

GENERAL NOTES

- 1. THE INFORMATION CONTAINED WITHIN THESE CONSTRUCTION DOCUMENTS IS ISSUED TO SHOW DESIGN INTENT AND BASIC FRAMING DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STANDARD ARRANGEMENTS AND PRACTICES WHICH WILL PROVIDE A STRUCTURALLY SOUND AND WEATHER-PROOFED FINISHED PRODUCT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR PROBLEMS OBSERVED OR PERCEIVED PRIOR TO STARTING CONSTRUCTION OF SUCH. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL WORK AND CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES. PRIOR TO INITIATING ANY PHASE OF THE WORK, EXAMINE SURFACES TO RECEIVE WORK FOR ANY CONDITIONS ADVERSELY AFFECTING THE TRADE AND VERIFY EXISTING CONDITIONS FOR COORDINATION WITH THE WORK. VERIFY ACTUAL CONDITIONS PRIOR TO FABRICATION OF CABINETS, COUNTERTOPS AND OTHER SHOP FABRICATED OR MANUFACTURED COMPONENTS. NOTIFY OWNER/ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS. DO NOT SCALE DRAWINGS. CONTRACTOR FIELD VERIFY ALL DIMENSIONS AND CONDITIONS. IF ANY DISCREPANCIES OR QUESTIONS ARISE REGARDING DIMENSIONS, OBTAIN CLARIFICATION FROM ARCHITECT BEFORE CONTINUING WITH THE WORK. BUILDER SHALL ESTABLISH FINISHED FLOOR ELEVATIONS IN CONSULTATION WITH THE ARCHITECT. BUILDER SHALL TAKE INTO ACCOUNT DESIGN INTENT, INCLUDING NUMBER OF STEPS, WATER TABLE MASONRY, ETC. BUILDER SHALL ALSO ASSURE THAT THERE IS ADEQUATE CLEARANCE BETWEEN FINISH GRADE AND ANY WOOD CONSTRUCTION. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY CALLED OUT ON DRAWINGS. THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS; SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH ARCHITECTURAL DRAWINGS SHALL BE CORRECT BY THE CONTRACTOR AT HIS OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR THE ARCHITECT. EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES OR MECHANICAL CONTRACTOR TO VERIFY SIZE, EFFICIENCY AND PLACEMENT OF ALL MECHANICAL EQUIPMENT. GENERAL CONTRACTOR TO CONSULT WITH MECHANICAL CONTRACTOR AND/OR MECHANICAL ENGINEER AND NOTIFY ARCHITECT OF ANY DIFFICULTY WITH INSTALLATION, EFFICIENCY, OR PERFORMANCE OF SYSTEMS PRIOR TO CONSTRUCTION. MECHANICAL CONTRACTOR SHALL BE LICENSED IN THE STATE WHERE CONSTRUCTION IS TAKING PLACE. NOISE CONTROL: THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ARRANGING DUCTWORK AND UTILIZING MATERIAL IN A MANNER WHICH WILL PREVENT NOISE FROM BEING TRANSFERRED TO THE HABITABLE SPACES. AIR HANDLING UNITS IN ATTIC SHALL BE MOUNTED ON ISOLATION PADS. TRUNK LINES TO BE SHEET METAL EXCEPT WHERE OTHERWISE INDICATED. SHEET METAL IS TO BE GALVANIZED WHERE USED. INSULATE SUPPLY AND RETURN DUCTS WITH R-8 MINIMUM INSULATION. INSTALL DUCT AND INSULATION IN A MANNER THAT INSURES A COMPLETE VAPOR BARRIER AROUND ALL COLD SURFACES. PROVIDE MULTIPLE RETURN AIR LOCATIONS (ONE PER BEDROOM, ETC.) TO EQUALIZE AND LESSEN AIR NOISE. COORDINATE LOCATION OF DUCT WORK WITH GENERAL CONTRACTOR AND ARCHITECT PRIOR TO INSTALLATION. ANY EXPOSED DUCTWORK (NOT FURRED IN) BELOW FIRST FLOOR SHALL BE SHEET METAL AND PAINTED BLACK. INSTALLATION WILL BE BASED ON CONTRACTOR'S GUARANTEE TO MAINTAIN THE FOLLOWING REQUIRED TEMPERATURES.: 75 DEGREES IN THE SUMMER (OUTSIDE TEMPERATURE 95 DEGREES) AT 50% RELATIVE HUMIDITY AND 70 DEGREES IN WINTER (OUTSIDE TEMPERATURE 20 DEGREES) @ 50% RELATIVE HUMIDITY. SYSTEMS INSTALLED SHALL BE CAPABLE OF OPERATING AT A MINIMUM OF 15 SEER VARIABLE SPEED ELECTRIC HEAT PUMPS, CONFIRM EQUIPMENT WITH ARCHITECT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION. HVAC REGISTERS AND GRILLES SHALL BE CENTERED UNDER OR BETWEEN WINDOW AND DOORS AND WITHIN WALL AREAS UNLESS NOTED OTHERWISE. COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO FRAMING. IT IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR TO NOTIFY THE GENERAL CONTRACTOR OF FRAMING MODIFICATIONS NECESSARY TO CENTER GRILLES BEFORE INSTALLATION OF MECHANICAL COMPONENTS. DO NOT INSTALL GRILLES, ETC., OFF CENTER WITHOUT PRIOR APPROVAL OF ARCHITECT. IF OFF CENTERED GRILLES ARE INSTALLED WITHOUT APPROVAL, HVAC CONTRACTOR SHALL BEAR THE COST OF RELOCATION AT NO ADDITIONAL EXPENSE TO THE OWNER OR SCHEDULE DELAYS. FINISH COLOR OF ALL EXPOSED REGISTERS & GRILLES SHALL BE SELECTED BY ARCHITECT. HVAC CONTRACTOR SHALL PROVIDE AND INSTALL DUCTWORK REQUIRED BY EXHAUST FANS INDICATED. SUBMIT TO ARCHITECT FOR PRIOR APPROVAL, SAMPLES OF ALL OUTLET COVERS WHICH APPEAR ON THE ROOF OR IN THE EXTERIOR WALLS. ALSO OBTAIN IN ADVANCE ARCHITECT'S APPROVAL OF ALL PROPOSED DUCT OUTLET LOCATIONS. ALL EXHAUST FANS SHALL BE SELECTED FOR MINIMUM NOISE. JOIST BEARING ELDER UNITS PROVIDE 3" DEEP PAN BENEATH AIR HANDLER UNITS FOR OVERFLOW OF CONDENSING IN THE EVENT THE PRIMARY DRAIN BECOMES CLOGGED. INSTALL SECONDARY DRAIN FROM PAN TO EXTERIOR OF THE BUILDING. LOCATION OF ALL SECONDARY CONDENSE LINES SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION. INSULATE ALL PRIMARY CONDENSATED DRAIN PIPING WHERE ROUTED IN UNCONDITIONED SPACE.

CONCRETE & MASONRY

- 1. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS, STEM WALLS, THICKENED SLABS, STRAPPING, REINFORCING, ETC. CONCRETE FOR FOOTINGS AND INTERIOR SLABS SHALL BE MIN. 3000 PSI COMPRESSIVE STRENGTH. CONCRETE FOR EXTERIOR WALKS SHALL BE 4000 PSI. CONCRETE DRIVES & SLABS SHALL BE MIN. 4000 PSI COMPRESSIVE STRENGTH & MADE WITH NATURAL SAND. DO NOT LOAD CONCRETE PRIOR TO CURING. NO CONCRETE SHALL BE Poured SUBJECT TO FREEZING CONDITIONS OR ON FROZEN GROUND. BUILDER SHALL COORDINATE INSTALLATION OF ITEMS TO BE IMBEDDED IN CONCRETE WITH ALL TRADES. MASONRY SHALL BE LAID PLUMB, TRUE AND SQUARE WITH FILLED JOINTS. ALL WALLS SHALL BE ADEQUATELY BRACED AND SECURELY TIED TO THE STRUCTURE. NO WORK SHALL BE DONE SUBJECT TO FREEZING CONDITIONS. ALL EXPOSED WORK SHALL BE BRUSH CLEANED TO BE FREE OF SURFACE MORTAR. NEWLY LAID MASONRY SHALL NOT BE DISTURBED IN ANY MANNER. PROTECT MASONRY WORK FROM MOISTURE & TEMPERATURE CHANGES AT THE END OF EACH DAY'S WORK. CONCRETE MASONRY UNITS SHALL BE GRADE A UNITS CONFORMING WITH ASTM C-90, SOUND, CLEAN, DRY & FREE FROM CRACKS. CMU SHALL BE LAID RUNNING BOND USING FULL & HALF-BLOCKS UNLESS NOTED OTHERWISE. SAW-CUT BLOCKS IF NON-MODULAR DIMENSIONS ARE REQUIRED. REINFORCE CMU WHERE REQUIRED BY LOCAL CODES & AS RECOMMENDED BY A LOCALLY LICENSED STRUCTURAL ENGINEER AND AS DETAILED HEREIN. CONSULT STRUCTURAL ENGINEER IF CMU WALLS ARE REQUIRED TO ACT AS RETAINING WALLS. BACKFILL AFTER FIRST FLOOR IS SET.

DOORS & WINDOWS

- 1. VERIFY ALL DOOR, FRAME & WINDOW DIMENSIONS PRIOR TO ORDERING. 2. CONFIRM ALL ROUGH OPENING DIMENSIONS WITH MANUFACTURER. 3. ALL DOORS & WINDOWS SHALL BE SEALED AT TOP, BOTTOM & SIDES AND SHALL OPERATE SNUGLY & SMOOTHLY. BACK PRIME FRAMES BEFORE INSTALLING. 4. PROVIDE WEATHER STRIPPING AND WEATHER SWEEPS ON ALL DOORS LEADING TO UNCONDITIONED AREAS. ALL OPERABLE WINDOWS SHALL BE FACTORY WEATHER-STRIPPED AND PROVIDED WITH INSECT SCREENS. 5. PROVIDE SAFETY GLAZING IN ALL DOORS AND IN WINDOWS WHERE REQUIRED BY LOCAL CODES. 6. SEE PLANS AND EXTERIOR ELEVATIONS FOR WINDOW SIZES, HEAD HEIGHTS, ALIGNMENTS, WINDOW TYPES AND MUNTIN PATTERNS. NOTE WINDOW HEAD HEIGHTS ARE ESTABLISHED SPECIFICALLY FOR THIS RESIDENCE AND MAY NOT BE ASSUMED TO BE ANY "INDUSTRY STANDARD". 7. PROVIDE IMPACT RESISTANT AND TURTLE GLASS AT WINDOWS AND DOORS AS NOTED AND AS REQUIRED BY APPLICABLE CODES. 8. THE GENERAL CONTRACTOR SHALL COORDINATE ALL KEYING REQUIREMENTS WITH THE OWNER.

