increase factor for dead load is 1.50.



R=317 U=38 W=7.5"

PLT TYP. Wave

Design Crit: TPI-2002(STD)/FBC  
Cq/RT=1.00(1.25)/10(0)

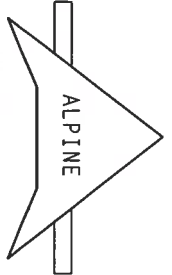
7.36.0

TY:1 FL/-/4/-/-/R/-

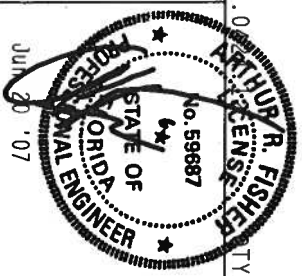
Scale = .5" / Ft.

**\*\*WARNINGS\*\*** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BCSI (BUILDING COMPONENT SAFETY INFORMATION) PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 218 NORTH LEE STREET, SUITE 312, ALEXANDRIA, VA, 22314) AND NCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LANE, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

**\*\*IMPORTANT\*\*** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. TIV BCG, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. ANY FAILURE TO BUILD THE TRUSS IN CONFORMANCE WITH TPI; OR FABRICATING, HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. TIV BCG DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. TIV BCG PLATE SPECIFICATIONS ARE MADE OF 20/18/16GA (W/H/S/S/E) ASTM A653 GRADE 40/80 (W. K/H/S/S) GALV. STEEL. APPLY PLATE SPECIFICATION OF 16S PER TPI. ALL TRUSSES SHOWN ARE TO BE LOCATED ON THIS DESIGN. POSITION PER DRAWINGS. 16GA. 2. ALL TRUSSES SHOWN ARE TO BE LOCATED ON THIS DESIGN. POSITION PER DRAWINGS. 16GA. 2. DRAWING INDICATES THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.



TIV Building Components Group, Inc.  
Haines City, FL 33844  
State of Florida Registration # 33844

