

Columbia County Remodel Permit Application

For Office Use Only Application # 44699 Date Received 3/10 By MG Permit # 39554
 Zoning Official LW/UR Date 3-17-20 Flood Zone X Land Use Ag Zoning A-3
 FEMA Map # _____ Elevation _____ MFE _____ River _____ Plans Examiner Z.C. Date 3-23-20
 Comments _____
 NOC Deed or PA Dev Permit # _____ In Floodway Letter of Auth. from Contractor
 F W Comp. letter Owner Builder Disclosure Statement Land Owner Affidavit Ellisville Water App Fee Paid
 Site Plan Env. Health Approval _____ Sub VF Form _____

Fax 386-755-7889

Applicant (Who will sign/pickup the permit) Vince Richardson Phone 386-755-5779

Address 692 SW Arlington Blvd Lake City, Fl. 32055 32025

Owners Name Sheila Collier Phone 954-558-0451

911 Address 9794 SW CR 240 Lake City, Fla. 32024

Contractors Name Vince Richardson Phone 386-755-5779

Address 692 SW Arlington Blvd Lake City, Fla. 32055 32025

Contractor Email vince@richardsonaluminum.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address FBC 6272 Abbott Station Dr, Suite 101 Zephyrhills, Fla. 33542

Mortgage Lenders Name & Address _____

Circle the correct power company FL Power & Light Clay Elec. Suwannee Valley Elec. Duke Energy

Property ID Number 18-55-16-03644-103 Estimated Construction Cost 7,500.00/x/x

Subdivision Name White Oak Plantation Lot 3 Block _____ Unit _____ Phase _____

Driving Directions from a Major Road 47 South. Turn (R) on CR 240 9794 SW 240. Drive on Left before you get Old Ichetucknee Rd.

Construction of Screen Room Commercial OR Residential

Type of Structure (House; Mobile Home; Garage; Exxon) House

Use/Occupancy of the building now Yes Is this changing No

If Yes, Explain, Proposed Use/Occupancy Home

Is the building Fire Sprinkled? No If Yes, blueprints included _____ Or Explain _____

Entrance Changes (Ingress/Egress) No If Yes, Explain _____

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) _____

the sent email 3-31-20

Columbia County Building Permit Application

CODE: Florida Building Code 2017 6th Edition and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Sheila Collier _____ ****Property owners must sign here before any permit will be issued.**
Print Owners Name Owners Signature

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

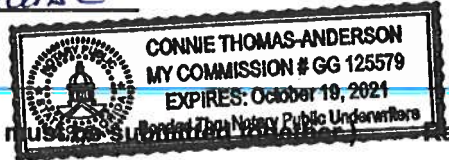
Vince Anderson _____ Contractor's License Number _____
Contractor's Signature Columbia County Competency Card Number 000110 ✓

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 24th day of February 2020.

Personally known _____ or Produced Identification Florida Driver License

_____ State of Florida Notary Signature (For the Contractor)

SEAL:



Columbia County Property Appraiser

2020 Working Values

Jeff Hampton

updated: 2/11/2020

Retrieve Tax Record

2019 TRIM (pdf)

Property Card

Parcel List Generator

Show on GIS Map

Print

Parcel: << 18-5S-16-03644-103 >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

<< Result: 6 of 13 >>

Owner	COLLIER LARRY L & SHEILA D 9794 SW COUNTY RD 240 LAKE CITY, FL 32024		
Site	9794 COUNTY ROAD 240 , LAKE CITY		
Description*	LOT 3 WHITE OAK PLANTATION S/D ORB 863-879, 873-1471, 908-2220, WD 1241-767,		
Area	5.01 AC	S/T/R	18-5S-16E
Use Code**	SINGLE FAM (000100)	Tax District	3

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values

2019 Certified Values		2020 Working Values	
Mkt Land (1)	\$27,000	Mkt Land (1)	\$27,000
Ag Land (0)	\$0	Ag Land (0)	\$0
Building (1)	\$154,650	Building (1)	\$157,750
XFOB (2)	\$1,399	XFOB (2)	\$1,399
Just	\$183,049	Just	\$186,149
Class	\$0	Class	\$0
Appraised	\$183,049	Appraised	\$186,149
SOH Cap [?]	\$30,643	SOH Cap [?]	\$30,238
Assessed	\$152,406	Assessed	\$155,911
Exempt	HX H3 \$50,000	Exempt	HX H3 \$50,000
Total Taxable	county:\$102,406 city:\$102,406 other:\$102,406 school:\$127,406	Total Taxable	county:\$105,911 city:\$105,911 other:\$105,911 school:\$130,911

Sales History

Show Similar Sales within 1/2 mile Fill out Sales Questionnaire

Sale Date	Sale Price	Book/Page	Deed	V/I	Quality (Codes)	RCode
9/7/2012	\$180,000	1241/0767	WD	I	Q	01
8/17/2000	\$27,000	908/2220	WD	V	Q	
1/25/1999	\$45,500	873/1471	WD	V	U	01
7/15/1998	\$57,800	863/0879	WD	V	U	02 (Multi-Parcel Sale) - show

Building Characteristics

Bldg Sketch	Bldg Item	Bldg Desc*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	1	SINGLE FAM (000100)	2000	2227	2895	\$157,750

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

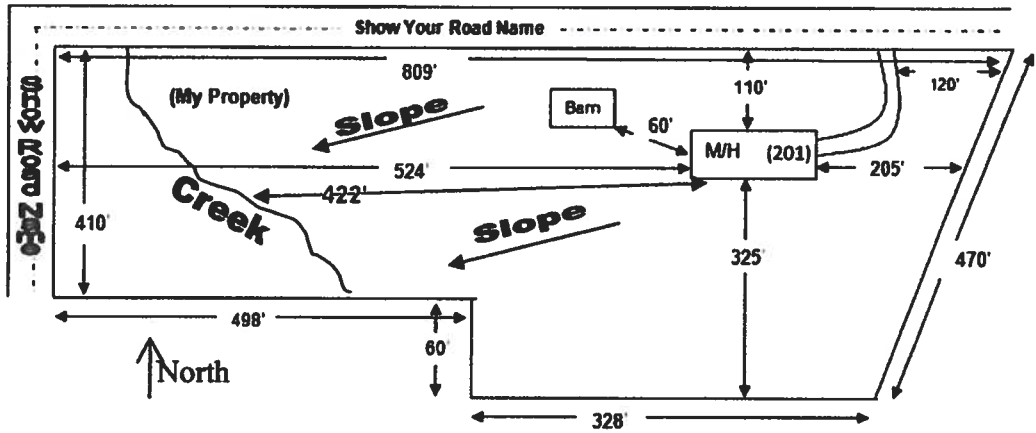
Code	Desc	Year Blt	Value	Units	Dims	Condition (% Good)
0166	CONC,PAVMT	2000	\$759.00	506.000	0 x 0 x 0	(000.00)
0296	SHED METAL	2006	\$640.00	80.000	10 x 80 x 0	(000.00)

SITE PLAN CHECKLIST

- ___ 1) Property Dimensions
- ___ 2) Footprint of proposed and existing structures (including decks), label these with existing addresses
- ___ 3) Distance from structures to all property lines
- ___ 4) Location and size of easements
- ___ 5) Driveway path and distance at the entrance to the nearest property line
- ___ 6) Location and distance from any waters; sink holes; wetlands; and etc.
- ___ 7) Show slopes and or drainage paths
- ___ 8) Arrow showing North direction

SITE PLAN EXAMPLE

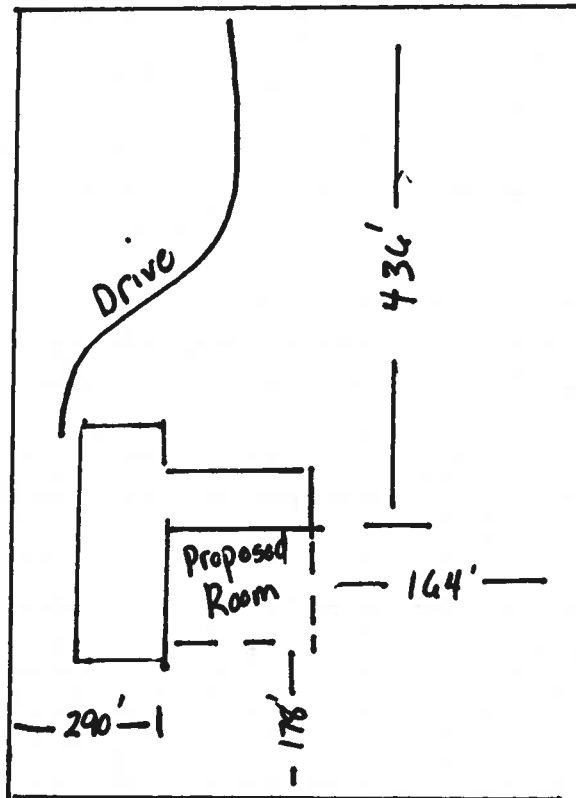
Revised 7/1/15



NOTE:

This site plan can be copied and used with the 911 Addressing Dept. application forms.