ELECTRICAL

- 1. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC ONLY. FURNISH ALL CONDUIT, WIRING, PANELS, BREAKERS, DISCONNECTS, ACCESSORIES, ETC. FOR COMPLETE INSTALLATION WHETHER OR NOT EACH ITEM IS SHOWN. THESE DRAWINGS ESTABLISH MINIMUM CRITERIA AND DO NOT NECESSARILY REPRESENT THE FINAL ARRANGEMENT OR CHARACTERISTICS OF THE ENGINEERED SYSTEM. ELECTRICAL SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND REQUIREMENTS OF LOCAL UTILITIES & AUTHORITIES HAVING JURISDICTION. 2. ELECTRICAL LOADS TO BE DETERMINED BY ELECTRICAL CONTRACTOR. 3. BUILDER AND ELECTRICAL SUBCONTRACTOR SHALL EXAMINE CONDITIONS OF CONSTRUCTION PRIOR TO INSTALLATION OF DEVICES TO VERIFY THAT DESIGN INTENT IS MAINTAINED. NOTIFY ARCHITECT OF ANY CONFLICTS. 4. INSTALL GFCI OUTLETS AS REQUIRED BY LOCAL CODES. AREAS REQUIRING GFCI OUTLETS INCLUDE KITCHEN, BATHS AND ANY OTHER AREA WITH RUNNING WATER OR EXPOSURE TO THE WEATHER. ALL OUTLETS IN SLEEPING AREAS SHALL BE AFC (ARC FAULT) TYPE AS REQUIRED BY CODE. EQUIPMENT SHALL BE SHOWN ON OTHER SHEETS WHICH REQUIRE ELECTRICAL SERVICE, INCLUDING WATER HEATER, CONDENSING UNITS, AIR HANDLERS, CONDENSATE PUMPS, ETC. PROVIDE ELECTRICAL SERVICE TO ALL SUCH EQUIPMENT. COORDINATE SERVICE REQUIRED. PROVIDE ADDITIONAL LIGHTING AND RECEPTACLES AT EQUIPMENT AS REQUIRED BY CODE. 5. PROVIDE PANELBOARD OF PROPER VOLTAGE & AMPACITY FOR ALL ELECTRICAL CIRCUITS AND ALL CALCULATED LOADS. PROVIDE A MINIMUM OF 8 SPARE CIRCUITS. 6. VERIFY SERVICE REQUIREMENTS WITH LOCAL POWER COMPANY. SIZE ALL FEEDERS ACCORDING TO NEC REQUIREMENTS. 7. RUN ALL CABLE CONCEALED IN WALLS, CEILING & FLOORS UNLESS NOTED OTHERWISE. SUPPORT ALL FIXTURES, EQUIPMENT, ETC. RIGIDLY FROM STRUCTURE OF BUILDING. INSULATE & SEAL SOLIDLY BEHIND ALL OUTLETS IN EXTERIOR WALLS. 8. PROVIDE SERVICE FOR ALL APPLIANCES AND EQUIPMENT (I.E. REFRIGERATOR, FREEZER, DISH WASHER, DISPOSAL, COOKTOP, VENT HOOD, OVENS, WASHER, DRYER, HVAC EQUIPMENT, ALARM PANEL, WATER HEATER, ETC.) AS REQUIRED, VERIFY WHETHER EQUIPMENT SHOULD BE HARDWIRED OR REQUIRES AN OUTLET. CONNECT AS REQUIRED. 9. LIGHT FIXTURES SHALL ALIGN WITH OR CENTER ON EACH OTHER OR ON ADJACENT ARCHITECTURAL ELEMENTS. COORDINATE LOCATION OF LIGHT FIXTURES WITH HVAC GRILLES FOR BEST ALIGNMENT. LIGHT FIXTURES RECEPTACLES & SWITCH LOCATIONS SHALL BE REVIEWED & APPROVED BY OWNER BEFORE INSTALLATION OF GYPSUM BOARD OR OTHER WALL & CEILING FINISHES. 10. SWITCHES SHALL BE LOCATED ADJACENT TO, BUT NOT INTERSECTING DOOR CASINGS & TRIM. GROUPED SWITCHES SHALL BE GANGED TOGETHER & COVERED BY A SINGLE PLATE. 11. COORDINATE LOCATION OF SWITCHES WITH ARCHITECT PRIOR TO INSTALLATION. 12. INSTALL HARDWIRED SMOKE DETECTORS WITH BATTERY BACK UP ON ALL FLOORS. PROVIDE DETECTORS AS REQUIRED BY CODE. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED SUCH THAT AN ACTIVATION OF ONE WILL ACTIVATE ALL ALARMS. 13. ALARM AND COMPUTER SYSTEMS ARE NOT SHOWN. CABLE TV AND TELEPHONE OUTLET LOCATIONS ARE DIAGRAMMATIC ONLY. VERIFY REQUIREMENTS FOR THESE SYSTEMS WITH THE OWNER AND INSTALL AS REQUIRED. 14. VERIFY ALL MOUNTING HEIGHTS WITH ARCHITECT. PRIOR TO INSTALLATION. 15. GO TO SCHEDULE A SITE INSPECTION WITH ARCHITECT TO VERIFY ELECTRICAL BOX LOCATIONS PRIOR TO THE INSTALLATION OF WIRING.

EXTERIOR ELEVATIONS

- 1. FINISH GRADE LINES ARE APPROXIMATE. FINISH GRADE SHALL SLOPE AWAY FROM THE BUILDING FOR AT LEAST 48" FROM BUILDING PERIMETER. 2. SEE DETAILS FOR FINISH MATERIALS NOT SHOWN ON ELEVATIONS. 3. GUTTERS AND DOWNSPOUTS HAVE BEEN DASHED IN. USE TRADITIONAL GALVALUME HALF-ROUND GUTTERS AND ROUND DOWNSPOUTS DIRECTED TO SWALE.

FLASHING

- 1. ALL FLASHING SHALL BE INSTALLED WITH CONCEALED CLEATS. FLASHINGS SHALL HAVE NO SURFACE OR EXPOSED FASTENERS. 2. BASE FLASHING SHALL BE GALVALUME. BASE FLASHING SHALL RUN UP 6" MINIMUM BENEATH SHEATHING AT WOOD FLOOR SYSTEM OR FLASH UP ONE BLOCK COURSE AT CMU BACKUP. 3. DOOR AND WINDOW HEAD FLASHING SHALL BE GALVALUME. 4. EAVE & RAKE FLASHING SHALL BE GALVALUME. ALL ROOF EDGE FLASHING SHALL EXTEND 6" MINIMUM BEHIND ROOFING FELT AND ROOFING. 5. VALLEY FLASHING SHALL BE GALVALUME, 12" WIDE CENTERED IN VALLEYS. LAP JOINTS 12" MINIMUM. 6. CHIMNEY & CRICKET FLASHINGS SHALL BE GALVALUME. INSTALL PAN FLASHING AT CHIMNEY WHICH EXTENDS FROM OUTSIDE FACE OF CHIMNEY TO INSIDE FACE OF FLUE LINER. TURN UP FLASHING 1/2" MIN. INSIDE FLUE LINER. PAN FLASHING SHALL OVERLAP STEP FLASHING 6" MINIMUM. THE MASONRY CHIMNEY TO ROOF FRAMING IMMEDIATELY BELOW FLASHING W/ RIGID METAL STRAPS (1 MIN. AT EACH SIDE OF CHIMNEY). CRICKETS SHALL BE INSTALLED ON HIGH SIDE OF ALL CHIMNEYS OR OTHER ROOF PENETRATIONS EXCEEDING 24" IN WIDTH. CRICKET FLASHING SHALL BE INSTALLED OVER PLYWOOD ROOF DECK. CRICKETS SHALL SLOPE 3/12 MINIMUM. 7. GUTTERS SHALL BE NATURAL FINISH GALVALUME. THE BACK LEG OF ALL GUTTERS SHALL EXTEND 1" MINIMUM ABOVE FRONT RIM. GUTTERS SHALL BE HUNG WITH MATCHING METAL STRIPS WHICH ARE ATTACHED UNDER ROOFING. PENETRATIONS OF BACK OF GUTTER OR EAVE FLASHING SHALL NOT BE PERMITTED. 8. DOWNSPOUTS SHALL BE NATURAL FINISH GALVALUME. DOWNSPOUTS SHALL BE ATTACHED TO WALL W/ MATCHING STRIPS WHICH ARE ATTACHED TO WALL BEHIND DOWNSPOUTS. HOLD DOWNSPOUTS TIGHT AGAINST WALLS. 9. PROVIDE FLASHING AT ALL WINDOWS AND DOORS IN EXTERIOR WALLS THROUGHOUT. PROVIDE PAN FLASHING UNDER EXTERIOR DOORS. PROVIDE ALL WALL, BASE, CAP, THRU-WALL COUNTER FLASHING, ECT. AS REQUIRED TO PREVENT ENTRANCE OF MOISTURE & WATER

FLOOR PLANS

- 1. ALL DIMENSIONS ARE FROM FACE OF BLOCK TO FACE OF BLOCK OR FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. STUDS NOT DIMENSIONED ARE TYPICALLY 3 1/2" DEEP (2X4) INTERIOR AND 5 1/2" (2X6) EXTERIOR UNLESS NOTED OTHERWISE. 2. MOISTURE RESISTANT DRYWALL SHALL BE USED IN ALL DAMP AREAS. WALL BOARD AT TILE WALL BE CEMENT BACKER BOARD W/ A VAPOR BARRIER AT STUDS. 3. WALL AND CEILING BOARD SHALL BE SCREW ATTACHED DRYWALL. USE 5/8" THICKNESS ON CEILING AND 1/2" ON WALLS. PROVIDE MINIMUM LEVEL 4 FINISH. REFER TO PLANS AND ELEVATIONS FOR WINDOW TYPES. WINDOW SIZES INDICATED ARE GENERIC SASH SIZES. COORDINATE OPERATION OF WINDOWS WITH OWNER/ARCHITECT 4. FIREPLACES, STOVES AND FLUES SHALL BE UL APPROVED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND ACCEPTED CONSTRUCTION PRACTICE. BUILDER SHALL ASSURE THAT ALL APPLICABLE CODES REGARDING FIRE SEPARATION, MATERIALS AND OTHER FIREPLACE, STOVE & FLUE REQUIREMENTS ARE MET OR EXCEEDED. BUILDER SHALL COORDINATE FLUE HEIGHT TO MATCH CHIMNEY HEIGHT SHOWN ON ELEVATIONS. BUILDER SHALL INCREASE CHIMNEY HEIGHT WHEN REQUIRED BY LOCAL CODE REQUIREMENTS. 5. CENTER PLUMBING FIXTURES IN SPACE PROVIDED UNLESS NOTED OTHERWISE. 6. THRESHOLD OFFSET DIMENSIONS ARE FROM FINISH FLOOR ELEVATIONS, UNLESS NOTED OTHERWISE. 7. PROVIDE FULL SOLID STUD BEARING UNDER ALL BEAM BEARING POINTS TO SOLID FLOOR CONDITION BELOW 8. TYPICAL EXTERIOR STUD WALLS SHALL BE SHEATHED WITH EXTERIOR GRADE PLYWOOD. PLYWOOD SHALL SPAN OVER ALL PLATES AND HEADERS AND BE ADEQUATELY NAILED TO CREATE A "DIAPHRAGM" WALL. COMPLY WITH STRUCTURAL ENGINEER'S DRAWINGS AND NOTES. 9. EXTERIOR WALL SHEATHING SHALL BE WRAPPED IN "TYVEK" HOUSEWRAP OR EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. 10. PROVIDE GAS SERVICE AS REQUIRED TO ALL GAS EQUIPMENT (I.E. FURNACES, WATER HEATERS, STOVES, AND GAS STARTERS AT FIREPLACES). CONTRACTOR TO COORDINATE ANY ADDITIONAL GAS SERVICE REQUIREMENTS. 11. PROVIDE SOLID WOOD BLOCKING (2 X 6 MINIMUM) FOR ATTACHMENT OF ALL WALL-MOUNTED FIXTURES, ACCESSORIES AND EQUIPMENT. 12. ALL WOOD FRAMING IN CONTACT WITH CONCRETE, MASONRY OR GROUND SHALL BE PRESERVATIVE TREATED.

FLOOR FRAMING

- 1. JOIST BEARING ELEVATION IS HEIGHT ABOVE SUBFLOOR OR FLOOR SLAB AT MAIN LEVEL. SEE WALL SECTIONS. 2. INSTALL ALL BRIDGING AND PERMANENTLY FASTEN JOISTS INTO PLACE BEFORE APPLYING ANY LOADS EXCEPT THE WEIGHT OF THE ERECTORS. 3. SLABS & DECKS SHALL BEAR UNIFORMLY ALONG THE TOP CHORDS OF THE JOISTS. 4. FLOOR DECK SHALL BE S2-LAYERS SPAIN-RATED EXPOSURE 1 T&G STURD-I-FLOOR PLYWOOD. HOLD DECKING PANELS APART AS RECOMMENDED BY DECKING MANUFACTURER. 5. HOLD FLOOR DECK PANELS AWAY FROM ITEMS PENETRATING FLOOR AS RECOMMENDED BY DECKING MANUFACTURER TO ALLOW FOR EXPANSION & CONTRACTION OF FLOOR DECK. 6. INSTALL DOUBLE FLOOR JOISTS UNDER ALL WALLS PARALLEL TO JOISTS. INSTALL SOLID BRIDGING BETWEEN FLOOR JOISTS UNDER WALLS PERPENDICULAR TO JOISTS. PROVIDE "X" OR SOLID BRACING AT 2'-0" MAX. FOR FLOOR JOISTS. PROVIDE DOUBLE HEADER JOISTS & TRIMMERS @ ALL FLOOR OPENINGS WHERE JOISTS TERMINATE. 7. ANCHOR WALLS TO FLOOR FRAMING AND FLOOR FRAMING TO FOUNDATION AS REQUIRED FOR LOCAL CONDITIONS, IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND AS SHOWN IN STRUCTURAL ENGINEER'S DRAWINGS/NOTES INCLUDED IN THIS SET. 8. ALL EFFORTS SHALL BE TAKEN TO ASSURE A "QUIET" FLOOR SYSTEM (GLUE AND SCREW PLYWOOD DECKING TO JOISTS.)