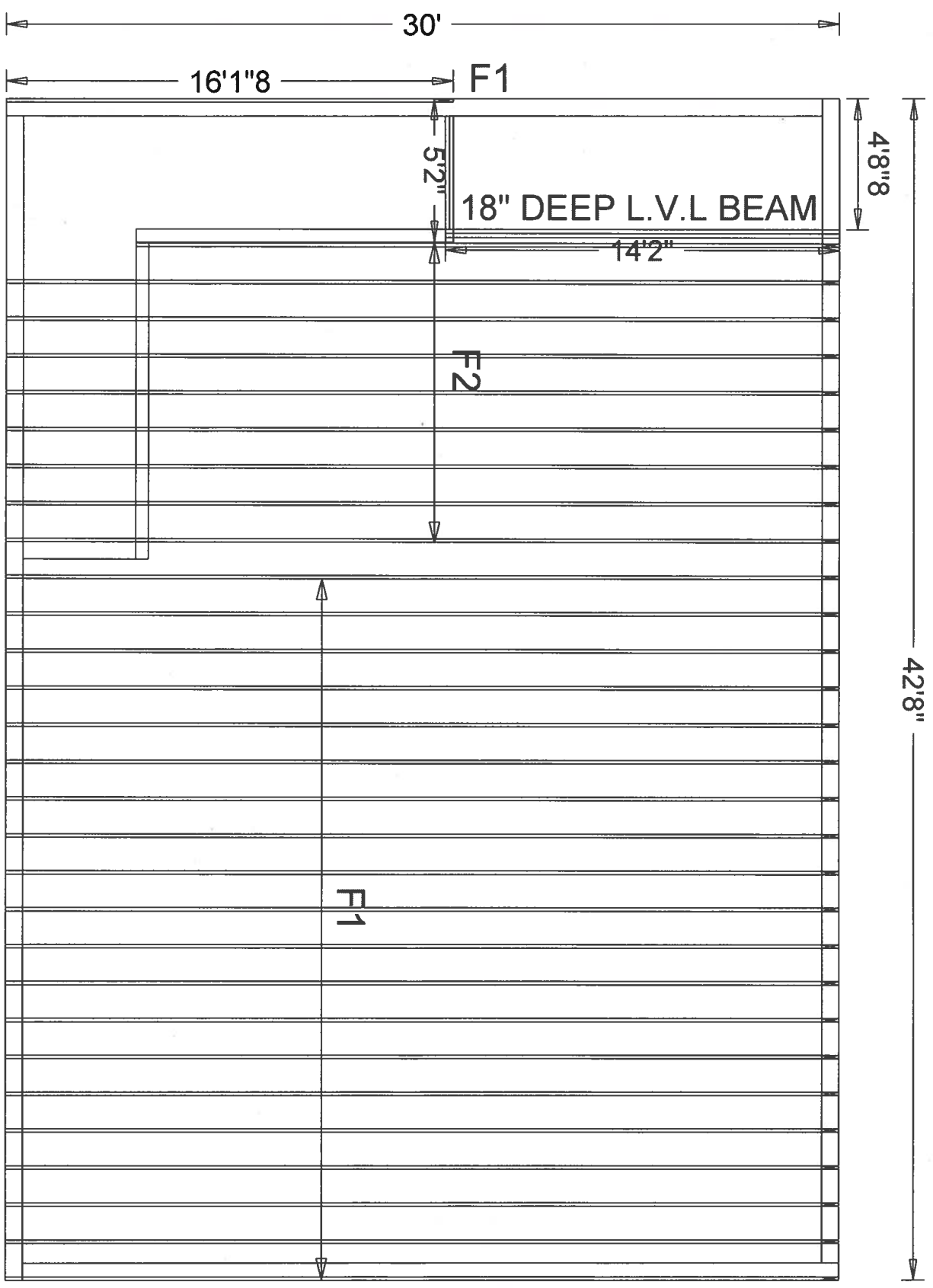


TC LL	20.0 PSF	REF	R8228-48033
TC DL	10.0 PSF	DATE	06/20/07
BC DL	10.0 PSF	DRW	HCUSR8228 07171039
BC LL	0.0 PSF	HC-ENG	TCE/AF
TOT. LD.	40.0 PSF	SEON-	18136
DUR. FAC.	1.25	FROM	JFB
SPACING	24.0"	JREF-	1T808228Z01





# MIKE BYRD FLOOR PLAN



JOB DESCRIPTION: Fill in later  
/ MIKE BYRD

JOB NO:  
7-172

PAGE NO:  
1 OF 1

The *uniform load* span charts below indicate the maximum design spans (including a 1½" minimum bearing at each end) for each family of *TrimJoist* floor joists. Each chart is divided into columns which represent common design loadings and rows which show typical spacings. Most residential designs require a minimum of 55 psf loading. Floors used for heavy traffic and/or heavy floor coverings (e.g. Tile) should be designed at 60 psf minimum. All loads are broken down into *Live*, *Top-dead* and *Bottom-dead* components. For example, the 55 psf column is really 40 psf live plus 10 psf top-dead plus 5 psf bottom-dead for a total of 55 psf. Dead loads are the weight of construction materials and are always present for the whole life of the structure. Live loads, on the other hand, are transient and are never constant over the life of the structure. Select the appropriate column based on the *dead* loads of your construction materials. These charts are for *uniformly loaded, clear span, simply supported* joists. For special applications requiring concentrated loads, asymmetric continuous loads, cantilevers, or special bearing conditions please consult a *TrimJoist* representative or authorized dealer. The TPDS computer program can be used to analyze almost any loading and/or bearing condition.

11 ¼" Deep	Spacing	Loading	55 PSF (40/10/5)	60 PSF (40/10/10)
		12	24' - 0" L/589	24' - 0" L/589
		16	23' - 1" L/455	23' - 1" L/455
		19.2	21' - 9" L/454	21' - 9" L/454
	24	20' - 5" L/461	20' - 0" L/465	

16" Deep	Spacing	Loading	55 PSF (40/10/5)	60 PSF (40/10/10)
		12	28' - 0" L/731	28' - 0" L/731
		16	28' - 0" L/549	28' - 0" L/549
		19.2	28' - 0" L/458	27' - 5" L/486
	24	26' - 0" L/456	26' - 0" L/456	

14" Deep	Spacing	12	26' - 0" L/688	26' - 0" L/688
		16	26' - 0" L/515	26' - 0" L/515
		19.2	25' - 7" L/450	25' - 7" L/450
		24	23' - 8" L/451	23' - 8" L/451