CR 240



NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

Clerk's Office Stamp
Inst: 202012005608 Date: 03/10/2020 Time: 9:47AM
Page 1 of 1 B: 1407 P: 1427, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes the following information is provided in this NOTICE OF COMMENCEMENT.

- 1. Description of property (legal description): 18-55-16-03644-103
a) Street (job) Address: 9794 SW CR 240 Lake City, Fl. 32024
2. General description of improvements: Screen Room
3. Owner Information
a) Name and address: Sheila Collier 9794 SW CR 240 Lake City, Fla. 32024
b) Name and address of fee simple titleholder (if other than owner)
c) Interest in property: Owner
4. Contractor Information
a) Name and address: Vince Richardson 692 SW Arlington Blvd. Lake City, Fla 3;
b) Telephone No.: 386-755-5779 Fax No. (Opt.): 386-755-7889
5. Surety Information
a) Name and address: M/A
b) Amount of Bond:
c) Telephone No.: Fax No. (Opt.):
6. Lender
a) Name and address: N/A
b) Phone No.:
7. Identity of person within the State of Florida designated by owner upon whom notices or other documents may be served
a) Name and address: Larry Collier 9794 SW CR 240 Lake City, Fla. 32024
b) Telephone No.: 954-558-0451 Fax No. (Opt.):
8. In addition to himself, owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(f)(b), Florida Statutes:
a) Name and address: Vince Richardson 692 SW Arlington Blvd Lake City, Fla 32025
b) Telephone No.: 386-755-5779 Fax No. (Opt.): 386-755-7889

9. Expiration date of Notice of Commencement (the expiration date is one year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

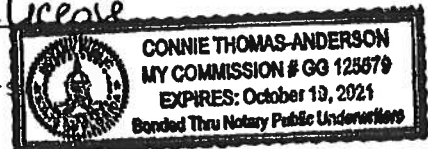
STATE OF FLORIDA
COUNTY OF COLUMBIA

10. [Signature] X
Signature of Owner or Owner's Authorized Office/Director/Partner/Manager
SHEILA COLLIER
Printed Name

The foregoing instrument was acknowledged before me, a Florida Notary, this 24th day of February, 2020, by:
Sheila Collier as (type of authority, e.g. officer, trustee, attorney fact) for (name of party on behalf of whom instrument was executed).

Personally Known OR Produced Identification Type Florida Driver License

[Signature] Notary Signature Notary Stamp or



11. Verification pursuant to Section 92.525, Florida Statutes. Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true to the best of my knowledge and belief

Signature of Natural Person Signing (in line #10 above.) X

Solid Roof Aluminum Structures Checklist

Must be filled out and submitted with drawing

Company Name: Richardson Aluminum LLC Contact: Vince Richardson
 Job Name: Collier Phone#: 386-755-5779
 Job Address (complete): 9794 SW CR 240 Lake City, Fl. 32024
 Risk Category: I II III IV Exposure: B C D
 Wind Speed: 130ult 140ult 150ult 160ult

TYPE OF ADDITION:

Carport Patio Cover Roof-over Shed
 Screen Room Screen Walls Only Hand-rail Ultra-Lattice
 Vinyl (pane) windows Acrylic windows Hor. Slider Single Hung
 Sunroom: Category II III IV V
 Glass windows: Hor. Slider Single Hung

Residential Commercial, use: _____

Freestanding 4th Wall Attached at: Fascia Wall Host Beam

HOST STRUCTURE:

Single family Multi-family i.e. condo, villa etc.
 Site Built Frame Block Other: _____
 Single story Two story Above 33' Height/Floor _____
 Manufactured/Mobile Park Model (HUD) RV (ANSI)

HOST OVERHANG:

none 12" 18" 24"

HOST ROOF:

Wood Truss Wood Flat Deck

ADDITION ROOF:

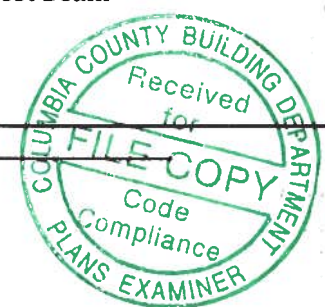
Existing Proposed
 Riser pan 3"x.024 3"x.030 3" x26 gauge steel
 Composite Panel 3" 4" 6" .024 .030 26 gauge steel
 1lbs. EPS 2lbs. EPS 4" W 1/2" OSB 6" W 1/2" OSB Shingles

ADDITION FOUNDATION:

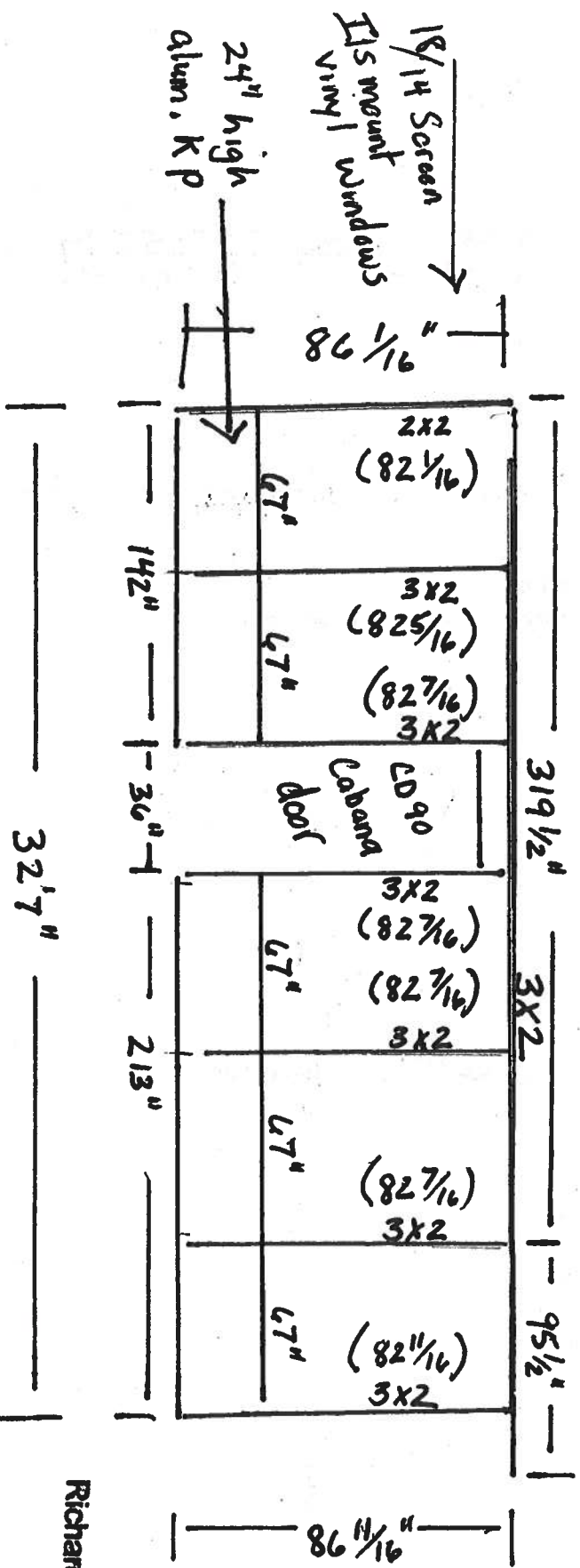
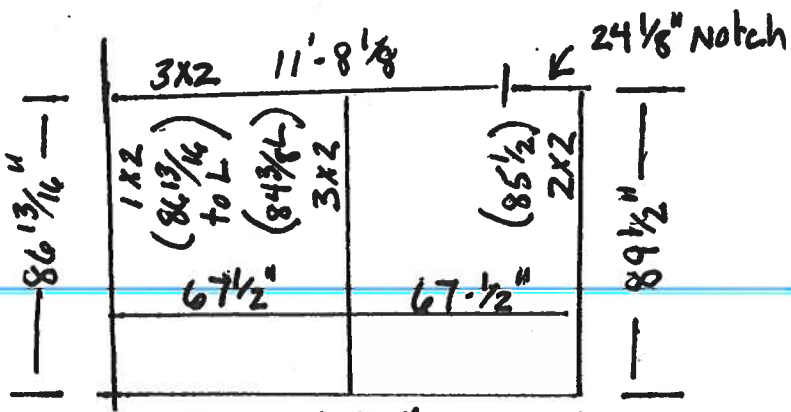
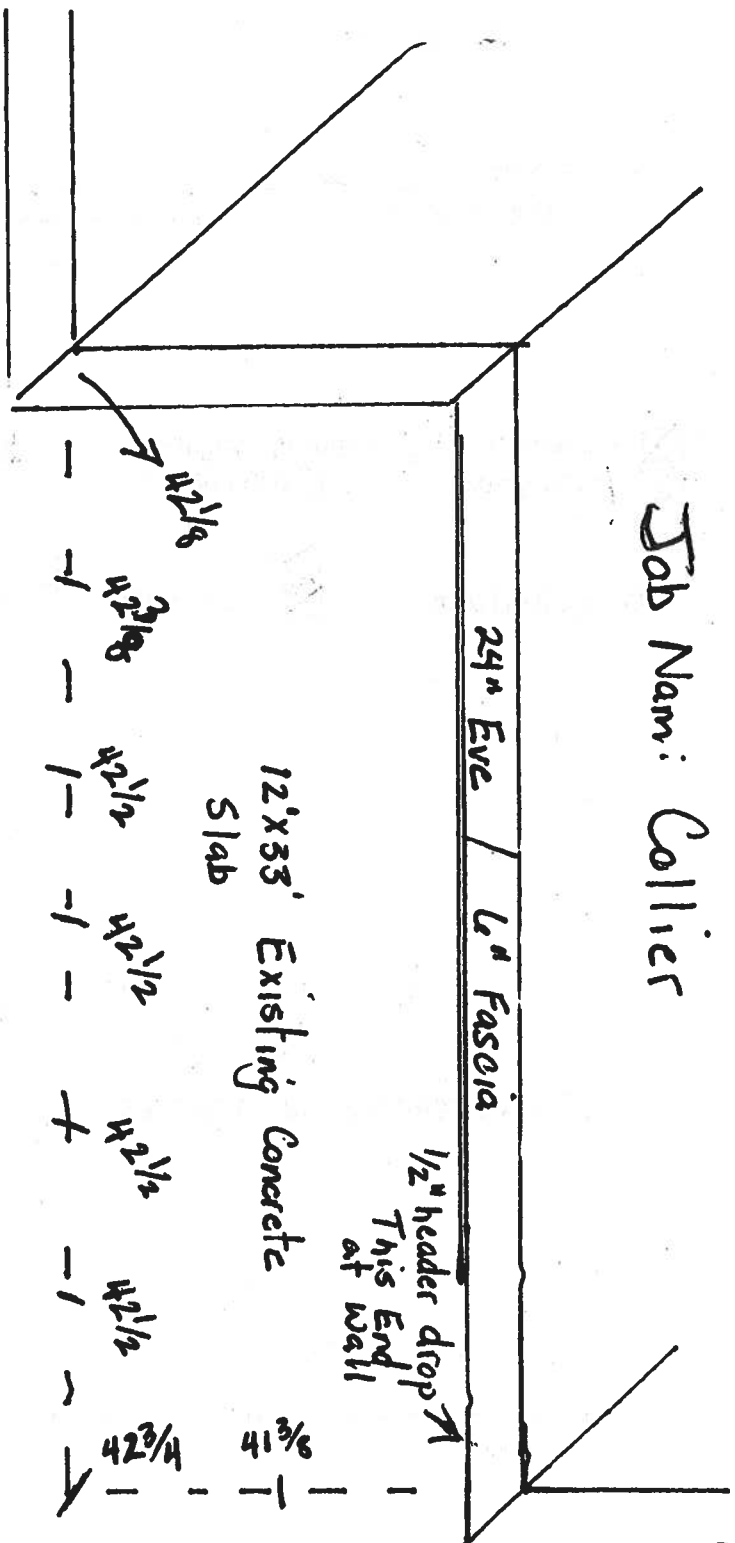
EXISTING PROPOSED

4" Concrete slab - no footer
 4" Concrete slab w/footer size: 8"x8" 12"x12"
 Lineal footer around perimeter: 8"x8" 12"x12"
 Pavers on top Height/Thickness: _____
 Knee wall 8"x8"x16" block Solid poured concrete
 Retaining wall: 8"x8"x16" block Solid concrete
 Wood deck: Exist. 4" slab Isolated footings
 Concrete pyramid base 4"hx16"x16" concrete pad ABS pad
 4"x4" PT Post 8"x8"x16" block pier Auger anchor

Foot Print Size of Addition 12' x 33' = 396 sq. ft.