FOUNDATION

- 1. ALL FOUNDATION DIMENSIONS ARE TO FACE OF STUD, TO OUTSIDE FACE OF MASONRY WALLS OR TO CENTERLINE OF MASONRY PIERS UNLESS INDICATED OTHERWISE. DIMENSIONS TO FACE OF MASONRY ARE NOMINAL (MODULAR) DIMENSIONS. 2. IF SLOPES OR GRADES REQUIRE FOUNDATION WALLS TO EXCEED SIX BLOCKS IN HEIGHT, VERIFY REINFORCING WITH STRUCTURAL ENGINEER. COORDINATE ALL REQUIRED MODIFICATIONS WITH ARCHITECT AND STRUCTURAL ENGINEER. 3. BUILDER SHALL INSPECT SITE AND NOTIFY ARCHITECT AND/OR STRUCTURAL ENGINEER OF ANY NON-TYPICAL CONDITIONS RELATING TO SOILS, GROUND WATER, OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN. 4. BUILDER SHALL ESTABLISH FINISH FLOOR ELEVATION IN CONSULTATION WITH ARCHITECT. CONSIDER DESIGN INTENT, INCLUDING NUMBER OF STEPS, HEIGHT OF MASONRY, ETC. IN ESTABLISHING FLOOR ELEVATION. PROVIDE MINIMUM 24" CLEARANCE BELOW FLOOR JOISTS AT FRAMED FIRST FLOOR CONDITION. 5. STEPPING OF CONCRETE FOOTINGS IS NOT SHOWN. VERIFY STEPS W/ SITE CONDITIONS SO FOUNDATION HAS MINIMUM 12" COVER BELOW FINISH GRADE. 6. ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESERVATIVE TREATED. 7. BUILDER SHALL REVIEW ALL FLOOR FINISHES SELECTED AND SHALL ADJUST SLAB OR SUBFLOOR LEVELS TO PROVIDE SMOOTH & LEVEL TRANSITION BETWEEN DISSIMILAR FLOOR FINISH MATERIALS. 8. TREAT ALL AREAS WITHIN THE FOUNDATION PERIMETER AGAINST TERMITE INFESTATION. INSTALL ALUMINUM SHEET METAL TERMITE SHIELDS CONTINUOUS BETWEEN WOOD AND CONCRETE OR MASONRY SURFACES. 9. FOUNDATION DRAINS SHALL BE 4" PERFORATED FLEXIBLE PIPE INSTALLED AT ALL CONTINUOUS EXTERIOR FOOTINGS. PIPE SHALL EXTEND TO DRAIN BY GRAVITY. SURROUND DRAINS WITH DRAINAGE FILL & COVER WITH 18" OF GRAVEL. 10. CONTRACTOR FIELD VERIFY ALL PLUMBING DIMENSIONS AND LOCATIONS. 11. COORDINATE ANY FLOOR OUTLETS WITH ARCHITECT AND ELECTRICAL DRAWINGS.

INSULATION

- 1. PROVIDE THE FOLLOWING MINIMUM INSULATION R-VALUES: CEILING: R-30 WALLS: R-19 FLOORS: R-24

INTERIORS

- 1. CONTRACTOR SHALL COORDINATE ALL SHELVING/CLOSET REQUIREMENTS (PANTRY, COAT CLOSETS, STORAGE, ECT) AND OTHER ACCESSORIES WITH OWNER. 2. PRIOR TO INSTALLATION AND/OR APPLICATION, ALL MATERIAL FINISHES AND COLORS SHALL REQUIRE APPROVAL BY OWNER. 3. UNDERSIDE OF STAIRS TO BE FINISHED. 4. WALLS, CEILING AND FLOOR ACCESSORY SPACES SUCH AS CLOSETS AND STORAGE AREAS SHALL MATCH THE ROOMS THEY SERVE UNLESS NOTED OTHERWISE IN FINISH SCHEDULES, LEGENDS, AND/OR INTERIOR ELEVATIONS.

SECTIONS

- 1. BUILDING SECTIONS ARE ABSTRACTED OUTLINES OF ACTUAL BUILDING COMPONENTS. SEE WALL SECTIONS & OTHERS FOR COMPLETE CONFIGURATION AND DETAILS. 2. BUILDER SHALL ESTABLISH FINISHED FLOOR ELEVATIONS IN CONSULTATION WITH THE ARCHITECT. BUILDER SHALL TAKE INTO ACCOUNT DESIGN INTENT, INCLUDING NUMBER OF STEPS, WATER TABLE MASONRY, ETC. BUILDER SHALL ALSO ASSURE THAT THERE IS ADEQUATE CLEARANCE BETWEEN FINISH GRADE AND ANY WOOD CONSTRUCTION. 3. WALL HEIGHT DIMENSIONS ARE ACTUAL HEIGHT OF WALL. ACTUAL STUD HEIGHT WILL BE LESS, DEPENDING ON NUMBER OF TOP & BOTTOM PLATES. 4. MASONRY DIMENSION ARE TO TOP OF BRICK, STONE OR CMU.

MECHANICAL

- 1. SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CODES & STANDARDS AND REQUIREMENTS OF LOCAL UTILITY OFFICIALS, DESIGN & SIZE EQUIPMENT, DUCTS, ACCESSORIES, ARRANGEMENT, ETC. IN ACCORDANCE WITH THE CURRENTS EDITIONS OF THE ASHRAE HANDBOOK OF FUNDAMENTALS AND MANUAL J. 2. FURNISH ALL DUCTWORK, CONTROL WRING, PIPING, FITTINGS, ACCESSORIES, ETC. FOR COMPLETE INSTALLATION. 3. INSULATE ALL HEATING OR CONDENSER WATER LINES IN UNINSULATED SPACES W/ SELF-SEALING TUBULAR FOAM INSULATION. 4. ALL CONSTRUCTION SHALL COMPLY WITH THE FLORIDA RESIDENTIAL ENERGY CODE. 5. CLOSELY COORDINATE WITH OTHER TRADES. MAINTAIN CEILING HEIGHTS AND DUCT SPACES PROVIDED. 6. ALL VALVES, DAMPERS & OTHER CONTROL DEVICES SHALL BE ACCESSIBLE FOR OPERATION & MAINTENANCE. PLACE IN CONCEALED AREAS WHERE POSSIBLE. PROVIDE ACCESS PANELS AS APPROVED BY THE ARCHITECT. 7. ALL UNITS SHALL HAVE AUXILIARY DRAIN PANS INSTALLED BELOW ENTIRE UNIT W/ DRAIN TO EXTERIOR. 8. PROVIDE FRESH AIR DUCT TO EACH AIR-HANDLER. 9. COORDINATE WITH ELECTRICAL REGARDING ITEMS REQUIRING ELECTRICAL SERVICE. COORDINATE SERVICE & AMPACITY REQUIRED. 10. BUILDER SHALL TEST AND BALANCE ALL SYSTEMS PRIOR TO COMPLETION OF THE WORK. 11. ALL AIR HANDLERS AND DUCTWORK SHALL BE CONTAINED WITHIN THE INSULATED BUILDING ENVELOPE. 12. NOTIFY ARCHITECT OF DIMENSIONS AND CLEARANCES FOR ALL HVAC EQUIPMENT AND DUCTWORK PRIOR TO FRAMING FLOORS, WALLS CEILINGS AND INTERIOR SOFFITS. COORDINATE CONSTRUCTION WITH EQUIPMENT MANUFACTURER. 13. PLUMBING AND MECHANICAL VENTS SHALL BE GROUPED WITHIN THE HOUSE STRUCTURE OR ATTIC SPACE WHEN POSSIBLE TO MINIMIZE ROOF PENETRATIONS. ALL PLUMBING AND MECHANICAL VENTS WHICH EXTEND ABOVE THE ROOF SHALL BE LOCATED AWAY FROM PUBLIC VIEW, I.E. NO VENTS ARE ALLOWED ON FRONT ROOF AREA OR AREAS VISIBLE FROM CORNER STREETS OR OUTDOOR LIVING AREAS. ALL VENTS AND PENETRATIONS SHALL MATCH THE ROOF COLOR. 14. MECHANICAL CONTRACTOR TO VERIFY SIZE, EFFICIENCY AND PLACEMENT OF ALL MECHANICAL EQUIPMENT. GENERAL CONTRACTOR TO CONSULT WITH MECHANICAL CONTRACTOR AND/OR MECHANICAL ENGINEER AND NOTIFY ARCHITECT OF ANY DIFFICULTY WITH INSTALLATION, EFFICIENCY, OR PERFORMANCE OF SYSTEMS PRIOR TO CONSTRUCTION. 15. MECHANICAL CONTRACTOR SHALL BE LICENSED IN THE STATE WHERE CONSTRUCTION IS TAKING PLACE. NOISE CONTROL: THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ARRANGING DUCTWORK AND UTILIZING MATERIAL IN A MANNER WHICH WILL PREVENT NOISE FROM BEING TRANSFERRED TO THE HABITABLE SPACES. AIR HANDLING UNITS IN ATTIC SHALL BE MOUNTED ON ISOLATION PADS. TRUNK LINES TO BE SHEET METAL EXCEPT WHERE OTHERWISE INDICATED. SHEET METAL IS TO BE GALVANIZED WHERE USED. INSULATE SUPPLY AND RETURN DUCTS WITH R-8 MINIMUM INSULATION. INSTALL DUCT AND INSULATION IN A MANNER THAT INSURES A COMPLETE VAPOR BARRIER AROUND ALL COLD SURFACES. PROVIDE MULTIPLE RETURN AIR LOCATIONS (ONE PER BEDROOM, ETC.) TO EQUALIZE AND LESSEN AIR NOISE. COORDINATE LOCATION OF DUCT WORK WITH GENERAL CONTRACTOR AND ARCHITECT PRIOR TO INSTALLATION. ANY EXPOSED DUCTWORK (NOT FURRED IN) BELOW FIRST FLOOR SHALL BE SHEET METAL AND PAINTED BLACK. 16. INSTALLATION WILL BE BASED ON CONTRACTOR'S GUARANTEE TO MAINTAIN THE FOLLOWING REQUIRED TEMPERATURES.: 75 DEGREES IN THE SUMMER (OUTSIDE TEMPERATURE 95 DEGREES) AT 50% RELATIVE HUMIDITY AND 70 DEGREES IN WINTER (OUTSIDE TEMPERATURE 20 DEGREES) @ 50% RELATIVE HUMIDITY. SYSTEMS INSTALLED SHALL BE CAPABLE OF OPERATING AT A MINIMUM OF 15 SEER VARIABLE SPEED ELECTRIC HEAT PUMPS, CONFIRM EQUIPMENT WITH ARCHITECT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION. HVAC REGISTERS AND GRILLES SHALL BE CENTERED UNDER OR BETWEEN WINDOW AND DOORS AND WITHIN WALL AREAS UNLESS NOTED OTHERWISE. COORDINATE WITH THE GENERAL CONTRACTOR IN REGARD TO FRAMING. IT IS THE RESPONSIBILITY OF THE HVAC CONTRACTOR TO NOTIFY THE GENERAL CONTRACTOR OF FRAMING MODIFICATIONS NECESSARY TO CENTER GRILLES BEFORE INSTALLATION OF MECHANICAL COMPONENTS. DO NOT INSTALL GRILLES, ETC., OFF CENTER WITHOUT PRIOR APPROVAL OF ARCHITECT. IF OFF CENTERED GRILLES ARE INSTALLED WITHOUT APPROVAL, HVAC CONTRACTOR SHALL BEAR THE COST OF RELOCATION AT NO ADDITIONAL EXPENSE TO THE OWNER OR SCHEDULE DELAYS. FINISH COLOR OF ALL EXPOSED REGISTERS & GRILLES SHALL BE SELECTED BY ARCHITECT. HVAC CONTRACTOR SHALL PROVIDE AND INSTALL DUCTWORK REQUIRED BY EXHAUST FANS INDICATED. SUBMIT TO ARCHITECT FOR PRIOR APPROVAL, SAMPLES OF ALL OUTLET COVERS WHICH APPEAR ON THE ROOF OR IN THE EXTERIOR WALLS. ALSO OBTAIN IN ADVANCE ARCHITECT'S APPROVAL OF ALL PROPOSED DUCT OUTLET LOCATIONS. ALL EXHAUST FANS SHALL BE SELECTED FOR MINIMUM NOISE. JOIST BEARING ELDER UNITS PROVIDE 3" DEEP PAN BENEATH AIR HANDLER UNITS FOR OVERFLOW OF CONDENSING IN THE EVENT THE PRIMARY DRAIN BECOMES CLOGGED. INSTALL SECONDARY DRAIN FROM PAN TO EXTERIOR OF THE BUILDING. LOCATION OF ALL SECONDARY CONDENSE LINES SHALL BE APPROVED BY THE ARCHITECT BEFORE INSTALLATION. INSULATE ALL PRIMARY CONDENSATED DRAIN PIPING WHERE ROUTED IN UNCONDITIONED SPACE.

