

DATE 06/16/2011

Columbia County Building Permit

This Permit Must Be Prominently Posted on Premises During Construction

PERMIT
000029487

APPLICANT KEVIN BEDENBAUGH JR PHONE 386-365-5264
 ADDRESS 232 NW CHADLET LN LAKE CITY FL 32055
 OWNER ROBERT BROWN PHONE _____
 ADDRESS 437 NW GABLES GLEN LAKE CITY FL 32055
 CONTRACTOR KEVIN BEDENBAUGH JR PHONE 386-365-5264
 LOCATION OF PROPERTY 90 W, R LAKE JEFFERY RD, L GABLES WAY, 5TH LOT ON LEFT

TYPE DEVELOPMENT SFD, UTILITY ESTIMATED COST OF CONSTRUCTION 170550.00
 HEATED FLOOR AREA 2444.00 TOTAL AREA 3411.00 HEIGHT 29.00 STORIES 1
 FOUNDATION CONCRETE WALLS FRAMED ROOF PITCH 7/12 FLOOR SLAB
 LAND USE & ZONING AG-3 MAX. HEIGHT 35
 Minimum Set Back Requirments: STREET-FRONT 30.00 REAR 25.00 SIDE 25.00
 NO. EX.D.U. 0 FLOOD ZONE X DEVELOPMENT PERMIT NO. _____

PARCEL ID 06-3S-16-02017-105 SUBDIVISION THE GABLES
 LOT 5 BLOCK _____ PHASE _____ UNIT _____ TOTAL ACRES 4.80

000001893 _____ CGC1516042 _____ *ICM*
 Culvert Permit No. _____ Culvert Waiver _____ Contractor's License Number _____ Applicant/Owner/Contractor _____
 CULVERT _____ 11-0261 _____ BK _____ TC _____ N _____
 Driveway Connection _____ Septic Tank Number _____ LU & Zoning checked by _____ Approved for Issuance _____ New Resident _____

COMMENTS: FLOOR ONE FOOT ABOVE THE ROAD
 NOC ON FILE _____
 Check # or Cash 4777

FOR BUILDING & ZONING DEPARTMENT ONLY

Temporary Power _____ Foundation _____ Monolithic _____ (footer/Slab)
 date/app. by _____ date/app. by _____ date/app. by _____
 Under slab rough-in plumbing _____ Slab _____ Sheathing/Nailing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Framing _____ Insulation _____
 date/app. by _____ date/app. by _____
 Rough-in plumbing above slab and below wood floor _____ Electrical rough-in _____
 date/app. by _____ date/app. by _____
 Heat & Air Duct _____ Peri. beam (Lintel) _____ Pool _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Permanent power _____ C.O. Final _____ Culvert _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Pump pole _____ Utility Pole _____ M/H tie downs, blocking, electricity and plumbing _____
 date/app. by _____ date/app. by _____ date/app. by _____
 Reconnection _____ RV _____ Re-roof _____
 date/app. by _____ date/app. by _____ date/app. by _____

BUILDING PERMIT FEE \$ 855.00 CERTIFICATION FEE \$ 17.05 SURCHARGE FEE \$ 17.05
 MISC. FEES \$ 0.00 ZONING CERT. FEE \$ 50.00 FIRE FEE \$ 0.00 WASTE FEE \$ _____
 FLOOD DEVELOPMENT FEE \$ _____ FLOOD ZONE FEE \$ 25.00 CULVERT FEE \$ 25.00 **TOTAL FEE** 989.10
 INSPECTORS OFFICE *L.H.* CLERKS OFFICE *CN*

NOTICE: IN ADDITION TO THE REQUIREMENTS OF THIS PERMIT, THERE MAY BE ADDITIONAL RESTRICTIONS APPLICABLE TO THIS PROPERTY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. AND THERE MAY BE ADDITIONAL PERMITS REQUIRED FROM OTHER GOVERNMENTAL ENTITIES SUCH AS WATER MANAGEMENT DISTRICTS, STATE AGENCIES, OR FEDERAL AGENCIES.

"WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT."

EVERY PERMIT ISSUED SHALL BECOME INVALID UNLESS THE WORK AUTHORIZED BY SUCH PERMIT IS COMMENCED WITHIN 180 DAYS AFTER ITS ISSUANCE, OR IF THE WORK AUTHORIZED BY SUCH PERMIT IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AFTER THE TIME THE WORK IS COMMENCED. A VALID PERMIT RECIEVES AN APPROVED INSPECTION EVERY 180 DAYS. WORK SHALL BE CONSIDERED NOT SUSPENDED, ABANDONED OR INVALID WHEN THE PERMIT HAS RECIEVED AN APPROVED INSPECTION WITHIN 180 DAYS OT THE PREVIOUS INSPECTION.

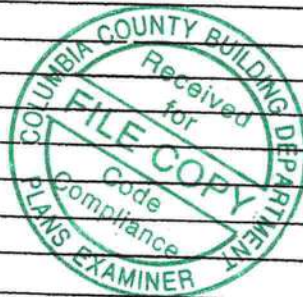
The Issuance of this Permit Does Not Waive Compliance by Permittee with Deed Restrictions.

Location:

Project Name:

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number
A. EXTERIOR DOORS			FL 4242
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS		Atrium SH 160 Series	FL 6752
1. Single hung			FL 5108
2. Horizontal Slider			FL 5451
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			FL 5418
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			FL 889-R
3. EIFS			FL 4899
4. Storefronts		Durig Siding DS	FL 4905
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			FL 3820-R1
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			FL 586-R2
3. Roofing Fasteners			FL 1814-R1
4. Non-structural Metal Rf			
5. Built-Up Roofing			FL 4586.3
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			



Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number
13. Liquid Applied Roof Sys			
14. Cements-Adhesives - Coatings			FL 1960-1
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			FL 451-
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			FL 474-R1
2. Truss plates			
3. Engineered lumber			FL 1008-R
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Kent
Contractor or Contractor's Authorized Agent Signature
Gables Lot 5
Location

Kam Pedersen
Print Name
6-7-11
Date

Permit # (FOR STAFF USE ONLY)

GLENBRANCO
OF
CALANDRA

OCCUPANCY

COLUMBIA COUNTY, FLORIDA

Department of Building and Zoning Inspection

This Certificate of Occupancy is issued to the below named permit holder for the building and premises at the below named location, and certifies that the work has been completed in accordance with the Columbia County Building Code.

Parcel Number 06-3S-16-02017-105 Building permit No. 000029487

Use Classification SFD, UTILITY Fire: 6.42
Permit Holder KEVIN BEDENBAUGH JR Waste: 16.75
Owner of Building ROBERT BROWN Total: 23.17

Location: 437 NW GABLES GLEN, LAKE CITY, FL 32055

Date: 09/02/2011



[Signature]

Building Inspector

POST IN A CONSPICUOUS PLACE
(Business Places Only)

11.11



Sub-Office
 100 sq. ft.
 100 sq. ft.
 100 sq. ft.

Office
 100 sq. ft.

Office
 100 sq. ft.

Office
 100 sq. ft.

Office
 100 sq. ft.

Office
 100 sq. ft.

19/10/2021

Handwritten notes or a list of items, possibly related to the diagrams, including some illegible text.



H 29487
Truss Repair OK T.C. 7-21-11

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Page 1 of 1 Document ID: IUDS215-Z0120134819



Truss Fabricator: W.B. Howland
 Job Identification: REPAIR / 7041B (REPAIR / 7041B-)
 Truss Count: 1
 Model Code: Florida Building Code 2007 and 2009 Supplement
 Truss Criteria: FBC2007Res/TPI-2002(STD)
 Engineering Software: Alpine Software, Version 10.03.
 Structural Engineer of Record:
 Address:
 Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
 Floor - N/A
 Wind - 110 MPH ASCE 7-05 -Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

-Truss Design Engineer-
Walter P. Finn

1950 Marley Drive
Haines City, FL 33844

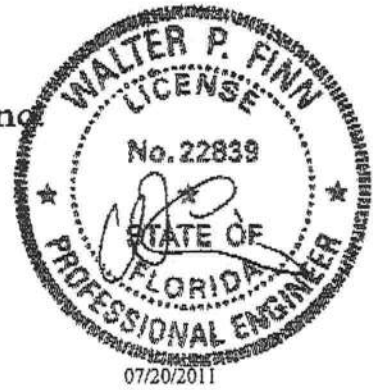
Revised Trusses

#	Ref	Description	Drawing#	Date
1	24366	-TCE / A5	11201001	07/20/11

Repair Charge: \$22.50 per Customer Agreement.
Amount to be invoiced separately.