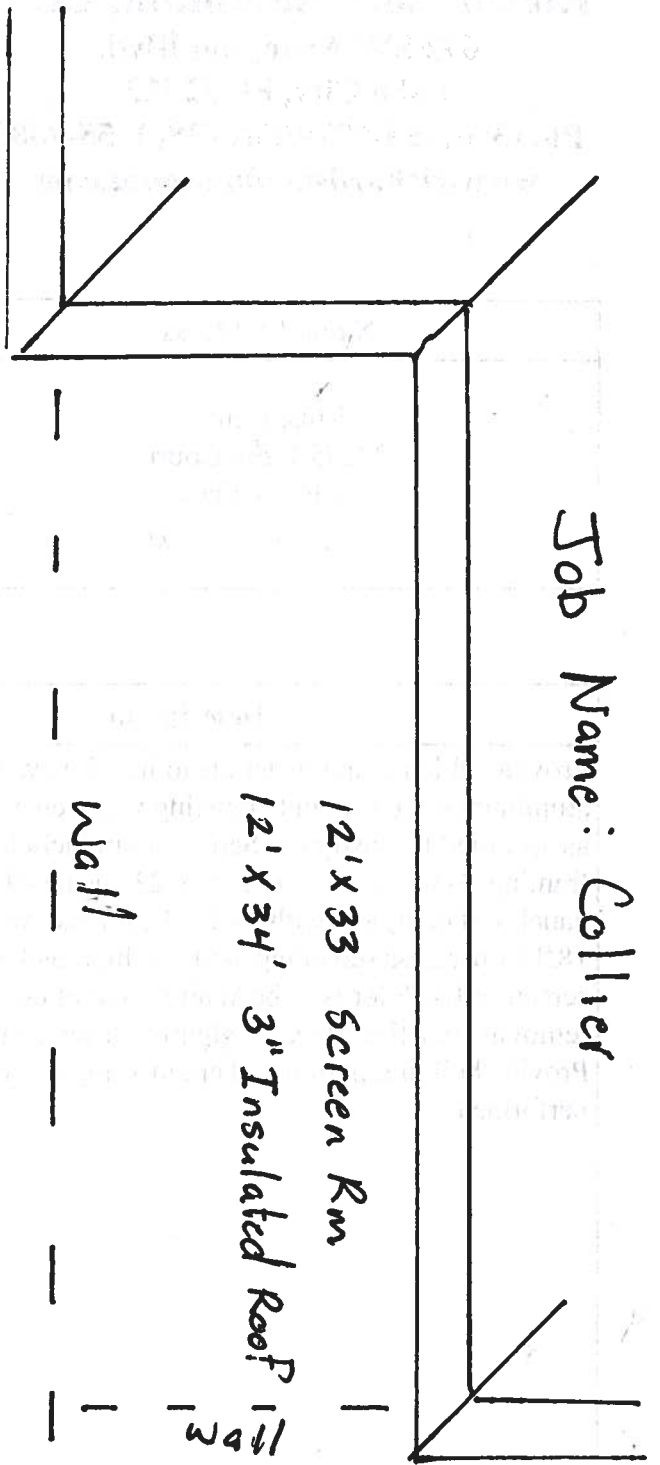
Job Name: Collier



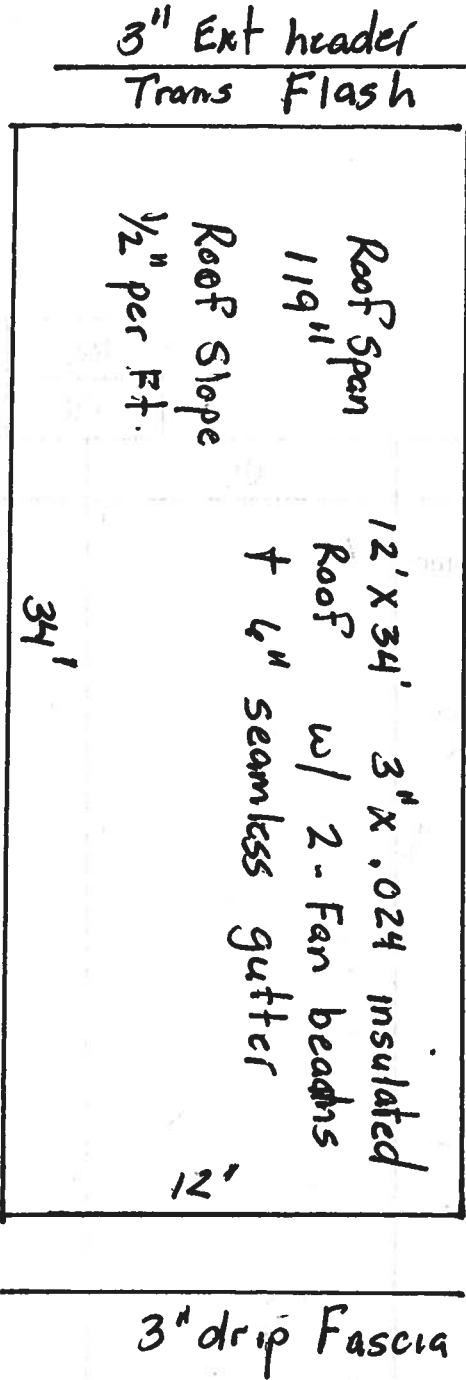
Richardson Aluminum, LLC

Job Name: Collier

Richardson Aluminum, LLC



3" Ext header attach to Fascia w/ Flashing



3" drip Fascia w/ 4" seamless gutter

Roof Span
119"
Roof Slope
1/2" per Ft.

12' x 34' 3" x .024 insulated
Roof w/ 2-Fan beads
+ 4" seamless gutter

34'

12'

3" drip Fascia

XDS

XDS

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. Statewide approved products are listed online @ www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. EXTERIOR DOORS			
A. SWINGING			
B. SLIDING			
C. SECTIONAL/ROLL UP			
D. OTHER			
2. WINDOWS			
A. SINGLE/DOUBLE HUNG			
B. HORIZONTAL SLIDER			
C. CASEMENT			
D. FIXED			
E. MULLION			
F. SKYLIGHTS			
G. OTHER			
3. PANEL WALL			
A. SIDING			
B. SOFFITS			
C. STOREFRONTS			
D. GLASS BLOCK			
E. OTHER			
4. ROOFING PRODUCTS			
A. ASPHALT SHINGLES			
B. NON-STRUCTURAL METAL			
C. ROOFING TILES			
D. SINGLE PLY ROOF			
E. OTHER ✓	Structal	3"X.024 Snap Lok panel	FL21443-R1
5. STRUCTURAL COMPONENTS			
A. WOOD CONNECTORS			
B. WOOD ANCHORS			
C. TRUSS PLATES			
D. INSULATION FORMS			
E. LINTELS			
F. OTHERS			
6. NEW EXTERIOR ENVELOPE PRODUCTS			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Vince Richardson 2-19-20
 Contractor OR Agent Signature Date

NOTES: _____

General Notes

A. CONCRETE & FOUNDATION DESIGN:

1. ALL CONCRETE GRADE BEAMS AND FOOTINGS SHALL BE 3000 PSI MINIMUM.
2. ALL CONCRETE FILLED SUPPORTED SLABS SHALL BE 2500 PSI MINIMUM, 3 1/2" NOMINAL THICKNESS.
3. FIBERMESH (3/4" PER CUBIC YARD MIN.) MEETING APPROPRIATE ACI AND ASTM REQUIREMENTS MAY BE USED IN LIEU OF WELDED WIRE MESH.
4. ALL SLABS ON GRADE SHALL BE 4" THICK WITH FIBERMESH.
5. ALL REINFORCING SHALL CONFORM TO ASTM A615, BE GRADE 60 (60 KSI MIN.), DEFORMED BARS. #3 BARS MAY BE GRADE 40.
6. ALL OVER POUR CONCRETE FILLED SUPPORTED SLABS SHALL BE 3000 PSI MIN., 2" MINIMUM THICKNESS.
7. SOIL BEARING PRESSURE SHALL BE A MINIMUM OF 1500 PSF.
8. THE CONCRETE SHALL CONFORM TO ASTM C94 FOR THE FOLLOWING:
 - OPC (PORTLAND CEMENT TYPE 1 - ASTM C 150)
 - AGGREGATES - #5 STONE, ASTM C 33 SIZE NO. 67 LESS THAN 3/4"
 - AIR ENTRAINING +/- .1% - ASTM C 260.
 - WATER REDUCING AGENT - ASTM C 494.
 - CLEAN POTABLE WATER.
9. OTHER ADMIXTURES SHALL NOT BE PERMITTED.
10. METAL WELDED WIRE SHALL CONFORM TO ASTM A 185.
11. PREPARE & PLACE CONCRETE ACCORDING TO AMERICAN CONCRETE INSTITUTE MANUAL STANDARD PRACTICE, PART 1, 2, & 3 ALONG WITH HOT WEATHER CONDITIONS RECOMMENDATIONS.
12. IF UTILIZING EXISTING CONCRETE FOR FOUNDATION, CONCRETE SHALL BE A MINIMUM OF 4" IN THICKNESS, VISIBLY FREE OF ANY STRUCTURAL EXCESSIVE CRACKING, SPALLING OR OTHER DETERIORATION.

B. MASONRY:

1. CONCRETE MASONRY UNITS (CMU) SHALL BE STANDARD HOLLOW UNITS AND SHALL BE 1900 PSI MINIMUM BASED ON TYPE M OR S MORTAR.
2. ALL MORTAR SHALL BE OF TYPE M OR S.
3. ALL GROUT SHALL BE 2000 PSI MINIMUM AND HAVE MAXIMUM COARSE AGGREGATE SIZE OF 3/8".
4. PROVIDE CLEAN-OUTS FOR REINFORCED CELLS CONTAINING REINFORCEMENT WHEN GROUT POUR EXCEEDS 5'-0" IN HEIGHT.