PLUMBING

- 1. ALL WORK WILL CONFORM WITH THE REQUIREMENTS OF THE STANDARD PLUMBING CODE AS ADOPTED BY LOCAL COUNTY BUILDING DEPARTMENT REGULATIONS. 2. MAIN WATER INLET SHALL BE LOCATED IN AN ACCESSIBLE LOCATION AND HAVE A SHUTOFF VALVE EASILY OPERABLE BY THE OWNER. 3. CONTRACTOR IS TO TEST ALL WORK AS PRESCRIBED BY LOCAL CODES AND OBTAIN ACCEPTANCE FROM INSPECTOR. 4. PROVIDE EXTERIOR HOSE BIBS IN LOCATION AS INDICATED ON DRAWINGS. INCLUDE (1) AT EACH PORCH AND A MINIMUM OF (3). 5. COORDINATE IRRIGATION REQUIREMENTS WITH GENERAL CONTRACTOR AND PROVIDE NECESSARY CONNECTION TO EQUIPMENT. 6. PROVIDE VALVES AT BOTTOM OF SYSTEM NEAR GRADE AS NECESSARY SO THE ENTIRE PLUMBING SYSTEM CAN BE DRAINED. OBTAIN APPROVAL FROM THE ARCHITECT FOR DRAIN VALVE LOCATION PRIOR TO INSTALLATION. 7. PROVIDE CONNECTIONS TO WATER AND SEWER SYSTEMS. SATISFY REQUIREMENTS OF LOCAL AUTHORITIES. 8. MIN. WATER PIPING SIZE SHALL BE 1/2" EXCEPT FINAL CONNECTION TO WHICH SHALL BE THE SAME AS THE FIXTURE CONNECTION. MAKE TRANSITION AT OR AFTER STOP VALVES. SUPPORT PIPING TO AVOID SAGGING. MAXIMUM SPACING SHALL BE 6 FEET. 9. FINAL CONNECTION TO SINKS, BATHS AND WATER CLOSETS MAY BE MADE WITH BRAIDED STAINLESS STEEL FLEXIBLE CONNECTORS. PLASTIC FLEXIBLE CONNECTORS SHALL NOT BE USED UNLESS NOTED OTHERWISE. 10. ALL HOT WATER PIPING SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. ANY LENGTHS EXCEEDING 40' SHALL BE INSULATED.

ROOF PLAN

- 1. SEE FLOOR PLANS FOR BUILDING DIMENSIONS. DO NOT SCALE DRAWINGS. 2. RAFTER, TRUSS OR JOIST ELEVATION IS HEIGHT ABOVE SUBFLOOR OR FLOOR SLAB AT MAIN LEVEL. SEE WALL SECTIONS FOR CLARIFICATION. 3. INSTALL ALL BRIDGING AND PERMANENTLY FASTEN JOISTS AND TRUSSES BEFORE APPLYING ANY LOADS EXCEPT THE WEIGHT OF THE ERECTORS. 4. ROOF DECK SHALL BE SPAIN-RATED EXPOSURE 1 T & G STURD-I-FLOOR PLYWOOD. 5. HIP RAFTERS, VALLEY RAFTERS & RIDGE BOARDS SHALL BE ONE SIZE LARGER THAN RAFTERS, OR AS SHOWN IN THE STRUCTURAL DRAWINGS. PURLINS SHALL BE THE SAME SIZE AS RAFTERS. PROVIDE 2 X 6 RAFTER TIES WHERE CEILING JOISTS RUN PERPENDICULAR TO RAFTERS. 6. SEE WALL SECTIONS FOR CONFIGURATION OF FRAMING MEMBERS AT EXTERIOR WALLS. 7. ANCHOR WALLS TO ROOF FRAMING AS REQUIRED FOR LOCAL CONDITIONS, IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND AS SHOWN IN STRUCTURAL ENGINEER'S DRAWINGS/NOTES INCLUDED IN THIS SET. 8. CRICKETS SHALL BE INSTALLED AT HIGH SIDE OF ALL CHIMNEYS AND VERTICAL ROOF PENETRATIONS EXCEEDING 24" IN WIDTH. REFER TO FLASHING NOTES.

SITE

- 1. AN ENGINEER OR SURVEYOR SHALL STAKE OUT AND/OR VERIFY THE LOCATION OF ALL STRUCTURES RELATIVE TO ALL PROPERTY LINES, SETBACKS AND EASEMENTS TO INSURE THAT CONSTRUCTION COMPLIES WITH THE REQUIREMENTS OF ALL ZONING & BUILDING CODES AND DESIGN GUIDELINES. PROVIDE AS BUILT SURVEY SHOWING LAYOUT COMPLIANCE WITH ALL SETBACKS, ETC. 2. VERIFY EXISTING GRADES, TREE LOCATIONS, PROPOSED LOCATION OF STRUCTURES AND ADVISE ARCHITECT OF ANY CONDITIONS WHICH MIGHT REQUIRE MODIFICATION OF LOCATION OR DESIGN PRIOR TO START OF ANY WORK. 3. COORDINATE FINAL GRADING AND PAVING TO DIRECT ALL STORM WATER TO SWALES OR ENGINEERED DRAINAGE SYSTEM. 4. LOCATE UTILITY SERVICES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV) AND COORDINATE EXTENSIONS TO HOUSE. ALL METERS AND CONNECTIONS SHALL BE LOCATED SO AS NOT TO BE VIEWED FROM ANY STREET OR COMMON PROPERTY EXCEPT FOR ALLEYS AND TO MINIMIZE VISUAL IMPACT. HOLD METERS AS LOW AS POSSIBLE TO ALLOW EFFECTIVE SCREENING.

INDEX TO SHEETS table with columns: ARCHITECTURAL, ELECTRICAL, CIVIL, LANDSCAPE and rows: A001 INDEX AND NOTES, A002 SURVEY BY OTHERS, A101 SITE PLAN AND FLOOR PLAN, A301 EXTERIOR ELEVATIONS, A401 BUILDING AND WALL SECTIONS, A402 BUILDING SECTIONS & ROOF PLAN

ARCHITECTURAL ABBREVIATIONS table with columns: ABBV., EXT., MULL., SPEC., etc. and rows: ABOVE FINISHED FLOOR, ABOVE FINISHED FLOOR ACCESS, ACROSS, ADJACENT, ADJUSTABLE, ALTERNATE, APPROXIMATE, ARCHITECTURAL AREA DRAIN, AUTO AUTOMATIC, BENCH MARK, BLOCKING BOARD, BUILT IN, BOTTOM OF CURB, BUILDING, BUILT UP ROOF, CABINET, CASED OPENING, CEASEMENT, CENTER, CEILING, CEILING HEIGHT, CENTIMETER, COLUMN, CORNER, CONCRETE, CONCRETE UNIT, CONTINUOUS CONTROL JOINT, CUBIC FOOT, CUBIC FT., CUBIC YARD, DIAGONAL DIMENSION, DIMENSION, DOUBLE, DOUBLE HUNG, DOWN SPOUT, DOWNSPOUT, DOWNSPOUT, DRAWING, EACH, ELECTRIC, ELEVATION, ENCLOSURE, EQUAL, EQUIPMENT, EXISTING, EXPANDED, EXPOSED

BOHEME

A BOHEME Design LLC

31 Main Street PO Box 611328 Rosemary Beach, Florida 32461

Phone 850.231.6803 Fax 850.231.6840

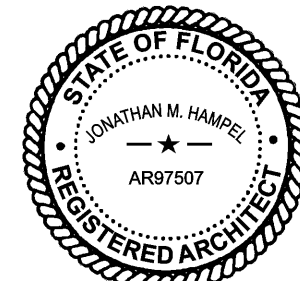
AA26001879

COPYRIGHT 2024 A BOHEME DESIGN, LLC

Only with prior written consent of A BOHEME Design, LLC may the design concepts, drawings or written material herein be reproduced in any form or format, whether in part or whole. Contractor, Sub-contractors and Suppliers do not scale drawings. Use only dimensions provided herein. If any dimension is not provided or if any dimensions are in conflict with field dimensions or other dimensions contained herein, notify A BOHEME Design for clarification. It shall be the Contractor's responsibility to check and verify all conditions and dimensions at the job site and to verify all dimensions necessary for any specified products or equipment from manufacturer's recommendations.

Seal

Digitally signed by Jonathan Hampel Date: 2024.11.20 15:14:59 -06'00



PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND VALID. THE SIGNATURE MUST BE VERIFIED WITH THE ORIGINAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61B10-16.0 F.A.C.

Issues and Revisions

Table with 3 columns: No., Date, Description. Row 01: 3/1/2024 FOR REVIEW. Row 02: 11/20/2024 FOR CONSTRUCTION

Project Number: ABD2407

Berthold Residence at Bobcat Lane

992 S Bobcat Ln. Columbia County, Florida

Owner: Matthew Berthold 4262 Bunker Road Vernon, FL 32462

Sheet Name:

NOTES, SHEET INDEX

NOTES

A001

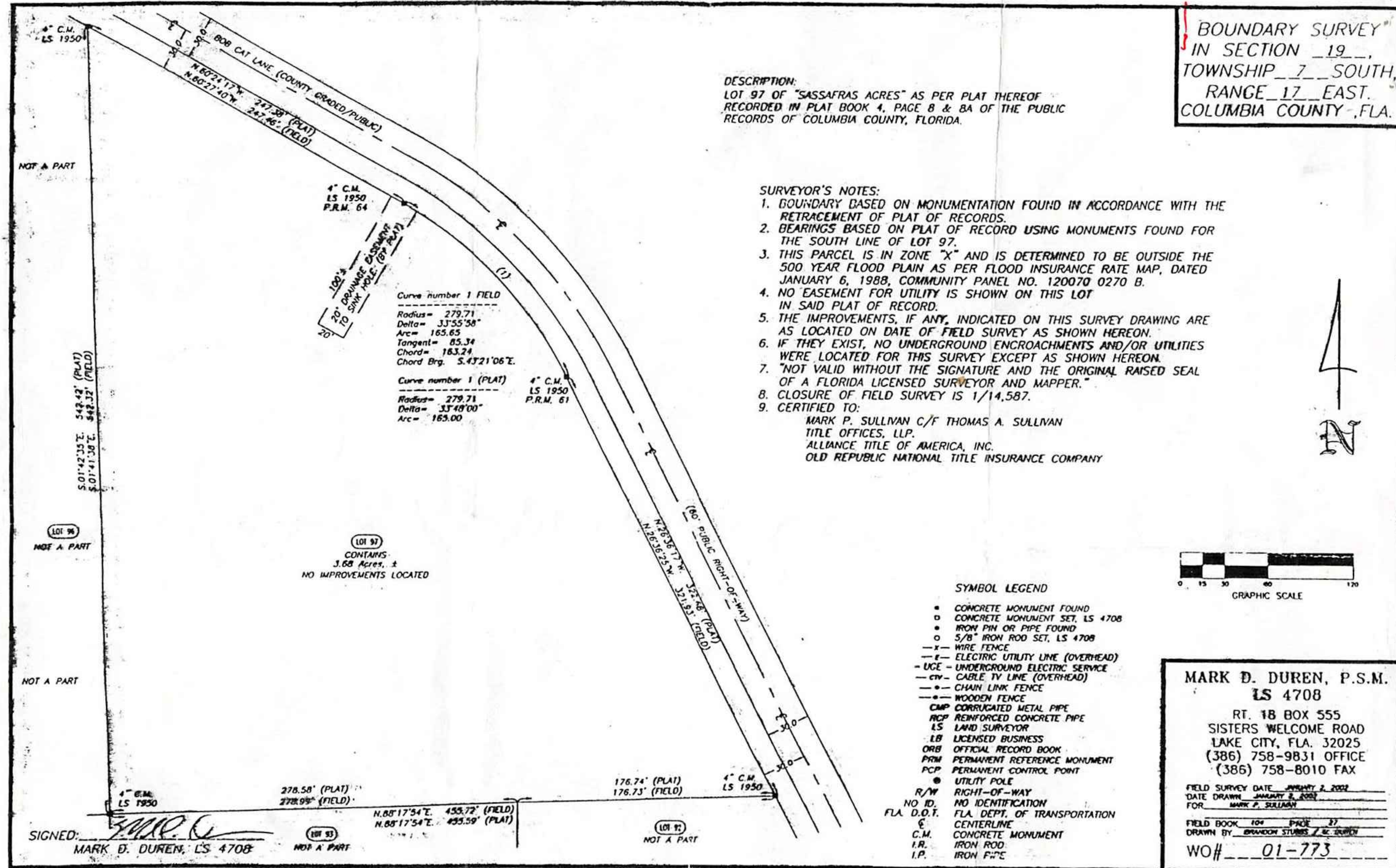
COPYRIGHT 2024 A BOHEME DESIGN, LLC  
Only with prior written consent of A BOHEME Design, LLC may the design concepts, drawings or written material herein be reproduced in any form or format, whether in part or whole. Contractor, Sub-contractors and Suppliers do not scale drawings. Use only dimensions provided herein. If any dimension is not provided or if any dimensions are in conflict with field dimensions or other dimensions contained herein, notify A BOHEME Design for clarification. It shall be the Contractor's responsibility to check and verify all conditions and dimensions at the job site and to verify all dimensions necessary for any specified products or equipment from manufacturer's recommendations.