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1UDS215-Z0120134819



Truss Fabricator: W.B. Howland
Job Identification: REPAIR / 7041B (REPAIR / 7041B-)
Truss Count: 1
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Version 10.03.
Structural Engineer of Record: The identity of the structural EOR did not exist as of
Address: the seal date per section 61615-31.003(5a) of the FAC
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 Closed

Notes:

1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

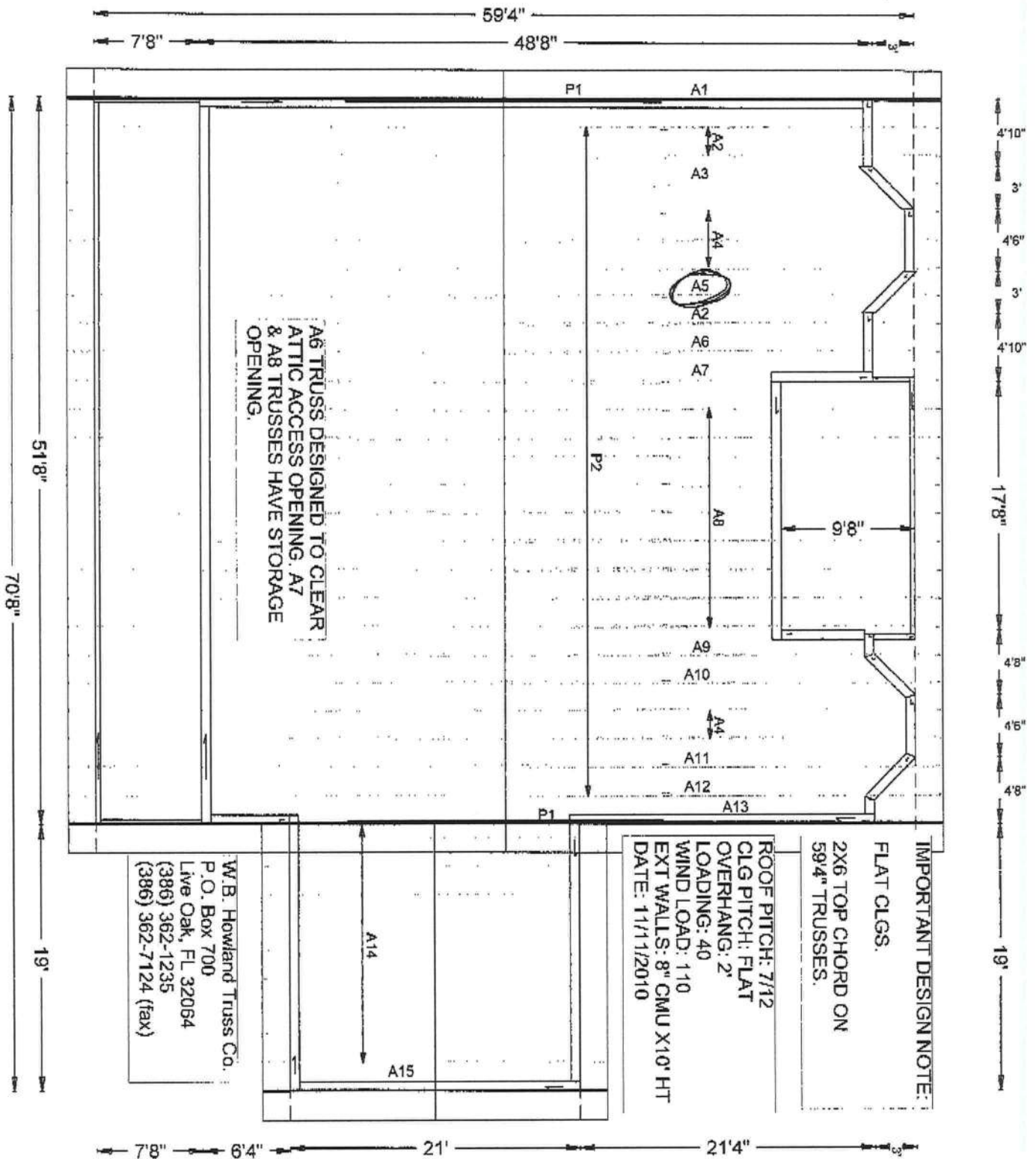
Walter P. Finn
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: BRCLBSUB-

#	Ref	Description	Drawing#	Date
1	24366	TCE / A5	11201001	07/20/11

Repair Charge: \$22.50 per Customer Agreement.
Amount to be invoiced separately.



W.B. Howland Truss Co.
 P.O. Box 700
 Live Oak, FL 32064
 (386) 362-1235
 (386) 362-7124 (fax)

CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON A TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

NOTES:

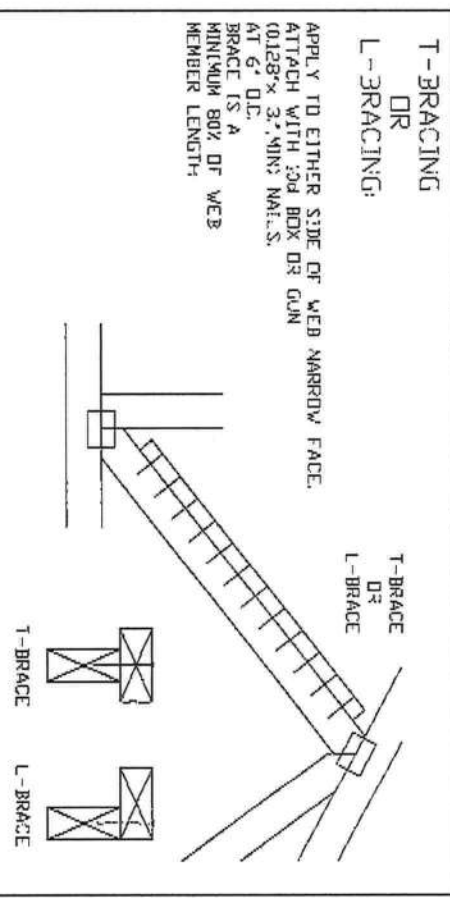
THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE FOR MINIMUM ALTERNATIVE BRACING. RE-RUN DESIGN WITH APPROPRIATE BRACING.

WEB MEMBER SIZE	SPECIFIED CLB BRACING	T OR L-BRACE	ALTERNATIVE BRACING SCAB BRACE
2X3 DR 2X4	1 ROW	2X4	1-2X4
2X3 DR 2X4	2 ROWS	2X6	2-2X4
2X6	1 ROW	2X4	1-2X6
2X6	2 ROWS	2X6	2-2X4(*)
2X8	1 ROW	2X6	1-2X8
2X8	2 ROWS	2X6	2-2X6(*)

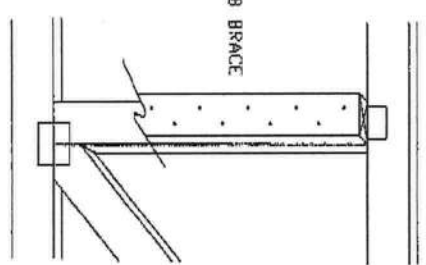
T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

(*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.



SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB. NO MORE THAN (1) SCAB PER FACE. ATTACH WITH 10d BOX DR GUN 60128"x 3.7" MIN) NAILS. AT 6" O.C. BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



Building Components Group Inc.
 11V Building Components Group Inc. (11V)B020 shall not be responsible for any design errors, omissions, or failures to build the truss in conformance with TPI or fabricating, handling, or erection instructions. Building Components Group Inc. shall not be responsible for any design errors, omissions, or failures to build the truss in conformance with TPI or fabricating, handling, or erection instructions. Building Components Group Inc. shall not be responsible for any design errors, omissions, or failures to build the truss in conformance with TPI or fabricating, handling, or erection instructions. Building Components Group Inc. shall not be responsible for any design errors, omissions, or failures to build the truss in conformance with TPI or fabricating, handling, or erection instructions.