C. ALUMINIUM:

1. ALL STRUCTURAL ALUMINIUM SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF 6005-T5 FOR ALLOY WITH A MINIMUM THICKNESS OF 0.040" FOR SUPPORTING MEMBERS.
2. WHERE KICK PLATES ARE USED A MINIMUM THICKNESS OF 0.024" SHALL APPLY.
3. STRUCTURAL ALUMINIUM DESIGN CONFORMS TO "PART 1-A - SPECIFICATIONS FOR ALUMINIUM STRUCTURES - ALLOWABLE STRESS DESIGN" OR "PART 1-B - SPECIFICATIONS FOR ALUMINIUM STRUCTURES - BUILDING LOAD AND RESISTANCE FACTOR DESIGN" OF THE ALUMINIUM DESIGN MANUAL PREPARED BY THE ALUMINIUM ASSOCIATION, INC. WASHINGTON D.C. THE *FLORIDA BUILDING CODE 6th EDITION* (CHAPTER 16 STRUCTURAL DESIGN & CHAPTER 20 ALUMINIUM).
4. WHERE ALUMINIUM COMES INTO CONTACT WITH STEEL, OR PRESSURE TREATED LUMBER, PROVIDE DIELECTRIC SEPARATION.
5. ALUMINIUM MEMBERS SHALL BE STITCHED WITH NO LESS THAN #10 SMS 6" FROM THE ENDS AND 12" ON CENTER, IF USING #12 SPACING MAY BE 24" ON CENTER.
6. VINYL AND ACRYLIC PANELS SHALL BE REMOVABLE. THEY SHALL BE IDENTIFIED WITH A DECAL ESSENTIALLY STATING "REMOVABLE PANEL SHALL BE REMOVED WHEN WIND SPEEDS EXCEED 75 MPH". DECAL SHALL BE PLACED SO IT IS VISIBLE WHEN PANEL IS INSTALLED.
7. 1"x2"x0.045" NON-STRUCTURAL MEMBERS SHALL BE ATTACHED TO HOST WITH 1/4"Ø X 1-3/4" EMBEDMENT & 24" O.C. MASONRY SCREW FOR CONCRETE & EQUIVALENT SIZE WOOD SCREWS WHEN IN WOOD & #10X 1/2" EMBEDMENT SMS OR TEK SCREWS IN ALUMINIUM MEMBERS TYPICAL.

D. FASTENERS:

1. ALL LAG BOLTS SHALL CONFORM TO STAINLESS STEEL TYPE 300 18-8, WITH STANDARD FLAT WASHER UNLESS MANUFACTURER GALVANIZES BOLTS SPECIFIC FOR USE WITH ACO PRESSURE TREATED WOOD.

E. REFERENCE STANDARDS:

1. ALL FASTENERS CONNECTING ALUMINIUM COMPONENTS OR PRESSURE TREATED LUMBER ARE STAINLESS STEEL TYPE 300 18-8, UNLESS MANUFACTURER GALVANIZES BOLTS SPECIFICS FOR USE WITH ACO PRESSURE TREATED WOOD, OR OTHERWISE NOTED ON PLANS.
2. ALL CONNECTORS SHALL COMPLY WITH ASTM A653 CLASS G-185.
3. FOR SMS, THE MINIMUM CENTER-TO-CENTER SPACING SHALL BE 3/4" AND MINIMUM CENTER-TO-EDGE SHALL BE 1/2" UNLESS NOTED OTHERWISE.

F. ABBREVIATIONS:

- THE FOLLOWING LIST OF ABBREVIATIONS IS NOT INTENDED TO REPRESENT ALL THOSE USED ON THESE DRAWINGS, BUT TO SUPPLEMENT THE MORE COMMON ABBREVIATIONS.
1. TYP - TYPICAL
 2. SIM - SIMILAR
 3. UN - UNLESS OTHERWISE NOTED
 4. CONT - CONTINUOUS
 5. VIF - VERIFY IN FIELD

G. RESPONSIBILITY:

1. ALL SITE WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING CODES, LOCAL ORDINANCES, ETC.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DETAILS, NOTIFYING ENGINEER OF ANY DISCREPANCIES BETWEEN DRAWINGS, FABRICATED ITEMS, OR ACTUAL FIELD CONDITIONS.
3. THESE DRAWINGS REPRESENT THE ACCEPTABILITY OF THE SUNROOM ROOM ADDITION ELEMENTS AS PROVIDED BY THE CONTRACTOR.
4. ALL DETAILS ON THESE DRAWINGS ARE ENGINEERED BASED ON INFORMATION PROVIDED BY THE CONTRACTOR AND MANUFACTURER.
5. ANY DETAILS NOT SHOWN ARE TO BE ENGINEERED BY A LICENSED P.E. IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES.

H. MISCELLANEOUS:

1. ALUMINIUM ADDITIONS ARE NOT TO BE INSTALLED ON A MANUFACTURED HOME, TRAILER HOME, OR PRE-FAB HOME, IF THE EXISTING STRUCTURE IS ONE OF THESE, A SEPARATE 4TH WALL SUPPORT SYSTEM MUST BE ENGINEERED SO THAT NO ADDITIONAL LOADING IS PLACED ON THE MANUFACTURED HOME.

2. IF ENCLOSURE CONTAINS A SWIMMING POOL OR SPA, THE ENCLOSURE SHALL COMPLY WITH RESIDENTIAL SWIMMING BARRIER REQUIREMENTS OF *THE FBC 6th EDITION* R 4501.17 IN ITS ENTIRETY.
3. DOOR LOCATIONS MAY BE DETERMINED IN THE FIELD BY CONTRACTOR.
4. IF PLYERS ARE UNDER ALUMINIUM MEMBERS THEY SHALL HAVE EPOXY ADHESIVE TO CONCRETE OR IF USING GROUT, ENSURE BONDING AGENT IS USED FIRST AND ADHERED WITH MINIMUM 3000 PSI GROUT.
5. SCREENING MATERIAL SHALL BE 18X14X0.013 OR EQUIVALENT DENSITY SCREEN MESH ONLY UNLESS NOTED ON DRAWING S-2.

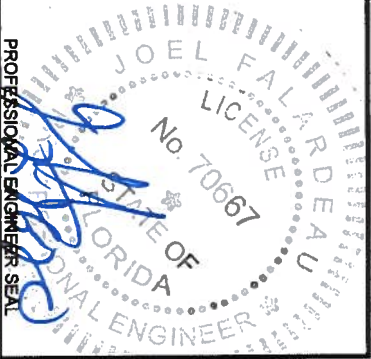
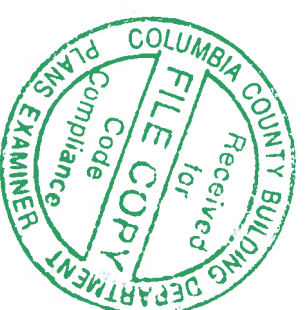
SCREEN ROOM W/ ACRYLIC WINDOWS

DESIGN DATA:

1. UTMATE DESIGN WIND SPEED V _{ult} (3 SECOND GUST):	130 MPH
NOMINAL DESIGN WIND SPEED V _{asd} :	101 MPH
RISK CATEGORY:	1
2. WIND EXPOSURE:	B
3. WIND LOADS:	
SCREEN ROOF:	N/A
SCREEN WALLS:	23 PSF
SOLID ROOF (SCREEN WALL):	20 PSF
4. FACTOR APPLIED TO SCREEN WIND LOADS FOR 18X14X0.013 OR EQUIVALENT DENSITY SCREEN MESH:	0.88
5. FACTOR APPLIED TO SCREEN WIND LOADS FOR ALLOWABLE STRESS DESIGN:	0.6
6. LIVE LOAD:	
7. 300 lb. VERTICAL DOWNLOAD ON PRIMARY SCREEN ENCLOSURE MEMBERS.	
10 PSF VERTICAL DOWNLOAD ON SOLID ROOF.	
8. EXISTING SLAB AND OR FOOTING MEETS THE REQUIREMENTS TO RESIST THE UPLIFTS FOR THE PROPOSED STRUCTURE.	
9. SCREEN ROOF TYPE: N/A	
10. SOLID ROOF TYPE: 3"X48"X0.024" ELITE EPS COMPOSITE PANEL, ROOF 1lb FOAM DENSITY, FLORIDA PRODUCT APPROVAL, FL 7561-R4.	