Seal

SURVEY PROVIDED BY OTHERS

Issues and Revisions

No.	Date	Description
01	3/1/2024	FOR REVIEW
02	11/20/2024	FOR CONSTRUCTION



1 OWNER PROVIDED SURVEY BY MARK D. DUREN, P.S.M.  
SURVEY NOT PRINTED TO SCALE

COPYRIGHT 2024 A BOHEME DESIGN, LLC  
Only with prior written consent of A BOHEME Design, LLC may the design concepts, drawings or written material herein be reproduced in any form or format, whether in part or whole. Contractor, Sub-contractors and Suppliers do not scale drawings. Use only dimensions provided herein. If any dimension is not provided or if any dimensions are in conflict with field dimensions or other dimensions contained herein, notify A BOHEME Design for clarification. It shall be the Contractor's responsibility to check and verify all conditions and dimensions at the job site and to verify all dimensions necessary for any specified products or equipment from manufacturer's recommendations.

Seal

Issues and Revisions

No.	Date	Description
01	3/1/2024	FOR REVIEW
02	11/20/2024	FOR CONSTRUCTION

Project Number: ABD2407

Project:  
**Berthold Residence  
at Bobcat Lane**

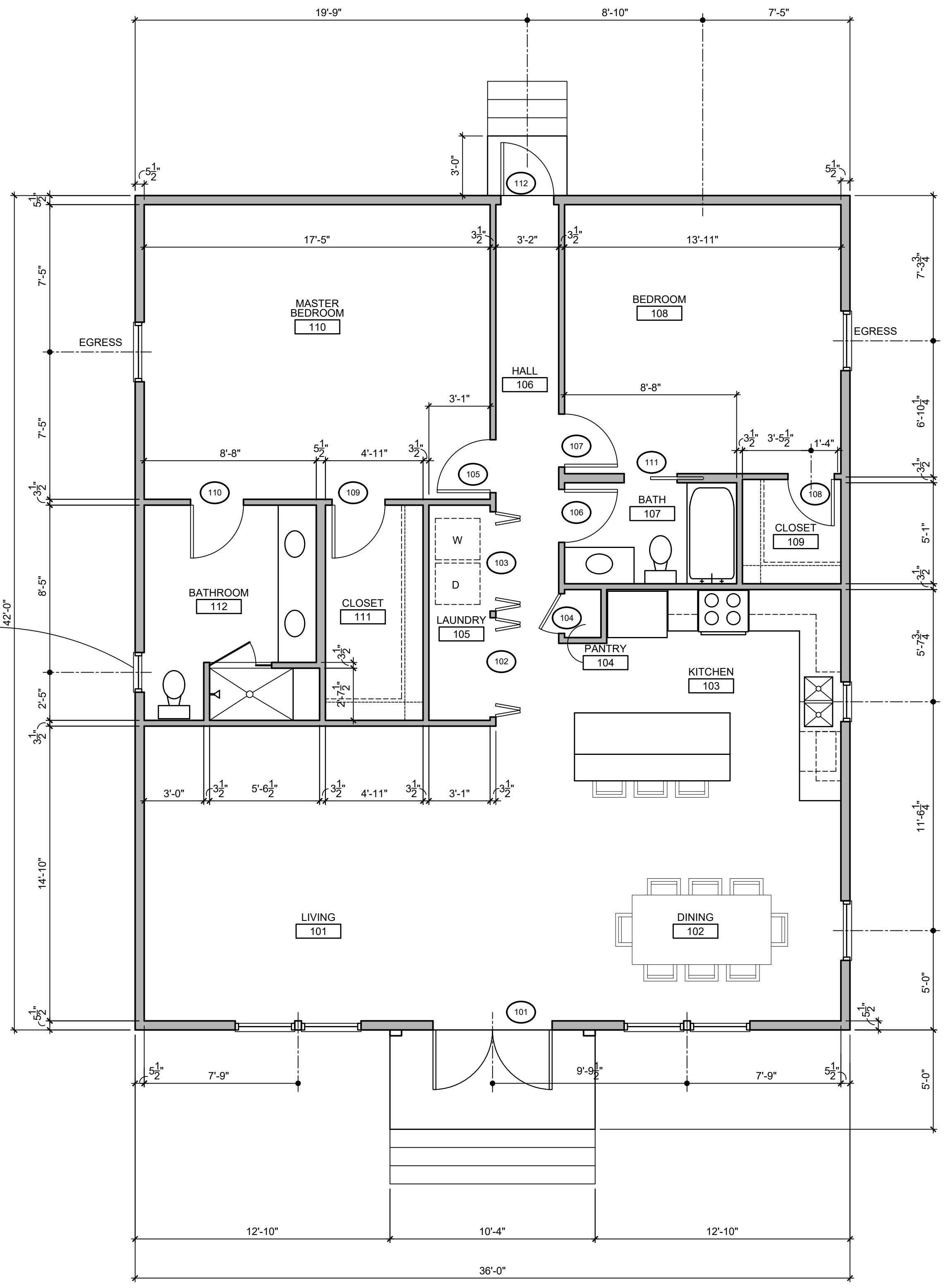
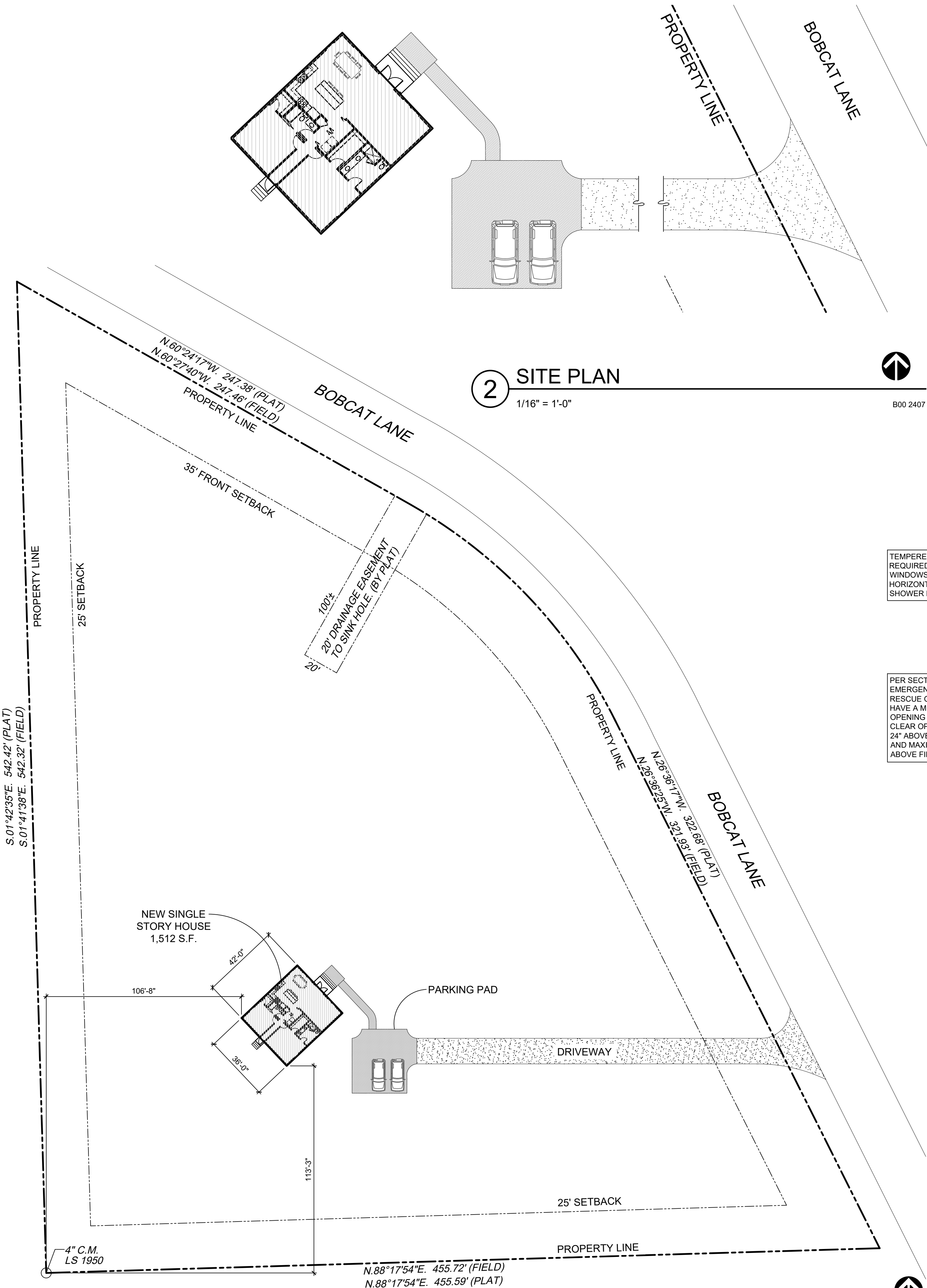
992 S Bobcat Ln.  
Columbia County, Florida

Owner:  
Matthew Berthold  
4262 Bunker Road  
Vernon, FL 32462

Sheet Name:

Site Plan  
Floor Plan

Plans



TEMPERED GLAZING  
REQUIRED @ BATHROOM  
WINDOWS WITHIN 60"  
HORIZONTALLY OF TUB OR  
SHOWER PER I308.4.5

PER SECTION R310, ALL  
EMERGENCY ESCAPE AND  
RESCUE OPENINGS SHALL  
HAVE A MIN. NET CLEAR  
OPENING OF 5.7 SF. MIN.  
CLEAR OPENING HEIGHT IS  
24" ABOVE FINISHED FLOOR  
AND MAXIMUM HEIGHT IS 44"  
ABOVE FINISHED FLOOR.

DOOR SCHEDULE				
101	FRENCH DOOR PAIR	EXTERIOR PORCH DOOR	GLASS/ALUMINUM	6'-0" X 8'-0"
102	BI-FOLDING PAIR	LAUNDRY DOOR	PTD. WOOD	5'-0" X 6'-8"
103	BI-FOLDING PAIR	LAUNDRY DOOR	PTD. WOOD	5'-0" X 6'-8"
104	RAISED PANEL SINGLE	INTERIOR PANTRY	PTD. WOOD	2'-0" X 6'-8"
105	RAISED PANEL SINGLE	INTERIOR BEDROOM	PTD. WOOD	2'-8" X 6'-8"
106	RAISED PANEL SINGLE	INTERIOR BATHROOM	PTD. WOOD	2'-8" X 6'-8"
107	RAISED PANEL SINGLE	INTERIOR BEDROOM	PTD. WOOD	2'-8" X 6'-8"
108	RAISED PANEL SINGLE	INTERIOR CLOSET	PTD. WOOD	2'-4" X 6'-8"
109	RAISED PANEL SINGLE	INTERIOR CLOSET	PTD. WOOD	2'-4" X 6'-8"
110	RAISED PANEL SINGLE	INTERIOR BATHROOM	PTD. WOOD	2'-8" X 6'-8"
111	RAISED PANEL SINGLE POCKET	INTERIOR CLOSET	PTD. WOOD	2'-8" X 6'-8"
112	FRENCH DOOR SINGLE	EXTERIOR REAR PORCH	GLASS/ALUMINUM	2'-8" X 6'-8"
				ENTRY
				DUMMY
				PASSAGE
				PRIVACY
				PRIVACY
				PASSAGE
				PASSAGE
				PRIVACY
				PRIVACY - POCKET
				ENTRY

\* PROVIDE A BATHROOM DOOR WITH MIN. 28" CLEAR OPENING @ 90 DEGREES PER R320

COPYRIGHT 2024 A BOHEME DESIGN, LLC  
Only with prior written consent of A BOHEME Design, LLC may the design concepts, drawings or written material herein be reproduced in any form or format, whether in part or whole. Contractor, Sub-contractors and Suppliers do not scale drawings. Use only dimensions provided herein. If any dimension is not provided or if any dimensions are in conflict with field dimensions or other dimensions contained herein, notify A BOHEME Design for clarification. It shall be the Contractor's responsibility to check and verify all conditions and dimensions at the job site and to verify all dimensions necessary for any specified products or equipment from manufacturer's recommendations.