WALTER P. FINE
 LICENSED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 22839
 07/20/2011

TC LL	PSF	REF	CLB SUBST
TC DL	PSF	DATE	1/1/09
BC DL	PSF	DRWG	BRCLBSUB0109
BC LL	PSF		
TOT. LD.	PSF		
DUR. FAC.			
SPACING			

(REPAIR / 70419 - A5)

Top chord 2x6 SP #2 H
Bot chord 2x4 SP #2 H
Webs 2x4 SP #2 H

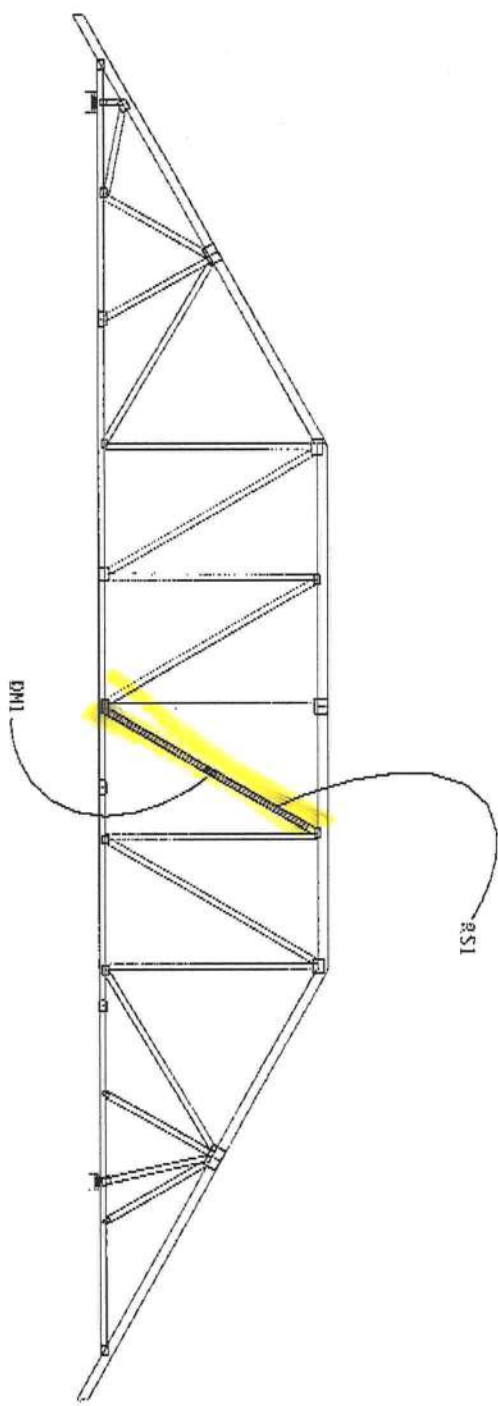
This truss is repaired for up to a 6" break in diagonal web will at its mid-point as shown.

Refer to Drawing F-CUSK215 11175005 For Details Not Shown on This Drawing.

Prior to and during repair operation, this truss and any supported spans must be temporarily braced and shored. The design and positioning of such shall be designed and supplied by others.

(DM1) Truss member damaged in the indicated area. Damage length is 0'-4"-0" at 32'-8"-14" from left end. (RS1) 2x4 x 10'-6"-0" SP #3 studs. Attach studs to each face, centered on damage, with 0'-12" x 3" nails in 1 row at 12" oc in each row. Offset rows from opposing faces to prevent splits.

THIS ONE REPAIRED FROM COMBINED JOINT LOADS & DISCREPANCIES; SUBMITTED BY TRUSS MFG.



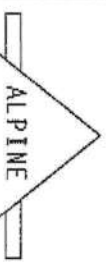
R-2157 U=587 W=11.314"
RL=428/-428

R-2808 U=692 W=8"

PL TYP. WAVE

Des'gn Cr'tt: FBC2007Res/TPI-200
FT/RT=204(08)/10.0

QTY: 1 FL: /S: /- /R: /- Scale = .125" / FT.



ALPINE Building Components Group, Inc.
Haines City, FL 33844
FL CO# 00278

DESIGNED BY: FBC2007RES/TPI-200
CHECKED BY: [Signature]
DATE: 07/20/11



TC	DL	20.0	PSF	REF	R215--	24355
TC	DL	10.0	PSF	DATE	07/20/11	
BC	DL	10.0	PSF	DRN	4058215	126.001
BC	LL	0.0	PSF	HC-ENG	TCE/WPF	
70T	LD.	40.0	PSF	SEDM-	6236	REV
DJR	FAC.	1.25		FROR	GPH	
SPACING		24.0"		JREF	IBUS215_Z01	

Columbia County Building Permit Application

For Office Use Only Application # 1106-13 Date Received 6-7-11 By LH Permit # 29487/1893
 Zoning Official BLK Date 18 June 2011 Flood Zone X Land Use A-3 Zoning A-3
 FEMA Map # N/A Elevation N/A MFE 1' above River N/A Plans Examiner T.C. Date 6-13-11
 Comments _____
 NOC EH Deed or PA Site Plan State Road Info Well letter 911 Sheet Parent Parcel # _____
 Dev Permit # _____ In Floodway Letter of Auth. from Contractor F W Comp. letter _____
 IMPACT FEES: EMS _____ Fire _____ Corr _____ Sub VF Form _____
 Road/Code _____ School _____ = TOTAL (Suspended) App Fee Paid _____

Septic Permit No. 11-0261 Fax _____
 Name Authorized Person Signing Permit KEVIN BEDENBAUGH Phone 386-365-5264
 Address 232 NW CHADLEY LN Lake City, FL 32055

Owners Name Robert Brown Phone _____
 911 Address 437 NW GABLES GLEN Lake City, FL 32055

Contractors Name KEVIN BEDENBAUGH / Plumb Level CONST. Phone 386-792-4061
 Address 232 NW CHADLEY LN Lake City, FL 32055

Fee Simple Owner Name & Address _____
 Bonding Co. Name & Address _____

Architect/Engineer Name & Address Windpaal engineer PO Box 868 Lake City, 32056
 Mortgage Lenders Name & Address SUNTRUST MORTGAGE TR 901 SEMMES AVE, Richmond VA 23224

Circle the correct power company - FL Power & Light - Clay Elec. - Suwannee Valley Elec. - Progress Energy

Property ID Number 06-35-16-02017-105 Estimated Cost of Construction 204,000
 Subdivision Name The Gables Lot 5 Block _____ Unit _____ Phase _____

Driving Directions Lake Jeffery Hwy, cross I-75, Turn (L) on Gables Way, 5th lot on left.

Number of Existing Dwellings on Property 0
 Construction of Single Family Dwelling Total Acreage 4.8 Lot Size _____

Do you need a Culvert Permit or Culvert Waiver or Have an Existing Drive Total Building Height 29'

Actual Distance of Structure from Property Lines - Front 7' Side 12' Side _____ Rear 9'

Number of Stories 1 Heated Floor Area 2444 Total Floor Area 3411 Roof Pitch 7/12

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction. **CODE: Florida Building Code 2007 with 2009 Supplements and the 2008 National Electrical Code.**

#4777 spoke to Kevin 6-14-11 & L: Kevin 6-16-11

Columbia County Building Permit Application

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO BUILDING PERMITEE: **YOU ARE HEREBY NOTIFIED** as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

(Owners Must Sign All Applications Before Permit Issuance.)

Robert J. Brown
Owners Signature

**OWNER BUILDERS MUST PERSONALLY APPEAR AND SIGN THE BUILDING PERMIT.

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

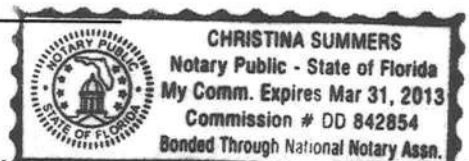
CS
Contractor's Signature (Permitee)

Contractor's License Number CC01576042
Columbia County
Competency Card Number 377 etc

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 7 day of June 20 11.
Personally known or Produced Identification

Christina Summers
State of Florida Notary Signature (For the Contractor)

SEAL:



SUBCONTRACTOR VERIFICATION FORM

APPLICATION NUMBER 1106-13 CONTRACTOR Plumb Level PHONE 386-365-5264

THIS FORM MUST BE SUBMITTED PRIOR TO THE ISSUANCE OF A PERMIT

In Columbia County one permit will cover all trades doing work at the permitted site. It is **REQUIRED** that we have records of the subcontractors who actually did the trade specific work under the permit. Per Florida Statute 440 and Ordinance 89-6, a contractor shall require all subcontractors to provide evidence of workers' compensation or exemption, general liability insurance and a valid Certificate of Competency license in Columbia County.

Any changes, the permitted contractor is responsible for the corrected form being submitted to this office prior to the start of that subcontractor beginning any work. Violations will result in stop work orders and/or fines.