18" Deep	Spacing	12	30' - 0" L/768	30' - 0" L/768
		16	30' - 0" L/575	30' - 0" L/575
		19.2	30' - 0" L/479	29' - 10" L/488
		24	27' - 4" L/504	26' - 5" L/579

**Notes on Span Charts:**

- Spans are based on uniformly loaded joists and include allowances for repetitive use members.
- Live loads of 40 psf are assumed, Additional dead loads should be chosen based on construction materials.
- All *TrimJoist* floor joists have a TOP orientation and should not be installed upside-down.
- Stiffness factors (L/xxx) assume a minimum ¾-inch span-rated subfloor that has been both *glued and nailed*.
- Limit total reaction (per end) to that indicated in the Maximum Reaction Table at the right.
- Do not apply center supports, cantilevers, concentrated, or asymmetrical continuous loads without first consulting a *TrimJoist* representative.

**Maximum Reaction Table**

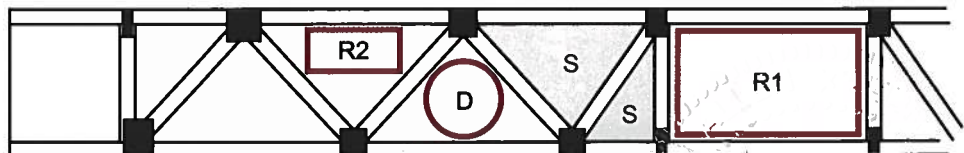
Width	1½	3½	5½
Max	3000	3500	4000

Width is the width of the loaded wall above, or the bearing wall width whichever is less.

**A Note About Floor Stiffness:** Floor performance is greatly influenced by joist stiffness. Experience has shown that a floor system designed to minimum code acceptance may not meet the expectations of discerning owners. *TrimJoist* Corporation strongly recommends that floor spans be limited to those indicated in the charts above. The numbers in these charts far exceed minimum code requirements and are based on both gluing *and* nailing the subfloor. In cases where the subfloor is nailed only, spans remain the same, but the stiffness must be reduced by 20%. For optimal performance use screws in lieu of nails.

**Opening Sizes**

	J12	J14	J16	J18
H	11¼"	14"	16"	18"
D	5"	8"	9"	10"
R1	8x16	10x24	12x24	14x24
R2	4x9	4x10 6x6	4x12 6x8	4x14 6x10 8x8



- All sizes given are in inches and denote maximum expected clearance.
- Rectangular opening (R1) is provided at centerline of stock length.
- Only opening D available in 4' stock length (one opening only).
- Only opening R1 available in 6' and 8' stock length.
- Openings R2 & D not applicable in shaded areas (s).

*DM Miller*  
May 23, 2006

**Good Framing Practice...**

- DO** Install *TrimJoists* right side up. TOP is stamped on the top of each joist.
- DO** Make sure that each *TrimJoist* bears on the bottom flange beneath the *TrimEnd* section or beneath the first metal plate if the *TrimEnd* section has been removed.
- DO** Use strongback stiffeners. Although not required for structural performance, strongback adds additional resistance to impact loadings.
- DO** Provide appropriate bearing width at each end of the *TrimJoist*. The required width can be found in the Maximum Reaction Table above. Use vertical web stiffeners where reactions exceed these values.
- DO** Use *TrimJoist* approved hangers for flush-mounted bearing conditions. These may be purchased from your local *TrimJoist* dealer.
- DO** Use an appropriately rated sub-floor that has been both glued and nailed/screwed to the top flange of the *TrimJoist*.
- DO** Consult your *TrimJoist* dealer or representative about special loading or bearing conditions not addressed in this Application Guide.

- DO NOT** cut any part of the *TrimJoist* except for the *TrimEnd* sections which are specifically designed to be field cut.
- DO NOT** remove, cut or alter any metal plate connector on the *TrimJoist* without first consulting a factory engineer.
- DO NOT** install the *TrimJoist* upside down without first consulting a *TrimJoist* factory engineer.
- DO NOT** use a *TrimJoist* as a header or beam except as may be instructed by a *TrimJoist* engineer.
- DO NOT** allow the *TrimJoist* to be supported by the top flange. All support must be from under the bottom flange.
- DO NOT** depend on "toe nailing" to provide adequate support capacity for flush-mounted framing. Consult your local *TrimJoist* dealer or a *TrimJoist* factory engineer for proper hanger selection.
- DO NOT** apply special support or load conditions without first consulting a *TrimJoist* representative.