Seal

Issues and Revisions

No.	Date	Description
01	3/1/2024	FOR REVIEW
02	11/20/2024	FOR CONSTRUCTION

Project Number: ABD2407

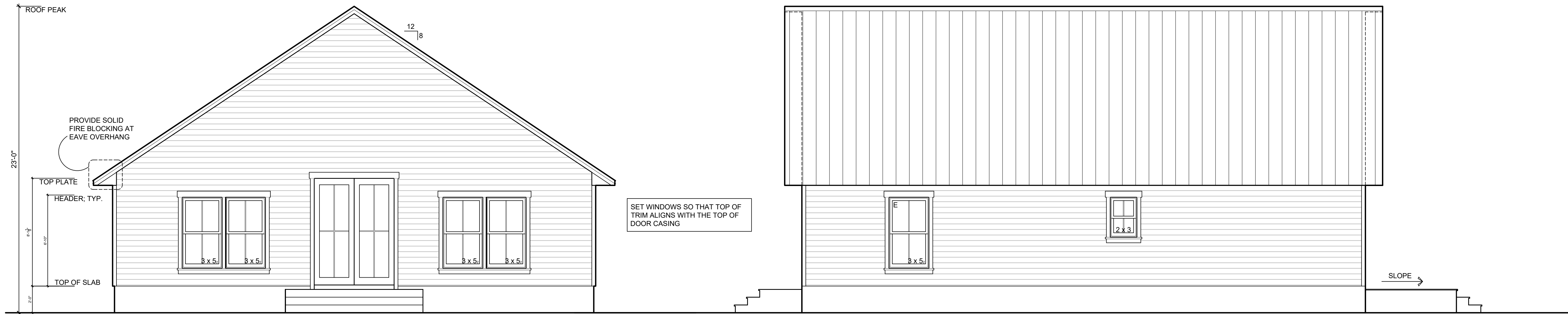
Project:  
**Berthold Residence  
at Bobcat Lane**

992 S Bobcat Ln.  
Columbia County, Florida

Owner:  
Matthew Berthold  
4262 Bunker Road  
Vernon, FL 32462

Sheet Name:  
EXTERIOR ELEVATIONS

ELEVATIONS



**1 FRONT - EAST ELEVATION**

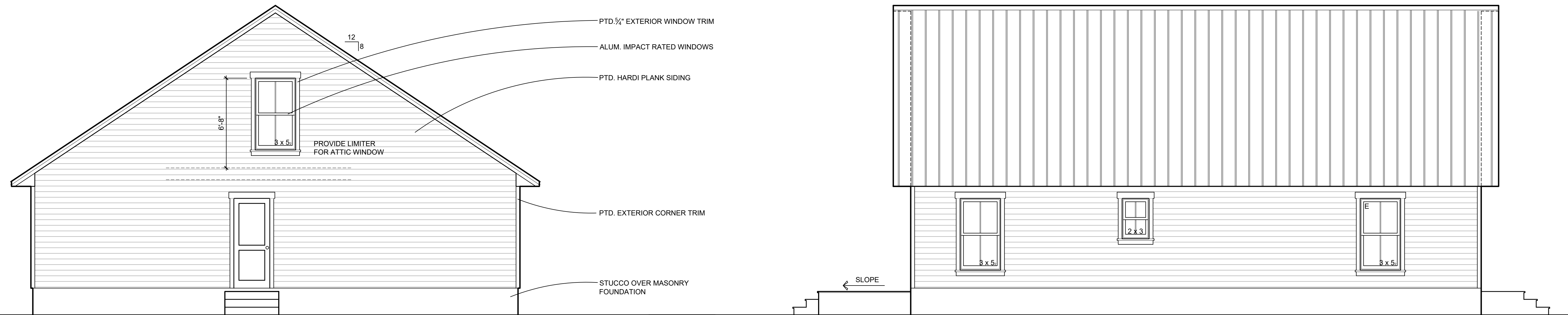
SCALE: 1/4" = 1'-0"

**2 LEFT SIDE - SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"

"E" MARK ON WINDOWS DENOTES UNITS WITH REQUIRED EGRESS

PER SECTION R310, ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SF. MIN. CLEAR OPENING HEIGHT IS 24" ABOVE FINISHED FLOOR AND MAXIMUM HEIGHT IS 44" ABOVE FINISHED FLOOR.



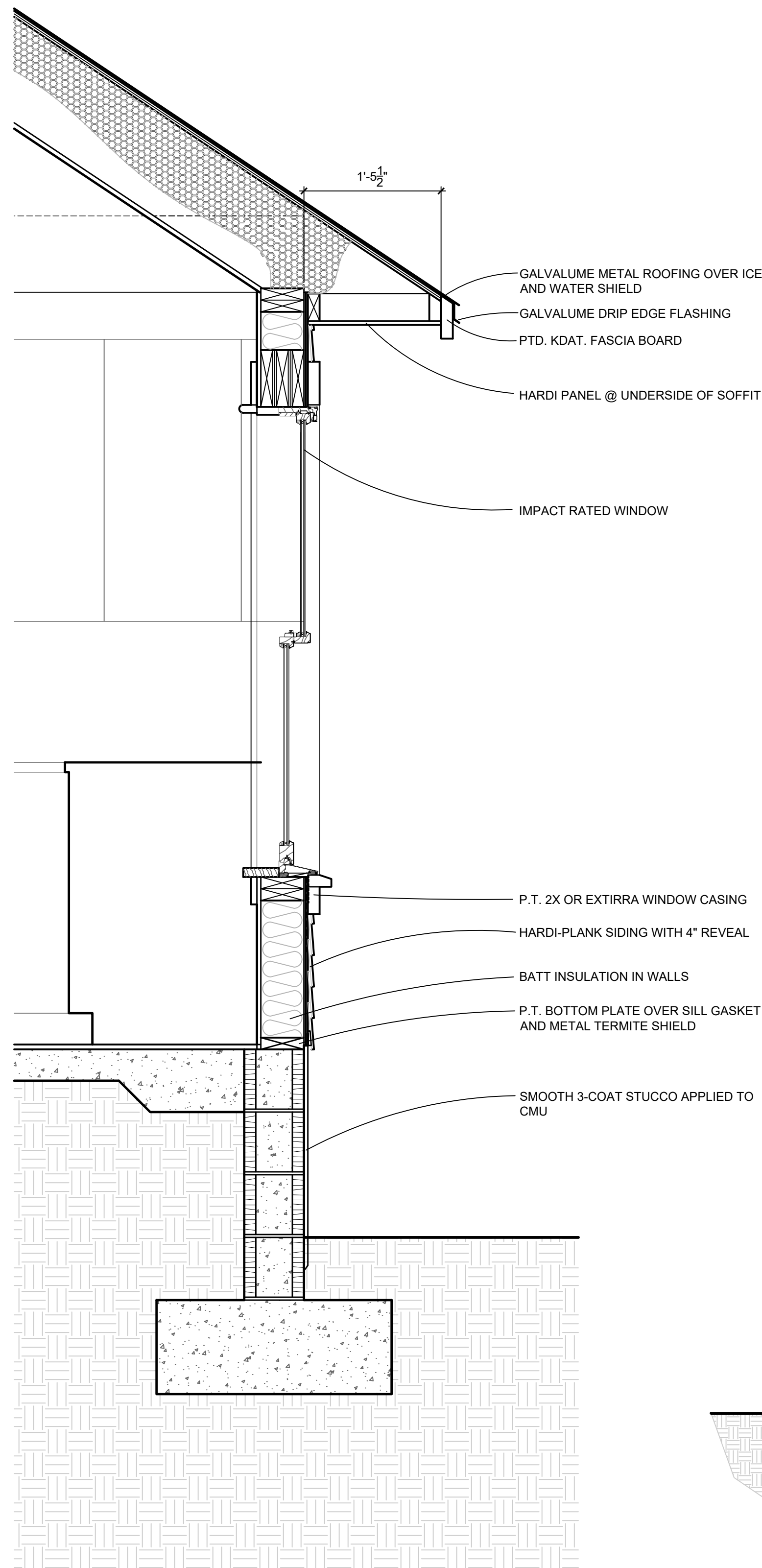
**3 REAR - WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**4 RIGHT SIDE - NORTH ELEVATION**

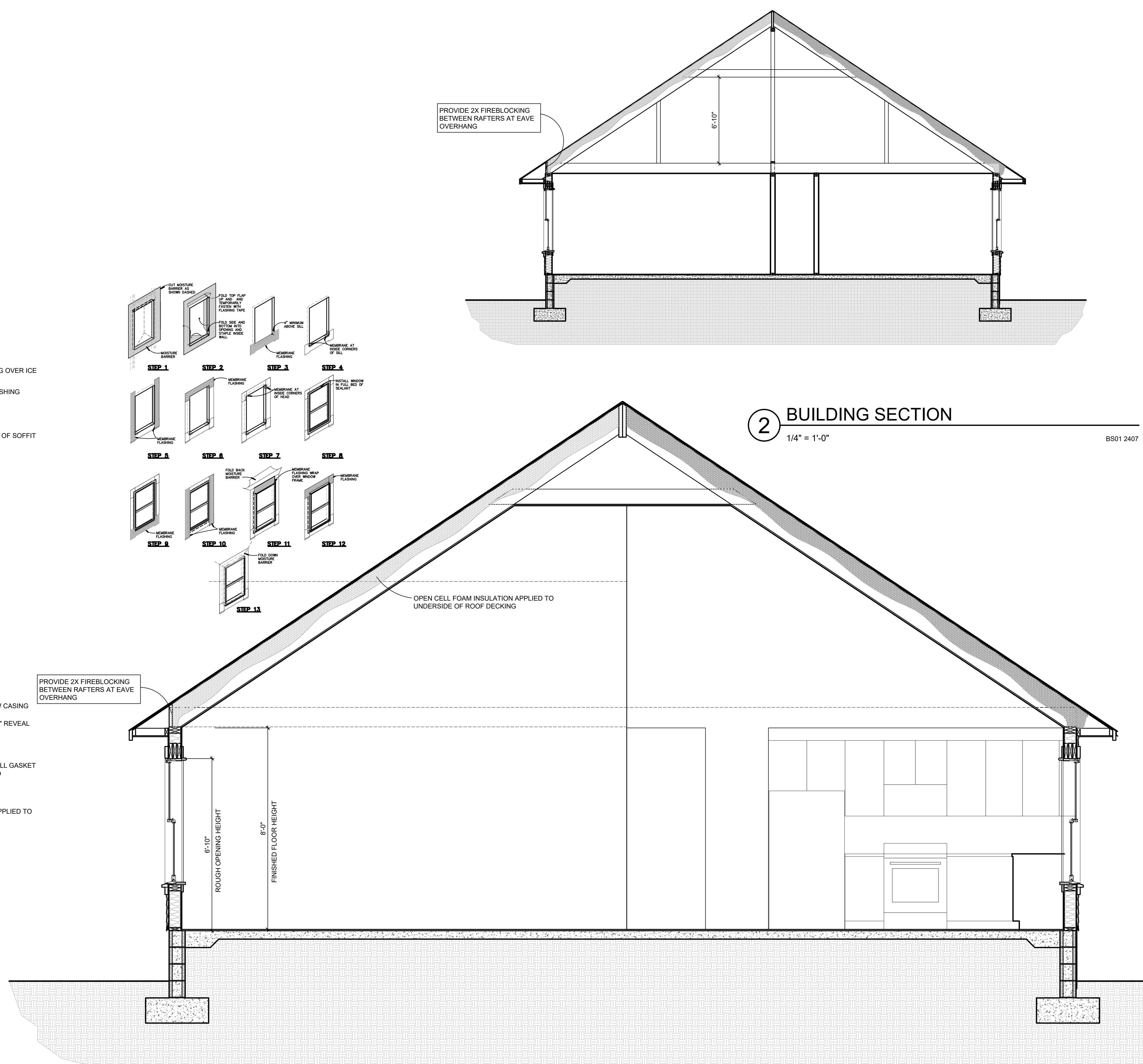
SCALE: 1/4" = 1'-0"