ALUMINIUM STRUCTURAL MEMBERS

HOLLOW SECTIONS	
2 x 2:	2" x 2" x 0.044"
2 x 3:	2" x 3" x 0.050"
2 x 4:	2" x 4" x 0.050"
2 x 5:	2" x 5" x 0.050"
3 x 3:	3" x 3" x 0.125"
OPEN BACK SECTIONS	
1 x 2:	1" x 2" x 0.040"
1 x 3:	1" x 3" x 0.045"
SNAP SECTIONS	
2 x 2 SMS:	2" x 2" x 0.045"
2 x 3 SMS:	2" x 3" x 0.072"
2 x 4 SMS:	2" x 4" x 0.045"
3 x 3 SMS:	3" x 3" x 0.090"
SELF MATING (SMB)	
2 x 4 SMB:	2" x 4" x 0.044" x 0.100"
2 x 5 SMB:	2" x 5" x 0.050" x 0.118"
2 x 6 SMB:	2" x 6" x 0.057" x 0.120"
2 x 7 SMB:	2" x 7" x 0.057" x 0.120"
2 x 8 SMB:	2" x 8" x 0.072" x 0.224"
2 x 9 SMB:	2" x 9" x 0.072" x 0.224"
2 x 10 SMB:	2" x 10" x 0.092" x 0.374"
TUBE SECTIONS	
2 x 2:	2" x 2" x 0.090"



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 FLORIDA LICENSE: 77605

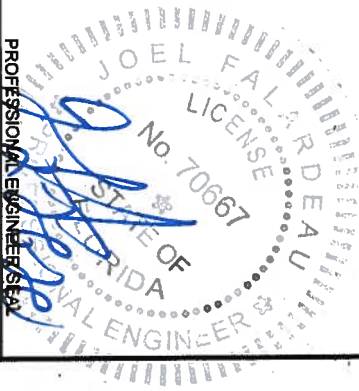
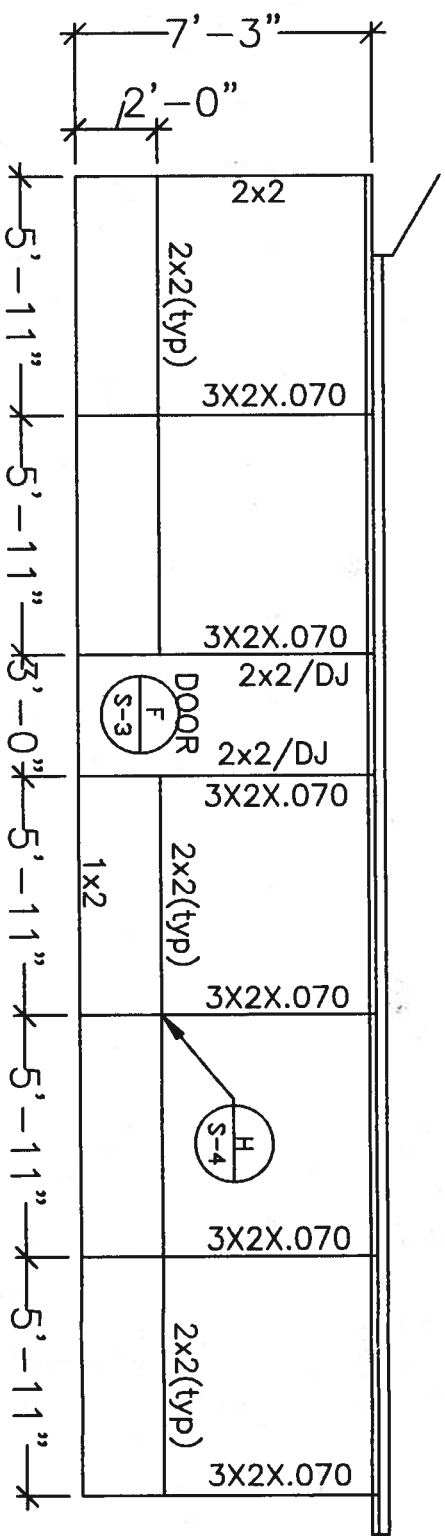
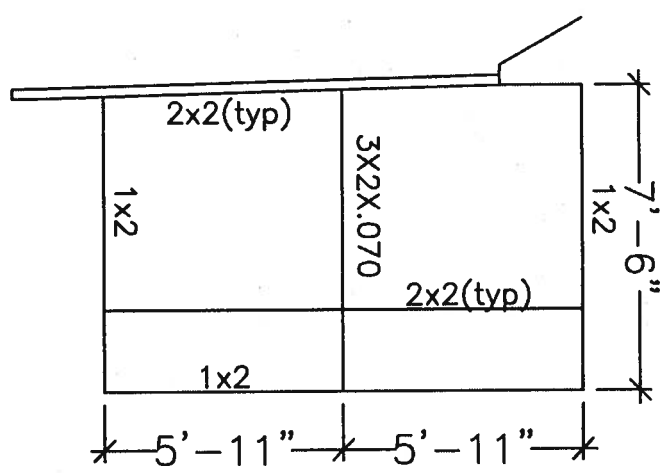
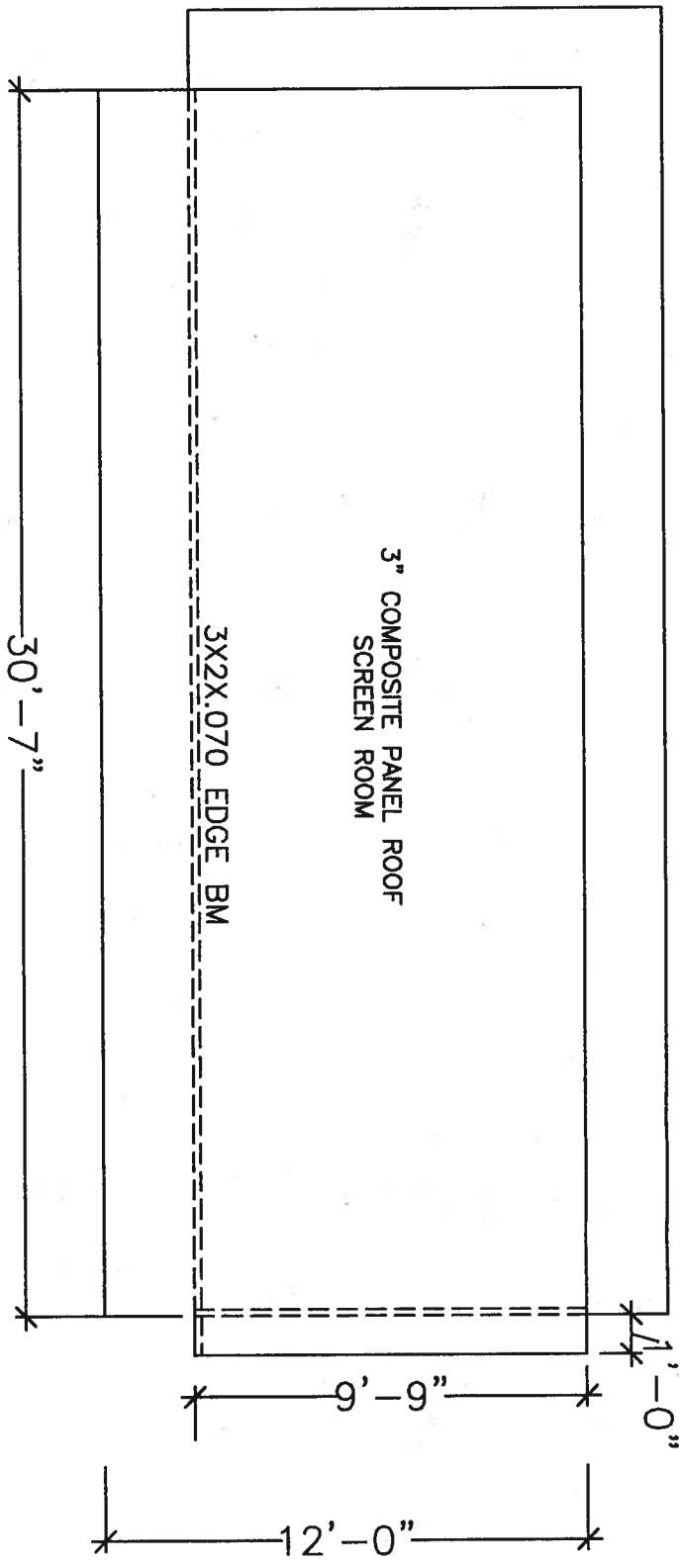
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REVISION:	DATE:
RO 1	
RO 2	
RO 3	
RO 4	

Job# 20_0221_317
PROJECT ADDRESS:
 COLLIER
 9794 SW CR 240
 LAKE CITY, FL 32024

CONTRACTOR:
 RICHARDSON ALUMINIUM LLC

DOOR LOCATION MAY BE DETERMINED
IN THE FIELD BY THE CONTRACTOR.