June 23, 2011

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it.

Please accept this letter as my request to extend my current permit # 26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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September 12, 2011

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it.

Please accept this letter as my request to extend my current permit # 26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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January 9, 2012

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it.

Please accept this letter as my request to extend my current permit # 26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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March 13, 2012

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it.

Please accept this letter as my request to extend my current permit #26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

A handwritten signature in black ink, appearing to read 'Michael Byrd', written in a cursive style.

Feb 18, 2013

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it.

Please accept this letter as my request to extend my current permit # 26067.

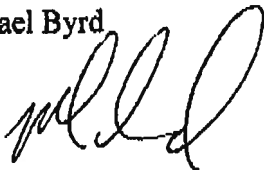
This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact mc at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

A handwritten signature in black ink, appearing to read 'M Byrd', written in a cursive style.

September 24, 2013

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it. I have scheduled the spray foam insulation install for next week and have also been working on the plumbing as requested which consist of the shower drain and pressure test.

Please accept this letter as my request to extend my current permit # 26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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December 13, 2016

To Whom it may Concern:  
Columbia County Building Department

Due to my financial situation it has taken me a long time to finish the building of my garage. I am now ready for the final inspection. Please accept this letter to request the final inspection so I can finalize my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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October 10, 2016

To Whom it may Concern:  
Columbia County Building Department

Due to my financial situation it has taken me a long time to finish the building of my garage. Still working on countertops and plumbing. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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July 1, 2016

To Whom it may Concern:  
Columbia County Building Department

Due to my financial situation it has taken me a long time to finish the building of my garage. Working on countertops and plumbing. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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March 1, 2016

To Whom it may Concern:  
Columbia County Building Department

Due to my financial situation it has taken me a long time to finish the building of my garage. Working on cabinets and plumbing. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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December 21, 2015

Columbia County Building Department

To Whom it may Concern:

Due to my financial situation it has taken me a long time to finish the building of my garage. I am now ready for my final electrical inspection and would like to get permanent power. Please accept this letter as my request to extend my permit #26067. This would be greatly appreciated, as I do not want to incur any additional fees. If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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September 13, 2012

Columbia County Building Dept.

To Whom it May Concern:

Due to my financial situation I have been building very slowly as I can afford it.

Please accept this letter as my request to extend my current permit # 26067.

This would be greatly appreciated, as I do not want to incur any additional fees.

If you have any questions please feel free to contact me at 352-226-9157.

Thank you for your time and cooperation in this matter.

Sincerely,

Michael Byrd

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MICHAEL S. BYRD  
Permit # 26067  
Statement of Change in Plans

To Whom It May Concern:

Due to my continued financial status I would like to change my design. The design was originally a two story home and I would like to change it to a garage only. I have been building my parents addition and it is coming to a close. I'm not sure if I will stay busy enough to continue to live in the area, even though I would like to. I would like to use the existing permit, plans, and truss package to build the single story garage. I would like to be able to finish the structure of the garage so that I can complete it and move on. I got the permit 3 years ago and my business went down hill very quickly and I have still not recovered. If I am unable to stay in the area because I can not find enough work to sustain me. I will have a finished a structure that is not such an eye sore to my family and neighbors. If work increases for me and I can stay in the area and I can always build onto my garage. I would like to get permanent power to the structure as well so it will be a functional structure. I appreciate the way Columbia County has worked with me and allowed me to extend my permit and now modify my plans at no extra cost. This county has been a blessing from God. Thanks for being so understanding and giving me the opportunity to down size and pull myself together.

Thanks,  
Michael S. Byrd

HEALTH

PERMIT: X10-338 P \_\_\_\_\_

OWNER: Michael Burdick  
ADDRESS: 336 SW Bondy Ave

FOR: A/C  BARN  CITY UTIL  LIGHTS   
POOL/ENC  ROOF  SCREEN RM  SIGN   
WELL  OTHER Garage