No.	Date	Description
01	3/1/2024	FOR REVIEW
02	11/20/2024	FOR CONSTRUCTION



**1** WALL SECTION  
1" = 1'-0"

BS01 2407



**3** BUILDING SECTION  
1/2" = 1'-0"

BS01 2407

PROVIDE 2X FIREBLOCKING  
BETWEEN RAFTERS AT EAVE  
OVERHANG

**2** BUILDING SECTION  
1/4" = 1'-0"

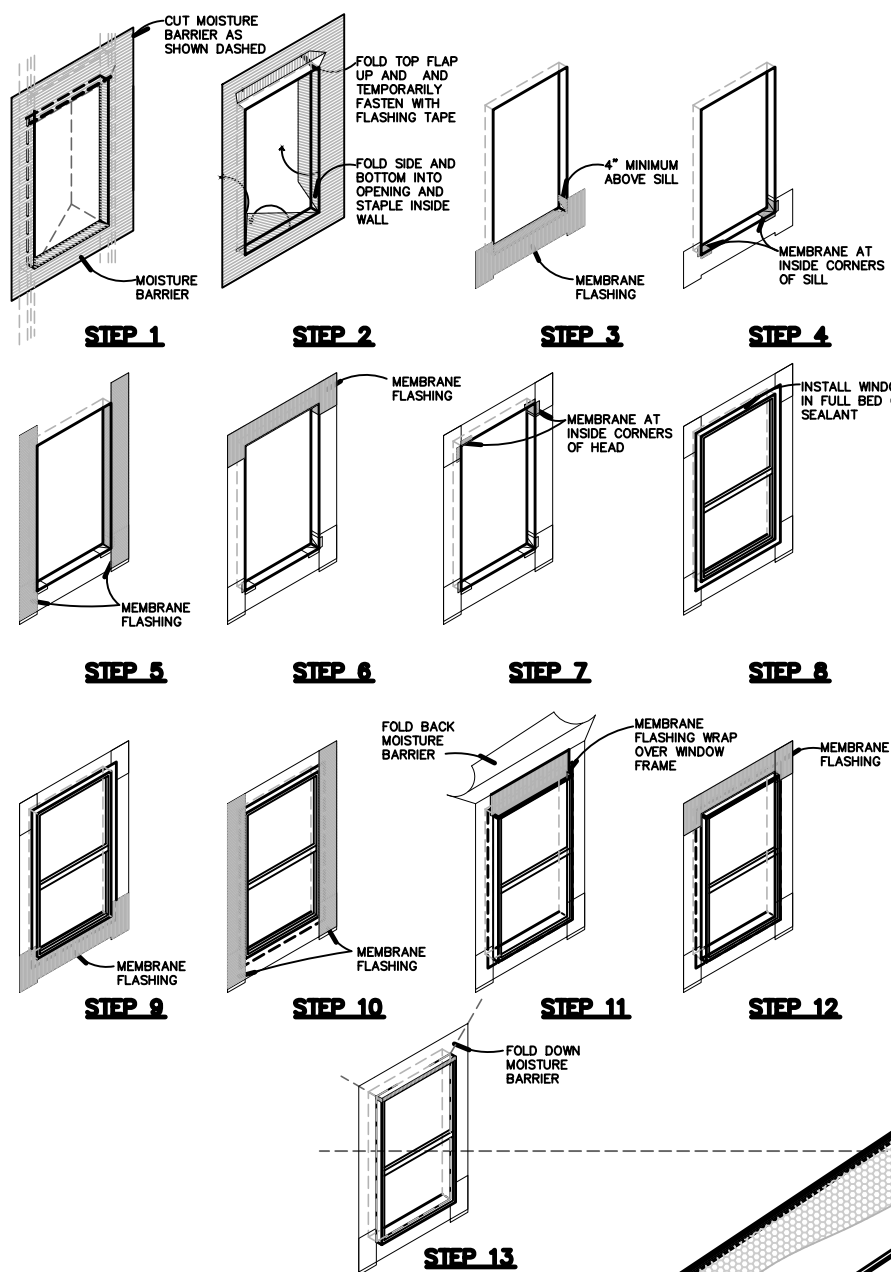
BS01 2407

OPEN CELL FOAM INSULATION APPLIED TO  
UNDERSIDE OF ROOF DECKING

PROVIDE 2X FIREBLOCKING  
BETWEEN RAFTERS AT EAVE  
OVERHANG

ROUGH OPENING HEIGHT  
6'-10"

FINISHED FLOOR HEIGHT  
8'-0"



COPYRIGHT 2024 A BOHEME DESIGN, LLC  
Only with prior written consent of A BOHEME Design, LLC may the design concepts, drawings or written material herein be reproduced in any form or format, whether in part or whole. Contractor, Sub-contractors and Suppliers do not scale drawings. Use only dimensions provided herein. If any dimension is not provided or if any dimensions are in conflict with field dimensions or other dimensions contained herein, notify A BOHEME Design for clarification. It shall be the Contractor's responsibility to check and verify all conditions and dimensions at the job site and to verify all dimensions necessary for any specified products or equipment from manufacturer's recommendations.

Seal

Issues and Revisions

No.	Date	Description
01	3/1/2024	FOR REVIEW
02	11/20/2024	FOR CONSTRUCTION

Project Number: ABD2407

Project:  
**Berthold Residence  
at Bobcat Lane**

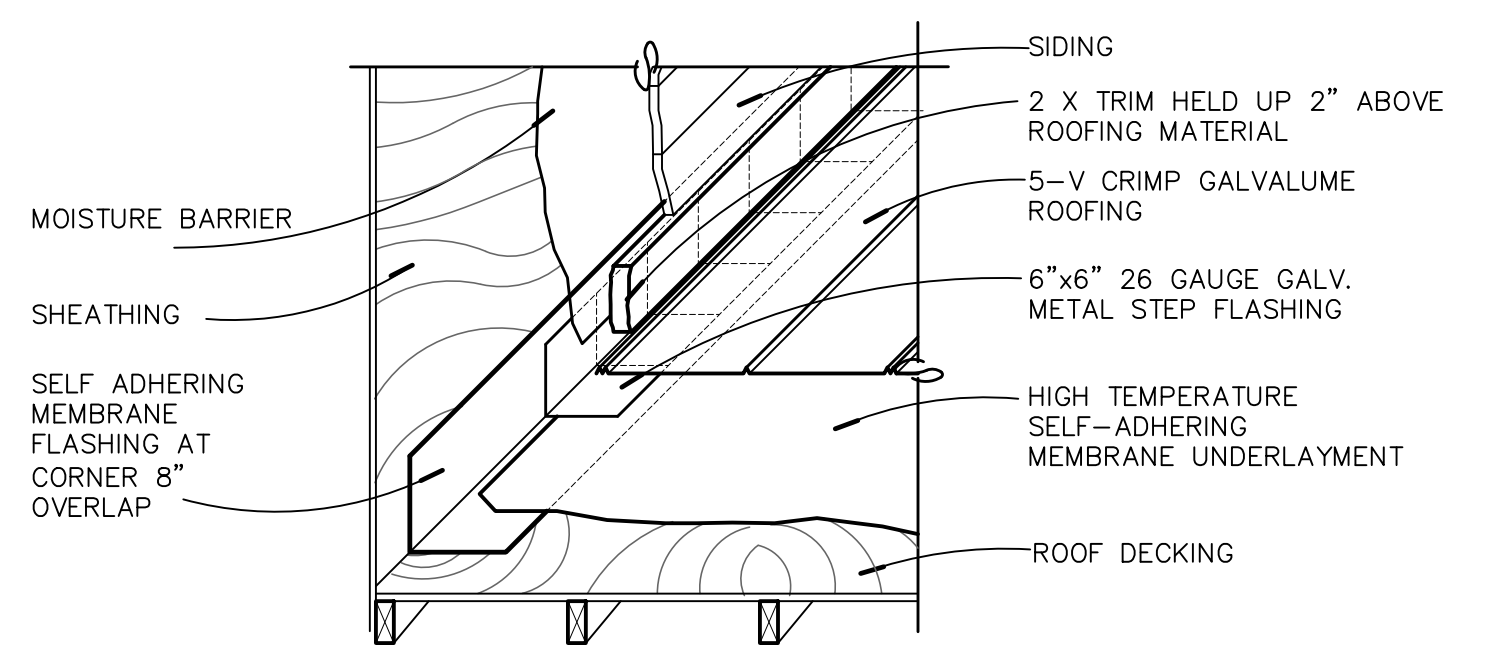
992 S Bobcat Ln.  
Columbia County, Florida

Owner:  
Matthew Berthold  
4262 Bunker Road  
Vernon, FL 32462

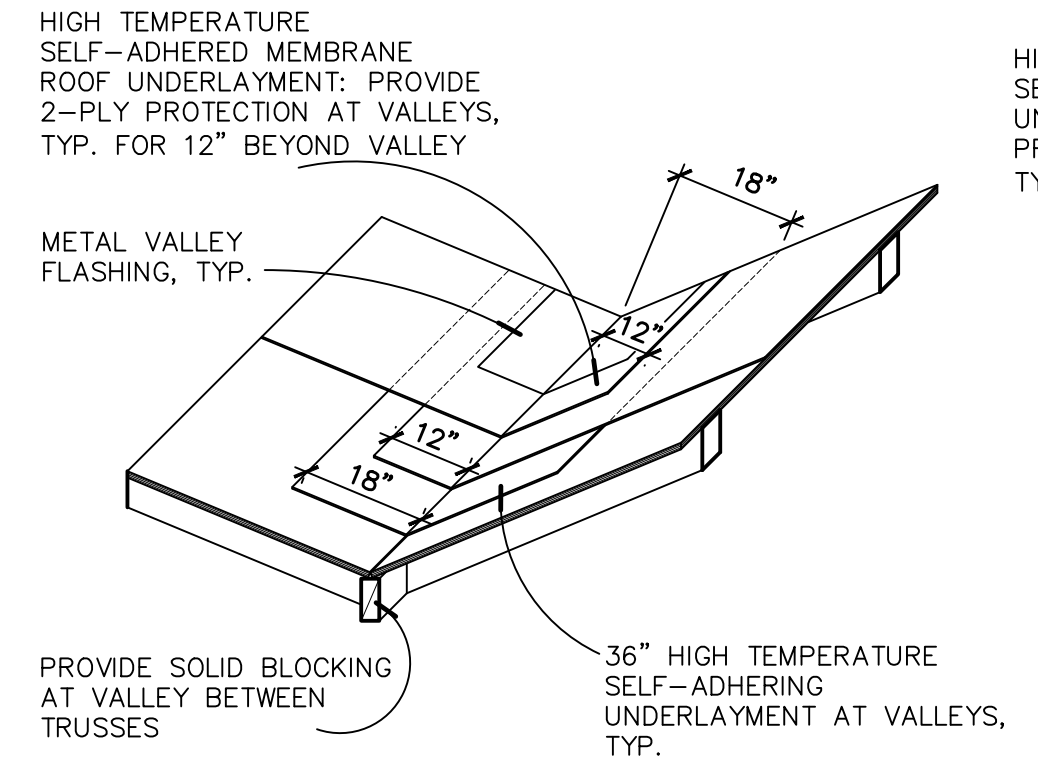
Sheet Name:  
BUILDING SECTION  
ROOF PLAN