<i>ok</i> ELECTRICAL 380	Print Name <u>DONNIE DAVIS</u> License #: <u>EC 00002306</u>	Signature <u>Donnie Davis</u> Phone #: <u>386-623-0499</u>
<i>ok</i> MECHANICAL/ A/C <u>A 903</u>	Print Name <u>JOE DAVIS</u> License #: <u>CAC1816529</u>	Signature <u>Joe Davis</u> Phone #: <u>386-623-3487</u>
<i>ok</i> PLUMBING/ GAS <u>441</u>	Print Name <u>JOE DAVIS</u> License #: <u>CFC1428234</u>	Signature <u>Joe Davis</u> Phone #: <u>386-623-3487</u>
<i>ok</i> ROOFING <u>1056</u>	Print Name <u>KEVIN BEDENBANGH</u> License #: <u>CCC 1329482</u>	Signature <u>Kevin</u> Phone #: <u>386-365-5264</u>
SHEET METAL	Print Name _____ License #: _____	Signature _____ Phone #: _____
FIRE SYSTEM/ SPRINKLER	Print Name <u>N/A</u> License #: _____	Signature _____ Phone #: _____
SOLAR	Print Name _____ License #: _____	Signature _____ Phone #: _____

Specialty License	License Number	Sub-Contractors Printed Name	Sub-Contractors Signature
<i>ok</i> MASON	<u>000246</u>	<u>ED DENNARD</u>	<u>Ed Dennard</u>
<i>ok</i> CONCRETE FINISHER	<u>000663</u>	<u>DARRELL SPRADLEY</u>	<u>Darrell Spradley</u>
<i>ok</i> FRAMING <u>377</u>	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
<i>ok</i> INSULATION	<u>D00929</u>	<u>KEVIN JACKSON</u>	<u>Kevin Jackson</u>
STUCCO	<u>N/A</u>		
<i>ok</i> DRYWALL	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
PLASTER	<u>N/A</u>		
<i>ok</i> CABINET INSTALLER <u>377</u>	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
<i>ok</i> PAINTING <u>377</u>	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
ACOUSTICAL CEILING	<u>N/A</u>		
GLASS			
<i>ok</i> CERAMIC TILE	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
<i>ok</i> FLOOR COVERING	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
<i>ok</i> ALUM/VINYL SIDING <u>377</u>	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
<i>ok</i> GARAGE DOOR <u>377</u>	<u>CGC1516042</u>	<u>KEVIN BEDENBANGH</u>	<u>Kevin</u>
METAL BLDG ERECTOR	<u>N/A</u>		

F. S. 440.103 Building permits; identification of minimum premium policy.--Every employer shall, as a condition to applying for and receiving a building permit, show proof and certify to the permit issuer that it has secured compensation for its employees under this chapter as provided in ss. 440.10 and 440.38, and shall be presented each time the employer applies for a building permit.

**Columbia County Building Department
Culvert Permit**

**Culvert Permit No.
000001893**

DATE 06/16/2011 PARCEL ID # 06-3S-16-02017-105
APPLICANT KEVIN BEDENBAUGH JR PHONE 386-365-5264
ADDRESS 232 NW CHADLET LN LAKE CITY FL 32055
OWNER ROBERT BROWN PHONE _____
ADDRESS 437 NW GABLES GLEN LAKE CITY FL 32055
CONTRACTOR KEVIN BEDENBAUGH JR PHONE 386-365-5264
LOCATION OF PROPERTY 90 W, R LAKE JEFFERY RD, L GABLES WAY, 5TH ON LEFT

SUBDIVISION/LOT/BLOCK/PHASE/UNIT THE GABLES 5

SIGNATURE *Kevin Bedenbaugh Jr*

INSTALLATION REQUIREMENTS

Culvert size will be 18 inches in diameter with a total length of 32 feet, leaving 24 feet of driving surface. Both ends will be mitered 4 foot with a 4 : 1 slope and poured with a 4 inch thick reinforced concrete slab.

INSTALLATION NOTE: Turnouts will be required as follows:

- a) a majority of the current and existing driveway turnouts are paved, or;
 - b) the driveway to be served will be paved or formed with concrete.
- Turnouts shall be concrete or paved a minimum of 12 feet wide or the width of the concrete or paved driveway, whichever is greater. The width shall conform to the current and existing paved or concreted turnouts.

Culvert installation shall conform to the approved site plan standards.

Department of Transportation Permit installation approved standards.

Other _____

**ALL PROPER SAFETY REQUIREMENTS SHOULD BE FOLLOWED
DURING THE INSTALATION OF THE CULVERT.**

135 NE Hernando Ave., Suite B-21
Lake City, FL 32055
Phone: 386-758-1008 Fax: 386-758-2160

Amount Paid 25.00



COLUMBIA COUNTY 9-1-1 ADDRESSING

P. O. Box 1787, Lake City, FL 32056-1787
PHONE: (386) 758-1125 * FAX: (386) 758-1365 * Email: ron_croft@columbiacountyfla.com

Addressing Maintenance

To maintain the Countywide Addressing Policy you must make application for a 9-1-1 Address at the time you apply for a building permit. The established standards for assigning and posting numbers to all principal buildings, dwellings, businesses and industries are contained in Columbia County Ordinance 2001-9. The addressing system is to enable Emergency Service Agencies to locate you in an emergency, and to assist the United States Postal Service and the public in the timely and efficient provision of services to residents and businesses of Columbia County.

DATE REQUESTED: 11/2/2010 DATE ISSUED: 11/4/2010

ENHANCED 9-1-1 ADDRESS:

437 NW GABLES GLN

LAKE CITY FL 32055

PROPERTY APPRAISER PARCEL NUMBER:

06-3S-16-02017-105

Remarks:

STRUCTURE LOT 5 GABLES S/D

ADDRESS WAS ISSUED FOR PROPOSED STRUCTURE ON 4 NOV 2010.

Address Issued By: SIGNED: / RONAL N. CROFT
Columbia County 9-1-1 Addressing / GIS Department

NOTICE: THIS ADDRESS WAS ISSUED BASED ON LOCATION INFORMATION RECEIVED FROM THE REQUESTER. SHOULD, AT A LATER DATE, THE LOCATION INFORMATION BE FOUND TO BE IN ERROR, THIS ADDRESS IS SUBJECT TO CHANGE.

13 F CT

NW BAGEL CT
NW SUGAR GLN

NW OGDEN LOOP

NW GABLES GLN

NW OGDEN LOOP

118

217

217

225

204

201

285

229

262

243

201

1179

118

100

100

100

118

50

67

207

222

1016

1900

1071

1005

1159

1021

1441

1307

Prepared by and return to:
J. Todd South, Esq./dt
South Milhausen, P.A.
Gateway Center
1000 Legion Place, Suite 1200
Orlando, FL 32801
Phone 407-539-1638
File # 5184-1

201112008403 Date: 6/3/2011 Time: 2:44 PM
DC, P. DeWitt Cason, Columbia County Page 1 of 2 B:1215 P:2243

Permit No. _____ AND Tax I.D. Number: 163S06-02017-105

NOTICE OF COMMENCEMENT

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this Notice of Commencement:

- 1. Description of Property (legal description and street address if available):

Lot 5, GABLES, according to the Map or Plat thereof as recorded in Plat Book 9, Pages 37-38, of the Public Records of Columbia County, Florida.

Whose street address is: 437 NW Gables Glen, Lake City, Florida 32055

- 2. General description of improvement(s): New Build - Single Family Residence

- 3. Owner information:

(a) Name: ROBERT BROWN AND JUDITH BROWN
Address: 207 SE Osceola Place
Lake City, Florida 32055
Phone Number: 386-243-8339

- (b) Interest in property: Fee simple.

- (c) Name and address of fee simple titleholder (if other than Owner):

- 4. Contractor (name and address):

Name: PLUMB LEVEL CONSTRUCTION CO., LLC
Address: 232 NW Chadley Lane, Lake City, Florida 32055
Phone number: 386-792-4061

- 5. Surety Information:

(a) Name: _____
Address: _____
Phone number: _____

- (b) Amount of Bond: _____

- 6. Lender Information:

Name: SUNTRUST MORTGAGE, INC.
Address: 901 Semmes Avenue, Richmond, VA 23224
Phone Number: _____

- 7. Name and address of person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1) (a) (7), Florida Statutes:

Name: _____
Address: _____
Phone number: _____

- 8. In addition to himself, Owner designates SUNTRUST MORTGAGE, INC., 901 Semmes Avenue, Richmond, VA 23224, to receive a copy of the Lienor's Notice as provided in Section 713.13 (1) (b), Florida Statutes.

Phone number of designated person(s): _____

STATE OF FLORIDA, COUNTY OF COLUMBIA
I HEREBY CERTIFY, that the above and foregoing
is a true copy of the original filed in this office.
P. DeWITT CASON, CLERK OF COURTS

By: Donnie Dow
Deputy Clerk

Date: June 3, 2011



This Instrument Prepared By:
Michael H. Harrell
Abstract & Title Services, Inc.
P. O. Box 7175
Lake City, FL 32055
ATS# 2-17817

Inst:201012000655 Date:1/19/2010 Time:1:11 PM
DC: Stamp-Deed.315.00
DC, P. DeWitt Cason, Columbia County Page 1 of 1 B:1187 P:1628

GENERAL WARRANTY DEED
Individual to Individual (or Corporation/LLC)

This Warranty Dood made this 16th day of January, 2010 by

Daniel Crapps

hereinafter called the Grantor, to

Robert S. Brown, and his wife, Judith B. Brown

whose post office address is 4111 Floralwood Court, Orlando, FL 32812, hereinafter called the Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of Individuals, and the successors and assigns of Corporation.)

The Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, unto the Grantee all that certain land, situate in COLUMBIA County, Florida, viz: TAX ID: R02017-105 :

Lot 5, Gables Subdivision, a subdivision according to the plat thereof, as recorded in Plat Book 9, Pages 37-38, Public Records of Columbia County, Florida.

The above described property is not nor has it ever been the Homestead of the Grantor who in fact resides at 2707 130th Terrace, Wellborn FL 32094.

Together with all the tenements, hereditaments, and appurtenances thereto belonging or in anyways appertaining.

To have and to hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to December 31, 2008.

In witness whereof, the said Grantor has signed and sealed these presents the day and year first above written.

Mary Lyons
WITNESS
Printed Name: MARY LYONS

[Signature]
Daniel Crapps

Donna Cox
WITNESS
Printed Name: DONNA COX

State of Florida
County of Columbia

I hereby certify that on this 16th day of January, 2010, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared Daniel Crapps, who is personally known to me or produced a _____ for identification, and known to me to be the person described in and who executed the foregoing instrument, who acknowledged before me that he/she/they executed the same, and an oath was not taken.

(SEAL)

Donna Cox
NOTARY PUBLIC

My Commission Expires:





STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 ONSITE SEWAGE TREATMENT AND DISPOSAL
 SYSTEM
 APPLICATION FOR CONSTRUCTION PERMIT



PERMIT NO. 11-00601
2037173
 DATE PAID: 5/25/11
 FEE PAID: 310.05
 RECEIPT #: 1102198

APPLICATION FOR:
 New System Existing System Holding Tank Innovative
 Repair Abandonment Temporary _____

APPLICANT: Robert S Brown

AGENT: ROCKY FORD, A & B CONSTRUCTION TELEPHONE: 386-497-2311

MAILING ADDRESS: P.O. BOX 39 FT. WHITE, FL, 32038

TO BE COMPLETED BY APPLICANT OR APPLICANT'S AUTHORIZED AGENT. SYSTEMS MUST BE CONSTRUCTED BY A PERSON LICENSED PURSUANT TO 489.105(3)(m) OR 489.552, FLORIDA STATUTES. IT IS THE APPLICANT'S RESPONSIBILITY TO PROVIDE DOCUMENTATION OF THE DATE THE LOT WAS CREATED OR PLATTED (MM/DD/YY) IF REQUESTING CONSIDERATION OF STATUTORY GRANDFATHER PROVISIONS.

PROPERTY INFORMATION

LOT: 5 BLOCK: na SUB: Gables PLATTED: _____

PROPERTY ID #: 6-3S-16-02017-105 ZONING: _____ I/M OR EQUIVALENT: Y / N

PROPERTY SIZE: 4.8 ACRES WATER SUPPLY: PRIVATE PUBLIC <=2000GPD >2000GPD

IS SEWER AVAILABLE AS PER 381.0065, FS? Y / N DISTANCE TO SEWER: FT

PROPERTY ADDRESS: NW Gables Glen, Lake City, FL 32055

DIRECTIONS TO PROPERTY: 90 West, TR on Lake Jeffery Road, Cross I-75, TL on Gables Glen, 5th lot on left

BUILDING INFORMATION

RESIDENTIAL COMMERCIAL

Unit No	Type of Establishment	No. of Bedrooms	Building Area Sqft	Commercial/Institutional System Design Table 1, Chapter 64E-6, FAC
1	SF Residential	3	2444	
2				
3				

Floor/Equipment Drains Other (Specify) _____

SIGNATURE: Rocky D Ford DATE: 5/24/2011

STATE OF FLORIDA
 DEPARTMENT OF HEALTH
 APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

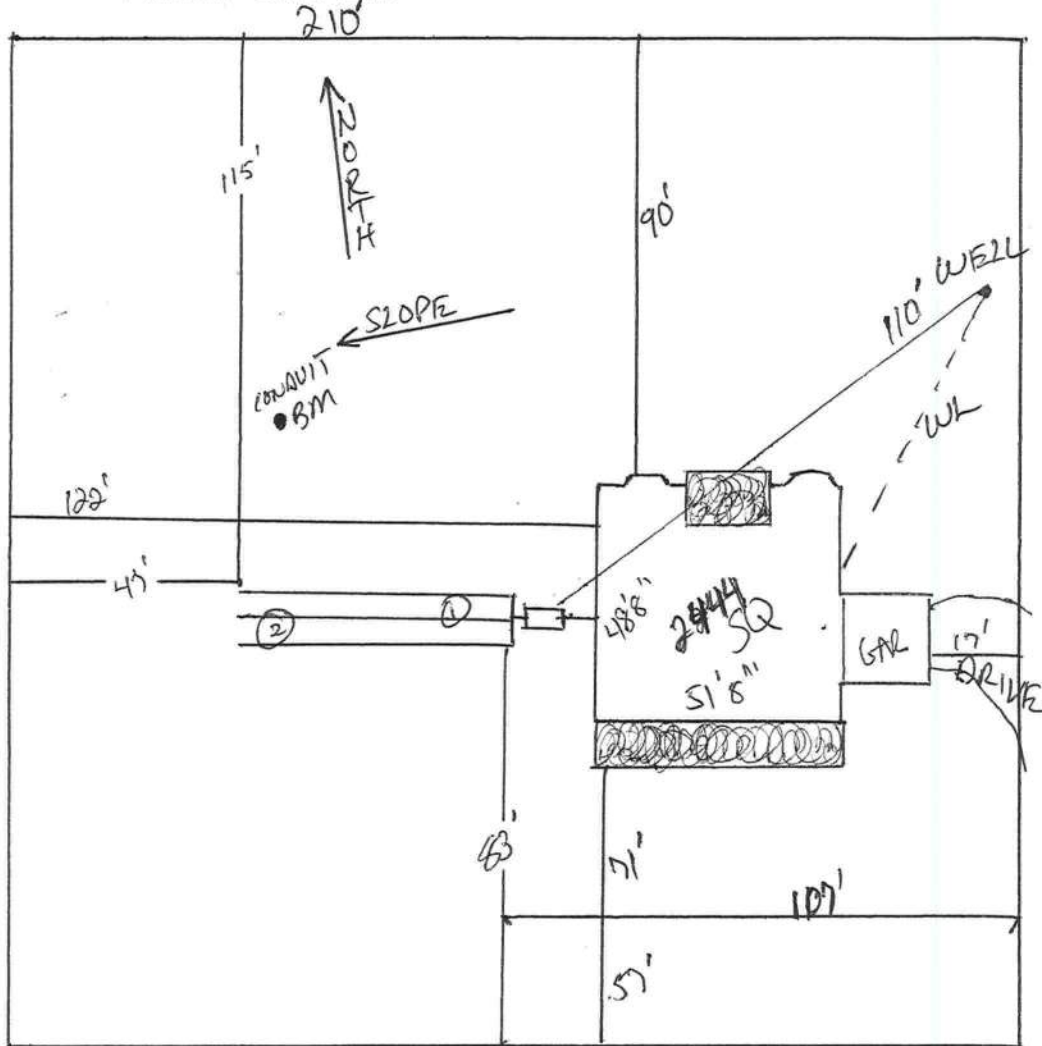
Permit Application Number 11-00101

Brown

----- PART II - SITEPLAN -----

Scale: 1 inch = 40 feet.

SEE ATTACHED



Notes: 1 of 4.8 Acres

Site Plan submitted by: *Rocky D F* MASTER CONTRACTOR
 Plan Approved Not Approved _____ Date 11/11
 By *[Signature]* Columbia County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

BROWN Rocky D F-O

MAY 24 2011



06-3S-16-02017-105
 BROWN ROBERT S
 4.8AC | 1/16/2010 - \$45,000 - VQ

Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 06-3S-16-02017-105 - VACANT (000000)

LOT 5 GABLES & WD 1187-1728

Name: BROWN ROBERT S
 Site: FLORALWOOD COURT
 4111 FLORALWOOD COURT
 Mail: ORLANDO, FL 32812
 Sales Info: 1/16/2010 \$45,000.00 V/Q

2010 Certified Values

Land	\$41,040.00
Bldg	\$0.00
Assd	\$41,040.00
Exmpt	\$0.00
Taxbl	Cnty: \$41,040
	Other: \$41,040 Schl: \$41,040

NOTES:



STATE OF FLORIDA
DEPARTMENT OF HEALTH
APPLICATION FOR ONSITE SEWAGE DISPOSAL SYSTEM CONSTRUCTION PERMIT

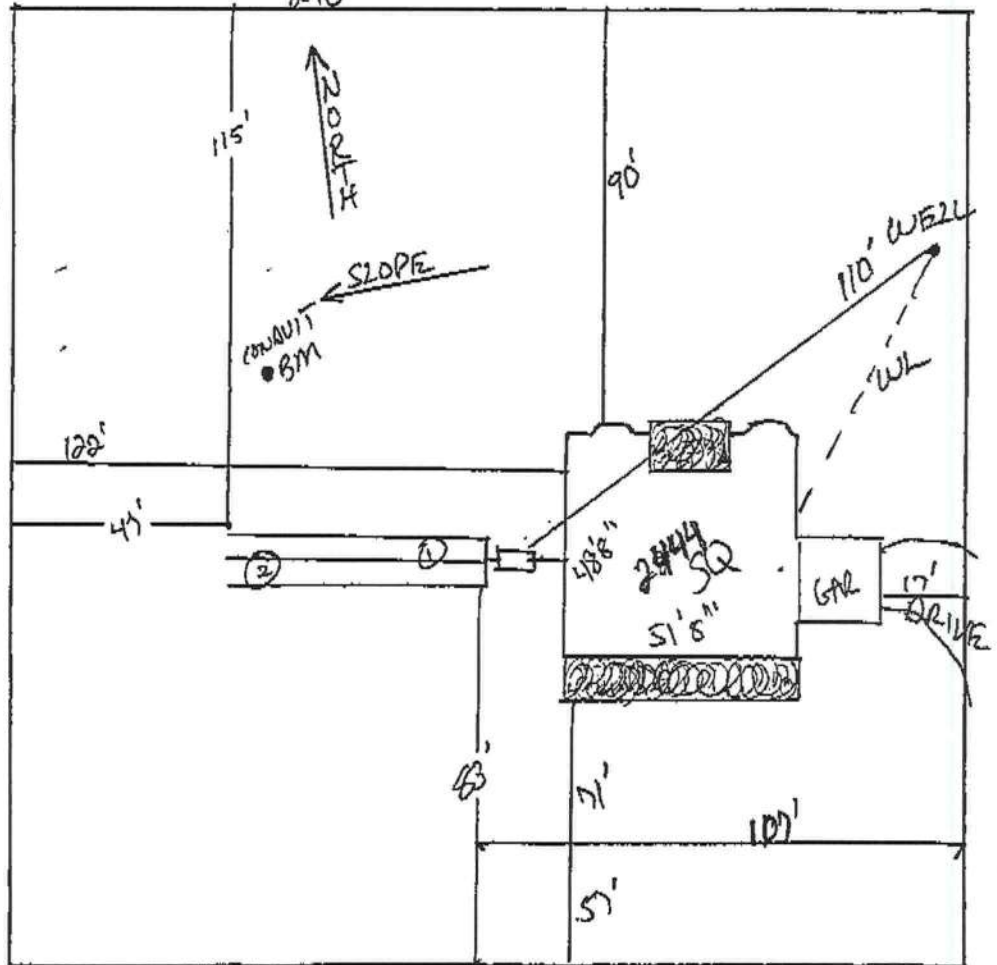
Permit Application Number 11-02101

Brown

----- PART II - SITEPLAN -----

Scale: 1 inch = 40 feet.

SEE ATTACHED



Notes: 1 of 48 Axes

Site Plan submitted by: *Rocky D. Ford*

Plan Approved Not Approved

By *[Signature]* Columbia

MASTER CONTRACTOR

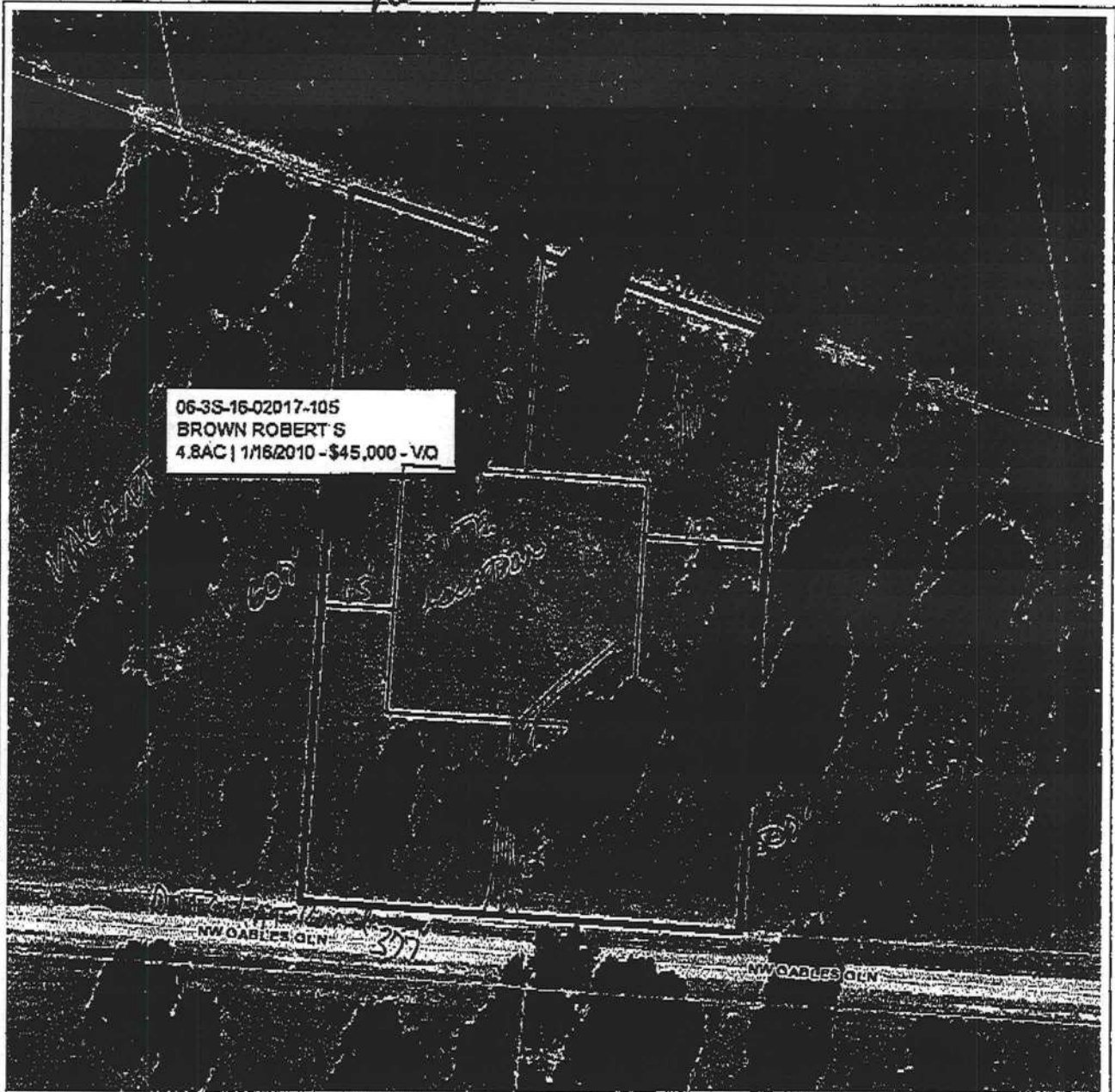
Date 6/1/11

County Health Department

ALL CHANGES MUST BE APPROVED BY THE COUNTY HEALTH DEPARTMENT

BROWN ROBERT S

MAY 24 2011



06-3S-16-02017-105
 BROWN ROBERT S
 4.8AC | 1/16/2010 - \$45,000 - V/Q

66 176 264 352 440 528 616 704 792 880

Columbia County Property Appraiser

J. Doyle Crews - Lake City, Florida 32055 | 386-758-1083

PARCEL: 06-3S-16-02017-105 - VACANT (000000)

LOT 5 GABLES & WD 1187-1728

Name: BROWN ROBERT S
 Site: FLORALWOOD COURT
 Mail: 4111 FLORALWOOD COURT
 ORLANDO, FL 32812

Sales Info: 1/16/2010 \$45,000.00 V/Q

2010 Certified Values

Land	\$41,040.00
Bldg	\$0.00
Assd	\$41,040.00
Exmpt	\$0.00
Other: \$41,040 Schl: \$41,040	

NOTES:



A&B Well Drilling, Inc.