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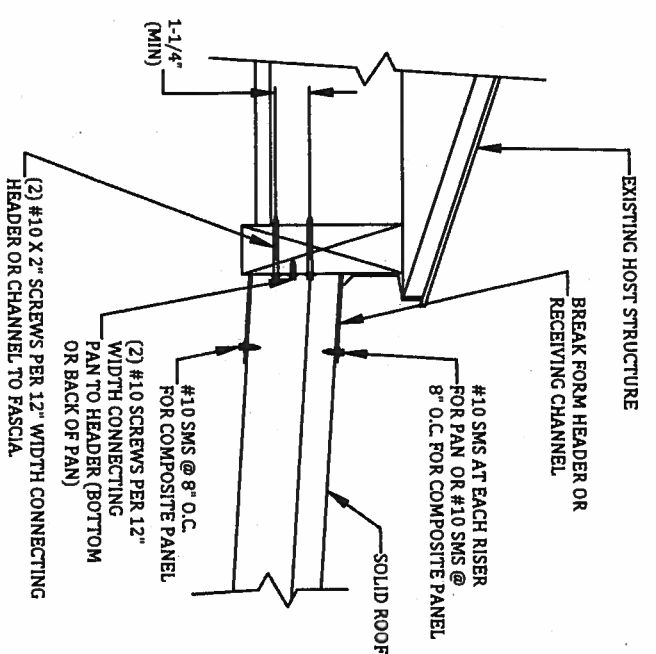
LAKE CITY, FL 32024

CONTRACTOR:

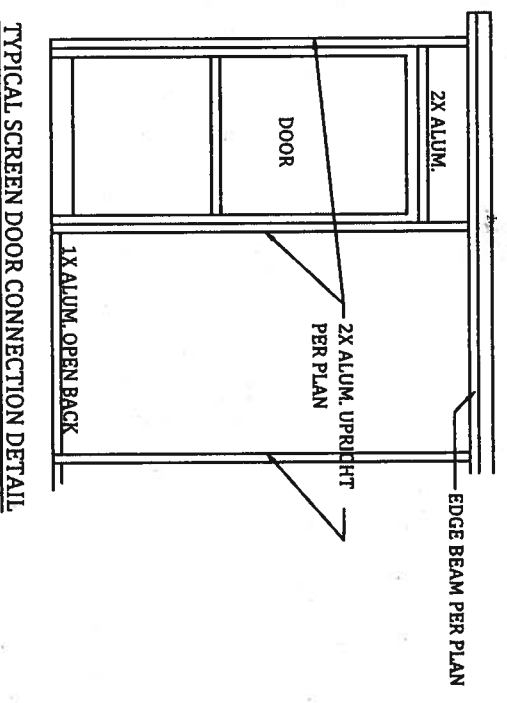
RICHARDSON ALUMINUM LLC

FLOOR PLAN

S-2

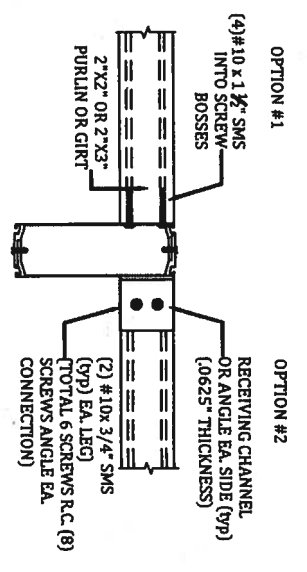


S1 ROOF PANEL TO FASCIA CONNECTION DETAILS
SCALE: NTS

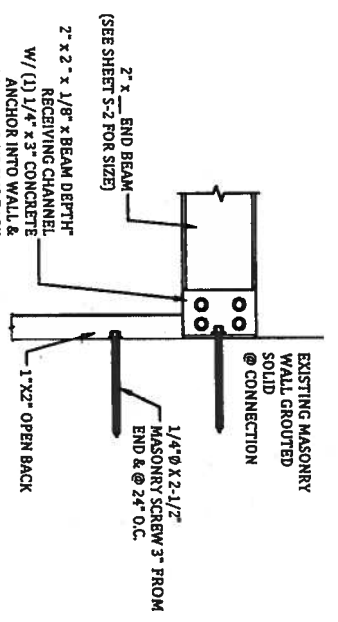


F TYPICAL SCREEN DOOR CONNECTION DETAIL
SCALE: NTS

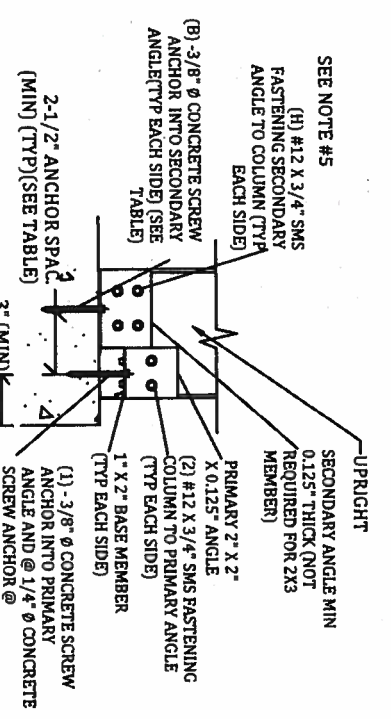
- NOTES:
1. HINGERS SHALL BE ATTACHED TO STRUCTURE W/ (3) #10 x 3/4" SMS MINIMUM.
 2. DOOR SHALL BE ATTACHED TO ENCLOSURE W/ (3) HINGERS MINIMUM.
 3. HINGERS SHALL BE ATTACHED TO DOOR WITH (3) #10 x 3/4" SMS. FASTEN A 1" x 2" x 0.044" TO UPRIGHT W/ #12 x 1-1/2" SMS @ 12" O.C. AND WITHIN 3" FROM END OF THE UPRIGHT.



H PURLIN OR GIRT TO BEAM OR POST DETAIL
SCALE: NTS



END BEAM TO HOST STRUCTURE DETAIL
SCALE: NTS



SEE NOTE #5

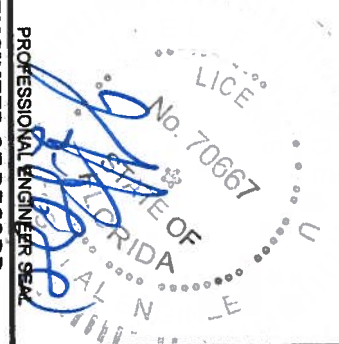
(H) #12 X 3/4" SMS FASTENING SECONDARY ANGLE TO COLUMN (TYP EACH SIDE)	(B) 3/8" Ø CONCRETE SCREW ANCHOR INTO SECONDARY ANGLE (TYP EACH SIDE) (SEE TABLE)
--	---

Column Size	Concrete Screw Anchor	1/4" Ø
2x3	B	Min. Spa
2x4	0	0"
2x4	1	3"

Column Size	Concrete Screw Anchor	3/8" Ø
2x5	B	Min. Spa
2x6	1	4"
2x7	2	5"
2x8	2	3"
2x9	2	4"
2x10	2	4.5"

- NOTES:
1. NUMBER OF ANCHORS "B" IS EACH SIDE INTO THE SECONDARY ANGLE AND DOES NOT INCLUDE THE ANCHOR INTO THE 1X2 CONNECTIONS AS 2X4 SHOWN IN TABLE.
 2. MINIMUM EMBEDMENT OF ANCHORS INTO CONCRETE FOOTING SHALL BE 2-3/4" AT ALL UPRIGHT LOCATIONS. ALL SCREW LENGTHS AT UPRIGHT CONNECTIONS SHALL BE OF SUFFICIENT LENGTH FOR REQUIRED EMBEDMENT INTO CONCRETE FOOTING WHEN A PAVEN DECK IS PRESENT.
 3. CONCRETE SCREW ANCHOR DESIGNS ARE BASED ON FASTENERS APPROVED ON THE S-1 NOTES PAGE.
 4. 2X3W/1X2 CORNER POST SHALL REQUIRE SAME BASE CONNECTIONS AS 2X4 SHOWN IN TABLE.
 5. FOR A 2X4 POST: FOLLOW FASTENING DETAIL ABOVE USING (2) 2"x2"x2"x125 ANGLE CLIPS ON EACH SIDE. USE (2) #12X3/4" SMS FASTENING COLUMN TO ANGLE CLIP (TYP @ EACH ANGLE CLIP)
 6. FOR A 2X5 POST: FOLLOW FASTENING DETAIL ABOVE USING (2) 2"x2"x2"x125 ANGLE CLIPS ON EACH SIDE. USE (3) #12X3/4" SMS FASTENING COLUMN TO ANGLE CLIP (TYP @ EACH ANGLE CLIP)
 7. (4) TOTAL SCREWS ON EACH SIDE OF POST
 8. (4) TOTAL SCREWS ON EACH SIDE OF POST
 9. (5) TOTAL SCREWS ON EACH SIDE OF POST