SECTIONS

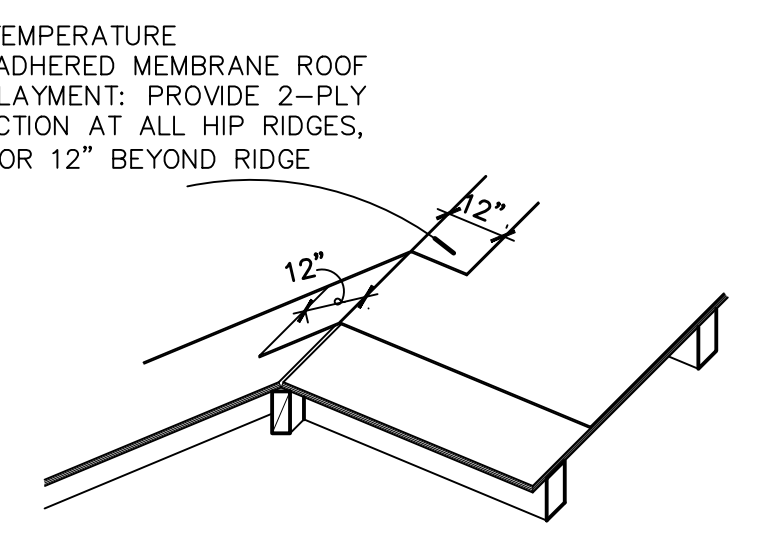
## A402



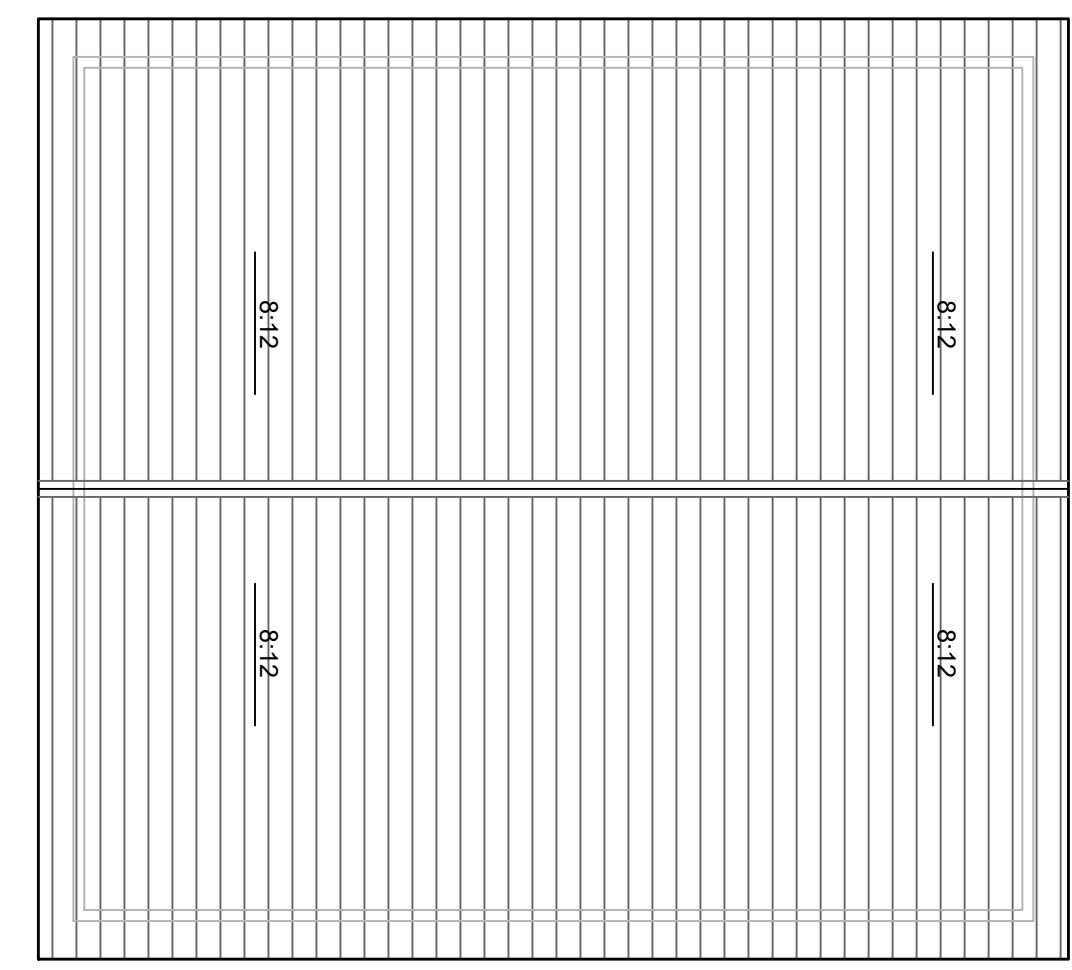
**1** STEP FLASHING AT DORMER / SIDEWALL CONDITION  
ISOMETRIC



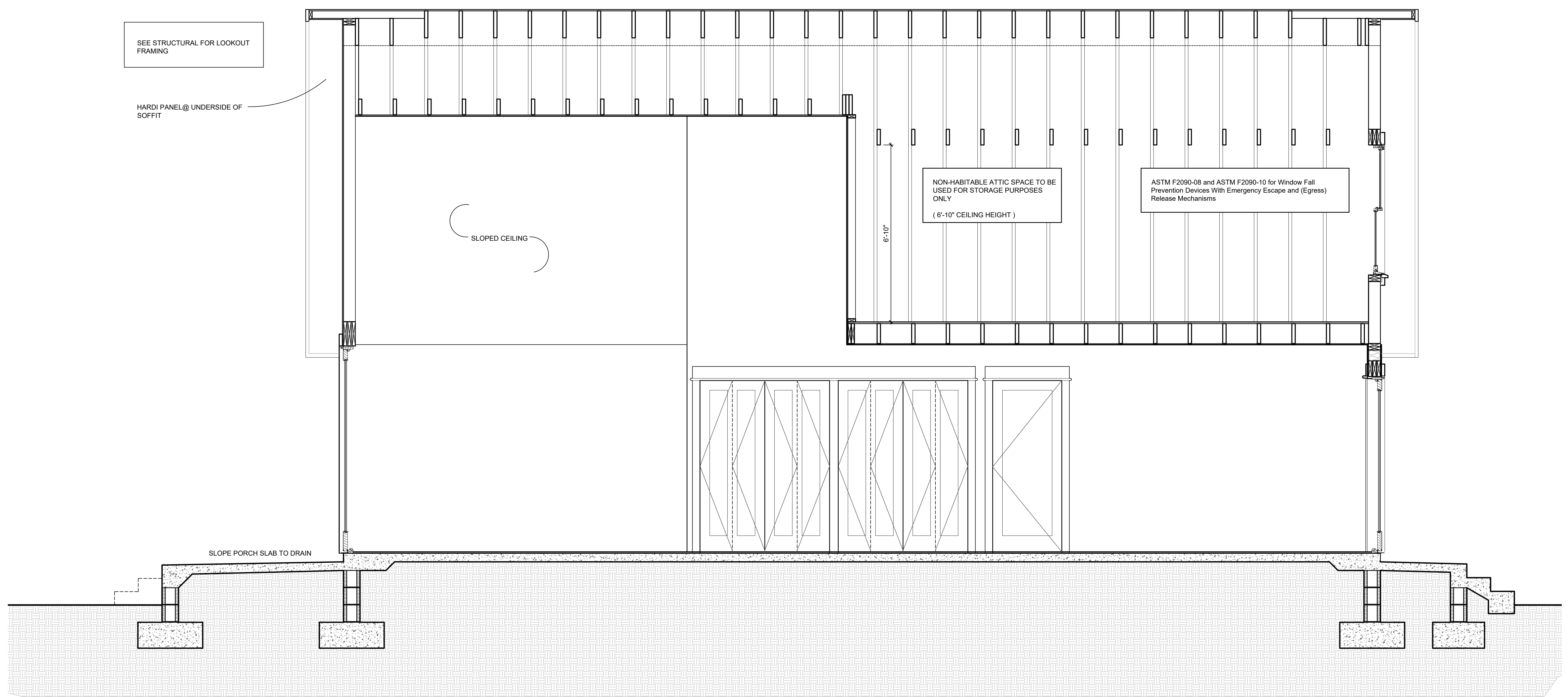
**2** UNDERLAYMENT AT ROOF VALLEY  
ISOMETRIC



**3** UNDERLAYMENT AT ROOF HIP / RIDGE  
ISOMETRIC



**4** ROOF PLAN  
1/8" = 1'-0" B01 2407



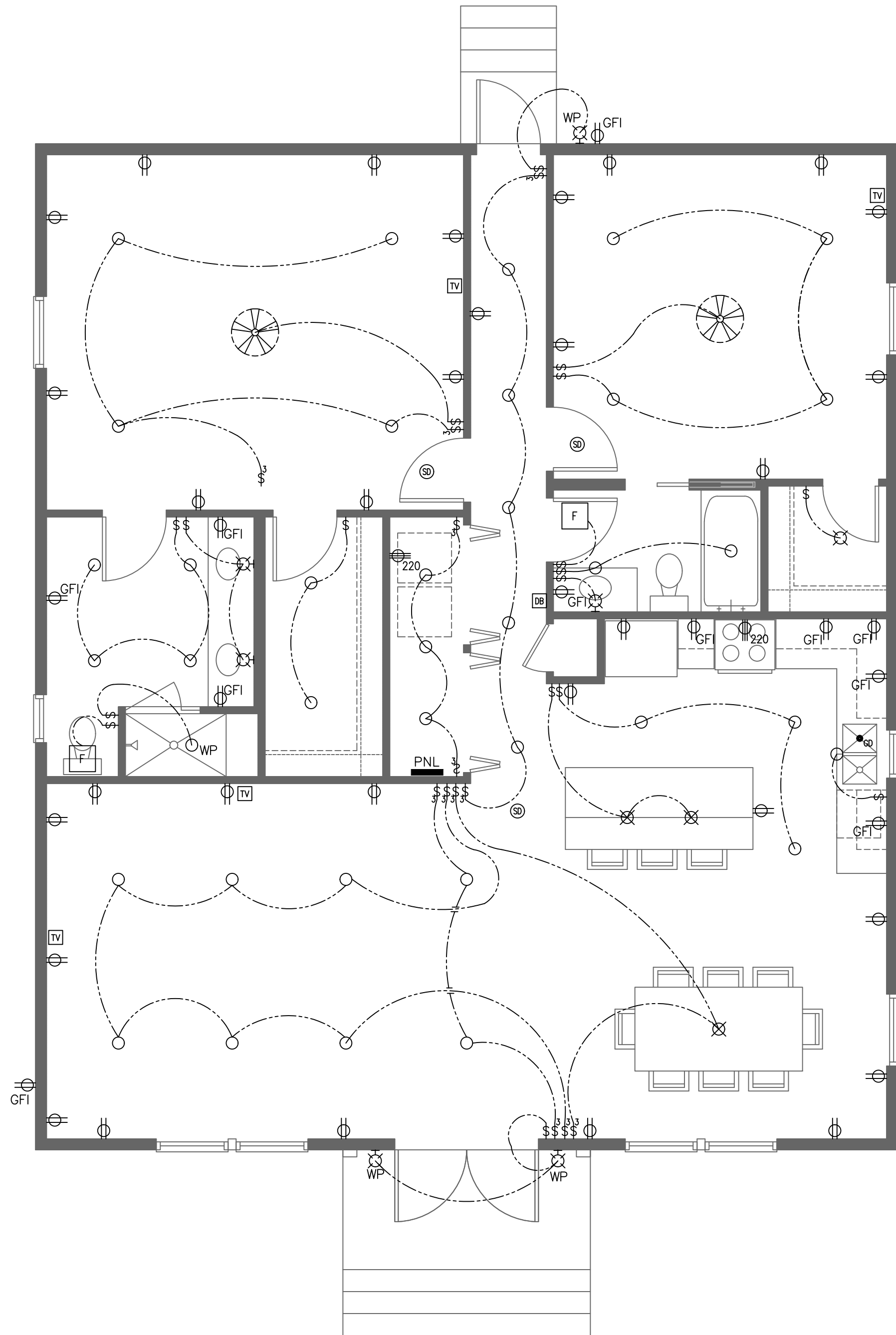
**5** BUILDING SECTION  
1/2" = 1'-0" BS01 2407

No.	Date	Description
01	3/1/2024	FOR REVIEW
02	11/20/2024	FOR CONSTRUCTION

ELECTRICAL LEGEND			
SYMB.	DESCRIPTION	SYMB.	DESCRIPTION
GFI	GROUND FAULT CIRCUIT INTERRUPTER	⌘	SINGLE POLE SWITCH
WP	WATER PROOF	⌘₃	THREE WAY SWITCH
⌘	DUPLEX RECEPTACLE, CENTERED HORIZ. IN BASE TRIM (U.N.O.) 3 WIRE GROUNDING	⌘ₚ	DIMMER SWITCH
⌘	DUPLEX RECEPTACLE, 18" A.F.F. 3 WIRE GROUNDING, SPLIT WIRED	○	RECESSED LIGHT FIXTURE
⌘	DEDICATED DUPLEX RECEPTACLE	⊗	LIGHT FIXTURE CEILING SURFACE MOUNT
⌘	ISOLATED DUPLEX RECEPTACLE	⊗	PENDANT LIGHT CEILING SURFACE MOUNT
⌘	DUPLEX RECEPTACLE, FLOOR MOUNTED, LOCATION TO BE COORDINATED WITH OWNER	⊗	LIGHT FIXTURE WALL MOUNTED
⌘₂₂₀	220V RECEPTACLE	F	EXHAUST FAN
▼	TELEPHONE JACK	⊗	CEILING FAN
TV	TELEVISION CONNECTION - CABLE	⊗	FOOT LIGHT ON OVERRIDE SWITCH AND PHOTOCELL
⊗	METER	⊗	GARBAGE DISPOSAL
⊗	DOOR BELL	⊗	SMOKE DETECTOR, HARD WIRED CEILING MOUNTED
PNL	POWER PANEL	⊗	SMOKE DETECTOR, HARD WIRED WALL MOUNTED
SKP	SECURITY KEY PAD		

**ELECTRICAL NOTES**

- ARCHITECTURAL ELECTRICAL PLANS SHOW SCHEMATIC LOCATIONS ONLY. ELECTRICAL LOADS TO BE DETERMINED BY ELECTRICAL CONTRACTOR.
- SWITCHES TO BE AT 42" A.F.F. UNLESS OTHERWISE NOTED. VERIFY ALL OTHER MOUNTING HEIGHTS WITH ARCHITECT PRIOR TO INSTALLATION.
- GENERAL CONTRACTOR TO SCHEDULE A SITE INSPECTION WITH THE OWNER/ARCHITECT TO VERIFY ELECTRICAL BOX LOCATIONS PRIOR TO INSTALLATION OF ELECTRICAL WIRING.
- COORDINATE DIMMERS WITH OWNER/ARCHITECT



PROVIDE THE REQUIRED ELECTRICAL SERVICE FOR ALL APPLIANCES

PROVIDE POWER FOR AIR HANDLER IN ATTIC

GARBAGE DISPOSAL ON AIR SWITCH; COORDINATE LOCATION WITH OWNER