5673 NW Lake Jeffery Road
Lake City, FL 32055
Telephone: (386) 758-3409
Cell: (386) 623-3151
Fax: (386) 758-3410
Owner: Bruce Park

June 7, 2011

To: Columbia County Building Department

Description of Well to be installed for Customer

Robert Brown

Located @ Address:

Gables Glen

1 HP 15 GPM submersible pump, 1 1/4" drop pipe, 86 gallon captive tank, and backflow prevention.
With SRWMD permit.

Bruce N Park

Sincerely,
Bruce N. Park
President



**COLUMBIA COUNTY BUILDING DEPARTMENT
RESIDENTIAL CHECK LIST REQUIREMENTS**

6-25-09

**MINIMUM PLAN REQUIREMENTS FOR THE
FLORIDA BUILDING CODE RESIDENTIAL 2007 EFFECTIVE 1 MARCH 2009 & 2009
SUPPLEMENTS EFFECTIVE 1 MARCH 2009, ONE (1) AND TWO (2) FAMILY DWELLINGS
with Supplements and Revision, OF THE NATIONAL ELECTRICAL 2008**

ALL REQUIREMENTS ARE SUBJECT TO CHANGE

ALL BUILDING PLANS MUST INDICATE COMPLIANCE with the Current 2007 FLORIDA BUILDING CODES RESIDENTIAL EFFECTIVE 1 MARCH 2009 & 2009 SUPPLEMENTS EFFECTIVE 1 MARCH 2009. ALL PLANS OR DRAWINGS SHALL PROVIDE CALCULATIONS AND DETAILS THAT HAVE THE SEAL AND SIGNATURE OF A CERTIFIED ARCHITECT OR ENGINEER REGISTERED IN THE STATE OF FLORIDA, OR ALTERNATE METHODOLOGIES, APPROVED BY THE STATE OF FLORIDA BUILDING COMMISSION FOR ONE-AND-TWO FAMILY DWELLINGS.

FOR DESIGN PURPOSES THE FOLLOWING BASIC WIND SPEEDS ARE PER FIGURE R301.2(4) of the FLORIDA BUILDING CODES RESIDENTIAL (Florida Wind speed map) SHALL BE USED.

WIND SPEED LINE SHALL BE DEFINED AS FOLLOWS: THE CENTERLINE OF INTERSTATE 75.

ALL BUILDINGS CONSTRUCTED EAST OF SAID LINE SHALL BE ----- 100 MPH
ALL BUILDINGS CONSTRUCTED WEST OF SAID LINE SHALL BE -----110 MPH
NO AREA IN COLUMBIA COUNTY IS IN A WIND BORNE DEBRIS REGION

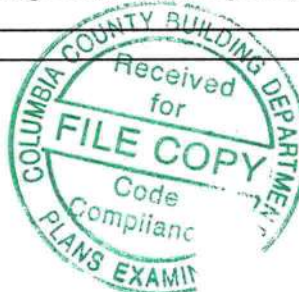
GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

			Yes	No	N/A
1	Two (2) complete sets of plans containing the following:		✓		
2	All drawings must be clear, concise, drawn to scale, details that are not used shall be marked void		✓		
3	Condition space (Sq. Ft.)	2444	Total (Sq. Ft.) under roof	3411	
			IIIIIIII	IIIIIIII	IIII

Designers name and signature shall be on all documents and a licensed architect or engineer, signature and official embossed seal shall be affixed to the plans and documents as per the FLORIDA BUILDING CODES RESIDENTIAL R101.2.1

Site Plan information including:

4	Dimensions of lot or parcel of land				
5	Dimensions of all building set backs				
6	Location of all other structures (include square footage of structures) on parcel, existing or proposed well and septic tank and all utility easements.				
7	Provide a full legal description of property.				



Wind-load Engineering Summary, calculations and any details required

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
8	Plans or specifications must show compliance with FBCR Chapter 3	IIIII YES	IIIII NO	IIIII N/A
9	Basic wind speed (3-second gust), miles per hour	✓		
10	(Wind exposure – if more than one wind exposure is used, the wind exposure and applicable wind direction shall be indicated)			
11	Wind importance factor and nature of occupancy			
12	The applicable internal pressure coefficient, Components and Cladding			
13	The design wind pressure in terms of psf (kN/m ²), to be used for the design of exterior component, cladding materials not specifically designed by the registered design professional.			

Elevations Drawing including:

14	All side views of the structure	✓		
15	Roof pitch	✓		
16	Overhang dimensions and detail with attic ventilation	✓		
17	Location, size and height above roof of chimneys			✓
18	Location and size of skylights with Florida Product Approval			✓
18	Number of stories	✓		
20A	Building height from the established grade to the roofs highest peak	✓		

Floor Plan including:

20	Dimensioned area plan showing rooms, attached garage, breeze ways, covered porches, deck, balconies	✓		
21	Raised floor surfaces located more than 30 inches above the floor or grade			
22	All exterior and interior shear walls indicated	✓		
23	Shear wall opening shown (Windows, Doors and Garage doors)	✓		
24	Show compliance with Section FBCR 310 Emergency escape and rescue opening shown in each bedroom (net clear opening shown) and Show compliance with Section FBCR 613.2 where the opening of an operable window is located more than 72 inches above the finished grade or surface below, the lowest part of the clear opening of the window shall be a minimum of 24 inches above the finished floor of the room in which the window is located. Glazing between the floor and 24 inches shall be fixed or have openings through which a 4-inch-diameter sphere cannot pass.	✓		
25	Safety glazing of glass where needed	✓		
26	Fireplaces types (gas appliance) (vented or non-vented) or wood burning with Hearth (see chapter 10 of FBCR)			✓
27	Show stairs with dimensions (width, tread and riser and total run) details of guardrails, Handrails			✓
28	Identify accessibility of bathroom (see FBCR SECTION 322)	✓		

All materials placed within opening or onto/into exterior walls, soffits or roofs shall have Florida product approval number and mfg. installation information submitted with the plans (see Florida product approval form)

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL	Items to Include- Each Box shall be Circled as Applicable
---	--

FBCR 403: Foundation Plans

		YES	NO	N/A
29	Location of all load-bearing walls footings indicated as standard, monolithic, dimensions, size and type of reinforcing.	✓		
30	All posts and/or column footing including size and reinforcing	✓		
31	Any special support required by soil analysis such as piling.			✓
32	Assumed load-bearing value of soil <u>1500</u> Pound Per Square Foot			✓
33	Location of horizontal and vertical steel, for foundation or walls (include # size and type) For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an grounding electrode system. Per the National Electrical Code article 250.52.3	✓		

FBCR 506: CONCRETE SLAB ON GRADE

34	Show Vapor retarder (6mil. Polyethylene with joints lapped 6 inches and sealed)	✓		
35	Show control joints, synthetic fiber reinforcement or welded fire fabric reinforcement and Supports	✓		

FBCR 320: PROTECTION AGAINST TERMITES

36	Indicate on the foundation plan if soil treatment is used for subterranean termite prevention or Sub mit other approved termite protection methods. Protection shall be provided by registered termiticides	✓		
----	---	---	--	--

FBCR 606: Masonry Walls and Stem walls (load bearing & shear Walls)

37	Show all materials making up walls, wall height, and Block size, mortar type			✓
38	Show all Lintel sizes, type, spans and tie-beam sizes and spacing of reinforcement			✓

Metal frame shear wall and roof systems shall be designed, signed and sealed by Florida Prof. Engineer or Architect

Floor Framing System: First and/or second story

39	Floor truss package shall including layout and details, signed and sealed by Florida Registered Professional Engineer			✓
40	Show conventional floor joist type, size, span, spacing and attachment to load bearing walls, stem walls and/or piers			✓
41	Girder type, size and spacing to load bearing walls, stem wall and/or piers			✓
42	Attachment of joist to girder			✓
43	Wind load requirements where applicable			✓
44	Show required under-floor crawl space			✓

45	Show required amount of ventilation opening for under-floor spaces			
46	Show required covering of ventilation opening			
47	Show the required access opening to access to under-floor spaces			
48	Show the sub-floor structural panel sheathing type, thickness and fastener schedule on the edges & interior of the areas structural panel sheathing			
49	Show Draftstopping, Fire caulking and Fire blocking			
50	Show fireproofing requirements for garages attached to living spaces, per FBCR section 309			
51	Provide live and dead load rating of floor framing systems (psf).			