2" x 3" OR LARGER UPRIGHT TO CONCRETE W/ TWO PAVEN DETAILS
SCALE: NTS
USE CONNECTION DETAIL FOR TOP AND BOTTOM WHEN APPLICABLE



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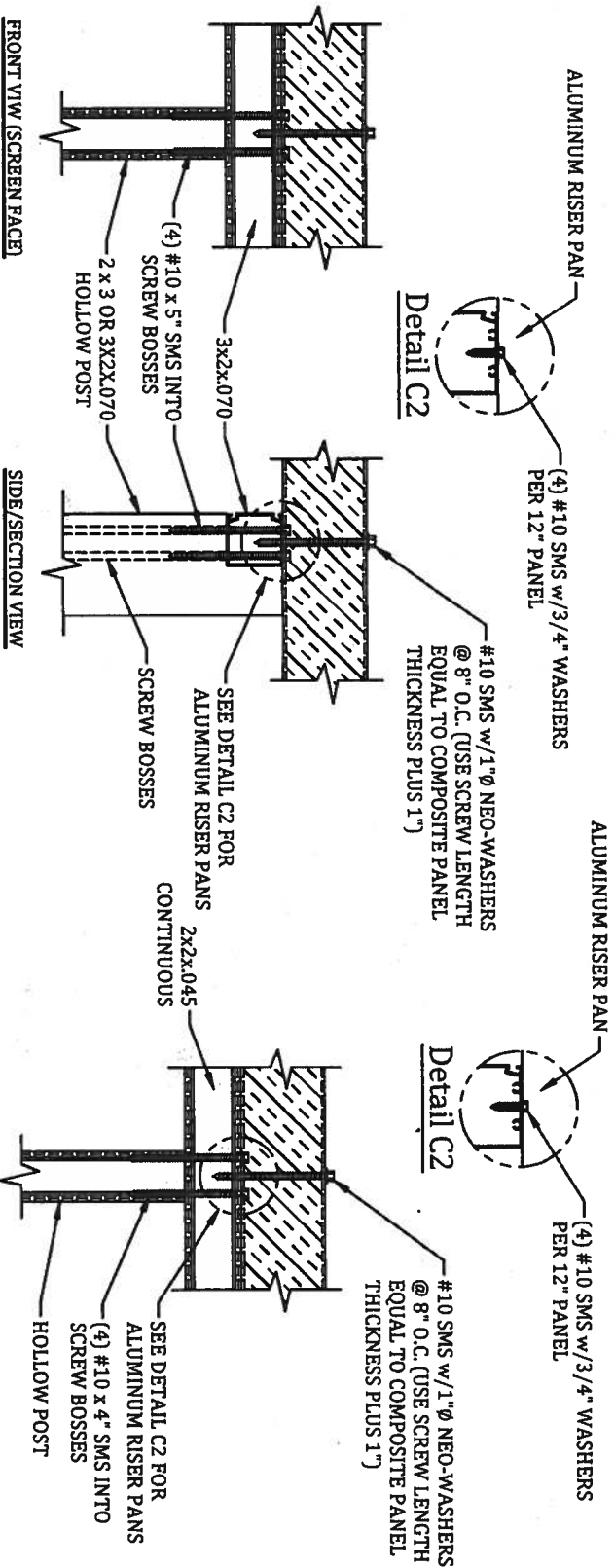
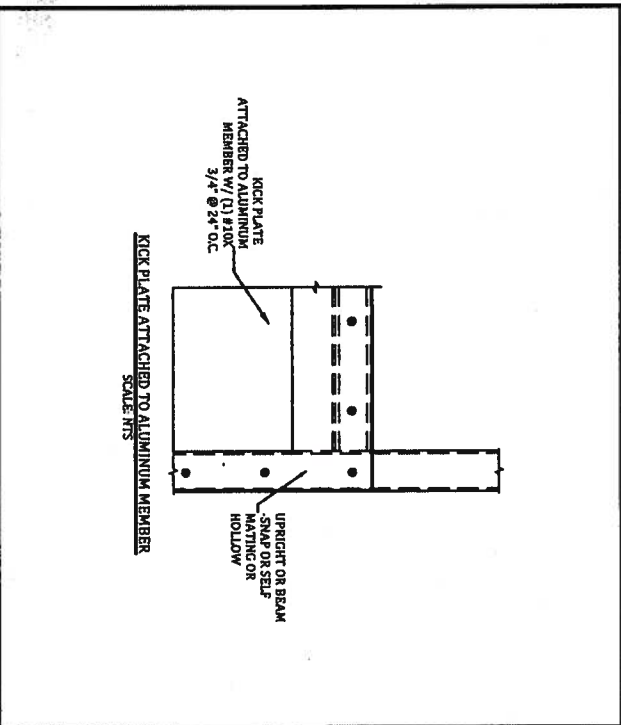
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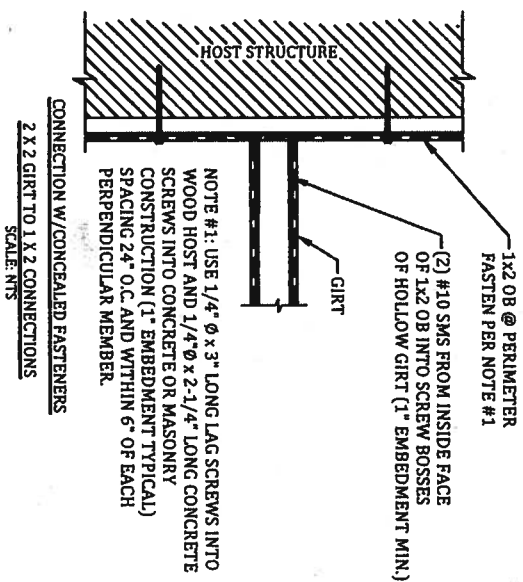
CONTRACTOR:
RICHARDSON ALUMINUM LLC

DETAILS
S-3

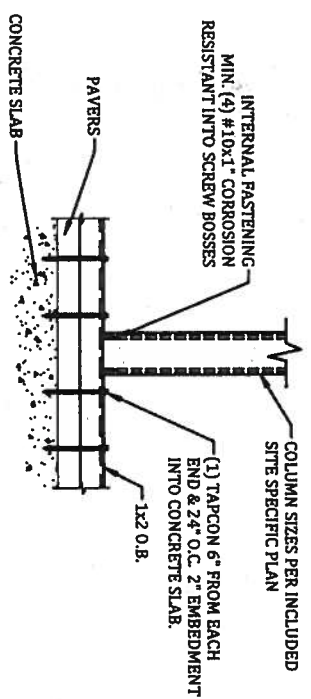


EDGE BEAM FASTENING DETAILS - 3x2 W/HOLLOW POST
SCALE: NTS

END BEAM - HOLLOW POSTS W/2x2 HEADER
SCALE: NTS

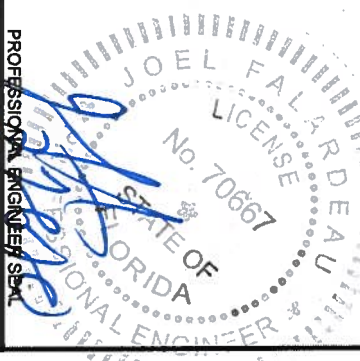


CONNECTION W/CONCEALED FASTENERS
2 X 2 GIRT TO 1 X 2 CONNECTIONS
SCALE: NTS



INTERNAL FASTENING CONNECTION DETAIL TO BASE RAIL
SCALE: NTS

- NOTES:
1. WHEN PAVERS ARE USED TAPCON FASTENERS SHALL PASS THRU PAVERS TO PROVIDE 2\"/>



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