FBCR CHAPTER 6 WOOD WALL FRAMING CONSTRUCTION

GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
52	Stud type, grade, size, wall height and oc spacing for all load bearing or shear walls	✓		
53	Fastener schedule for structural members per table FBCR 602.3 are to be shown	✓		
54	Show Wood structural panel's sheathing attachment to studs, joist, trusses, rafters and structural members, showing fastener schedule attachment on the edges & intermediate of the areas structural panel sheathing	✓		
55	Show all required connectors with a max uplift rating and required number of connectors and oc spacing for continuous connection of structural walls to foundation and roof trusses or rafter systems	✓		
56	Show sizes, type, span lengths and required number of support jack studs, king studs for shear wall opening and girder or header per FBCR Table 502.5 (1)	✓		
57	Indicate where pressure treated wood will be placed	✓		
58	Show all wall structural panel sheathing, grade, thickness and show fastener schedule for structural panel sheathing edges & intermediate areas	✓		
59	A detail showing gable truss bracing, wall balloon framing details or/ and wall hinge bracing detail	✓		

FBCR :ROOF SYSTEMS:

60	Truss design drawing shall meet section FBCR 802.10 Wood trusses	✓		
61	Include a layout and truss details, signed and sealed by Florida Professional Engineer	✓		
62	Show types of connector's assemblies' and resistance uplift rating for all trusses and rafters	✓		
63	Show gable ends with rake beams showing reinforcement or gable truss and wall bracing details	✓		
64	Provide dead load rating of trusses	✓		

FBCR 802:Conventional Roof Framing Layout

65	Rafter and ridge beams sizes, span, species and spacing			
66	Connectors to wall assemblies' include assemblies' resistance to uplift rating			
67	Valley framing and support details			
68	Provide dead load rating of rafter system			

FBCR Table 602.3(2) & FBCR 803 ROOF SHEATHING

69	Include all materials which will make up the roof decking, identification of structural panel sheathing, grade, thickness	✓		
70	Show fastener Size and schedule for structural panel sheathing on the edges & intermediate areas	✓		

FBCR ROOF ASSEMBLIES FRC Chapter 9

71	Include all materials which will make up the roof assembles covering	✓		
72	Submit Florida Product Approval numbers for each component of the roof assembles covering	✓		

FBCR Chapter 11 Energy Efficiency Code for residential building

Residential construction shall comply with this code by using the following compliance methods in the FBCR chapter 11 Residential buildings compliance methods. **Two of the required forms are to be submitted, N1100.1.1.1 As an alternative to the computerized Compliance Method A, the Alternate Residential Point System Method hand calculation, Alternate Form 600A, may be used. All requirements specific to this calculation are located in Sub appendix C to Appendix G. Buildings complying by this alternative shall meet all mandatory requirements of this chapter. Computerized versions of the Alternate Residential Point System Method shall not be acceptable for code compliance.**

GENERAL REQUIREMENTS: APPLICANT - PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL		Items to Include- Each Box shall be Circled as Applicable		
		YES	NO	N/A
73	Show the insulation R value for the following areas of the structure			
74	Attic space	✓		
75	Exterior wall cavity			
76	Crawl space			

HVAC information

77	Submit two copies of a Manual J sizing equipment or equivalent computation study	✓		
78	Exhaust fans shown in bathrooms Mechanical exhaust capacity of 50 cfm intermittent or 20 cfm continuous required	✓		
79	Show clothes dryer route and total run of exhaust duct	✓		

Plumbing Fixture layout shown

80	All fixtures waste water lines shall be shown on the foundation plan			
81	Show the location of water heater			

Private Potable Water

82	Pump motor horse power			
83	Reservoir pressure tank gallon capacity			
84	Rating of cycle stop valve if used			

Electrical layout shown including

85	Show Switches, receptacles outlets, lighting fixtures and Ceiling fans	✓		
86	Show all 120-volt, single phase, 15- and 20-ampere branch circuits outlets required to be protected by Ground-Fault Circuit Interrupter (GFCI) Article 210.8 A	✓		
87	Show the location of smoke detectors & Carbon monoxide detectors	✓		
88	Show service panel, sub-panel, location(s) and total ampere ratings	✓		
89	On the electrical plans identify the electrical service overcurrent protection device for the main electrical service. This device shall be installed on the exterior of structures to serve as a disconnecting means for the utility company electrical service. Conductors used from the exterior disconnecting means to a panel or sub panel shall have four-wire conductors, of which one conductor shall be used as an equipment ground. Indicate if the utility company service entrance cable will be of the overhead or underground type. For structures with foundation which establish new electrical utility companies service connection a Concrete Encased Electrode will be required within the foundation to serve as an Grounding electrode system. Per the National Electrical Code article 250.52.3	✓		
90	Appliances and HVAC equipment and disconnects	✓		
91	Show all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas shall be protected by a listed Combination arc-fault circuit interrupter , Protection device.	✓		

Disclosure Statement for Owner Builders *If you as the applicant will be acting as an owner/builder under section 489.103(7) of the Florida Statutes, submit the required owner builder disclosure statement form.*

Notice Of Commencement

A notice of commencement form **recorded** in the Columbia County Clerk Office is required to be filed with the building department Before Any Inspections can be preformed.

<p>GENERAL REQUIREMENTS: APPLICANT – PLEASE CHECK ALL APPLICABLE BOXES BEFORE SUBMITTAL</p>	<p>Items to Include- Each Box shall be Circled as Applicable</p>
--	---

THE FOLLOWING ITEMS MUST BE SUBMITTED WITH BUILDING PLANS

		YES	NO	N/A
92	Building Permit Application A current Building Permit Application form is to be completed and submitted for all residential projects			
93	Parcel Number The parcel number (Tax ID number) from the Property Appraiser (386) 758-1084 is required. A copy of property deed is also requested			
94	Environmental Health Permit or Sewer Tap Approval A copy of a approved Columbia County Environmental Health (386) 758-1058			
95	City of Lake City A permit showing an approved waste water sewer tap			
96	Toilet facilities shall be provided for all construction sites			
97	Town of Fort White (386) 497-2321 If the parcel in the application for building permit is within the Corporate city limits of Fort White an approval land use development letter issued by the Town of Fort is required to be submitted with the application for a building permit.			

98	Flood Information: All projects within the Floodway of the Suwannee or Santa Fe Rivers shall require permitting through the Suwannee River Water Management District, before submitting a application to this office. Any project located within a flood zone where the base flood elevation (100 year flood) has been established shall meet the requirements of Section 8.5.2 of the Columbia County Land Development Regulations. Any project located within a flood zone where the base flood elevation has not been established (Zone A) shall meet the requirements of Section 8.5.3 of the Columbia County Land Development Regulations			
99	CERTIFIED FINISHED FLOOR ELEVATIONS will be required on any project where the base flood elevation (100 year flood) has been established			
100	A development permit will also be required. Development permit cost is \$50.00			
101	Driveway Connection: If the property does not have an existing access to a public road, then an application for a culvert permit (\$25.00) must be made. If the applicant feels that a culvert is not needed, they may apply for a culvert waiver (\$50.00). All culvert waivers are sent to the Columbia County Public Works Department for approval or denial.			
102	911 Address: If the project is located in an area where a 911 address has not been issued, then application for a 911 address must be applied for and received through the Columbia County Emergency Management Office of 911 Addressing Department (386) 758-1125			

Section R101.2.1 of the Florida Building Code Residential:

The provisions of Chapter 1, Florida Building Code, Building shall govern the administration and enforcement of the Florida Building Code, Residential.

Section 105 of the Florida Building Code defines the:

Time limitation of application.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the building official is authorized to grant one or more extensions of time for additional periods not exceeding 90 days each. The extension shall be requested in writing and justifiable cause demonstrated.

Single-family residential dwelling.

Section 105.3.4 A building permit for a single-family residential dwelling must be issued within 30 working days of application therefor unless unusual circumstances require a longer time for processing the application or unless the permit application fails to satisfy the Florida Building Code or the enforcing agency's laws or ordinances.

Permit intent.

Section 105.4.1: A permit issued shall be constructed to be a license to proceed with the work and not as authority to violate, cancel, alter or set aside any of the provisions of the technical codes, nor shall issuance of a permit prevent the building official from thereafter requiring a correction of errors in plans, construction or violations of this code. Every permit issued shall become invalid unless the work authorized by such permit is commenced within six months after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of six months after the time the work is commenced.

If work has commenced.

Section 105.4.1.1: If work has commenced and the permit is revoked, becomes null and void, or expires because of lack of progress or abandonment, a new permit covering the proposed construction shall be obtained before proceeding with the work.

New Permit.

Section 105.4.1.2: If a new permit is not obtained within 180 days from the date the initial permit became null and void, the building official is authorized to require that any work which has been commenced or completed be removed from the building site. Alternately, a new permit may be issued on application, providing the work in place and required to complete the structure meets all applicable regulations in effect at the time the initial permit became null and void and any regulations which may have become effective between the date of expiration and the date of issuance of the new permit.

Work Shall Be:

Section 105.4.1.3: Work shall be considered to be in active progress when the permit has received an approved inspection within 180 days. This provision shall not be applicable in case of civil commotion or strike or when the building work is halted due directly to judicial injunction, order or similar process.

The Fee:

Section 105.4.1.4: The fee for renewal reissuance and extension of a permit shall be set forth by the administrative authority.

When the submitted application is approved for permitting the applicant will be notified by phone as to the date and time a building permit will be prepared and issued by the Columbia County Building & Zoning Department

PRODUCT APPROVAL SPECIFICATION SHEET

Location: _____

Project Name: _____

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and the product approval number(s) on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit on or after April 1, 2004. We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products. More information about statewide product approval can be obtained at www.floridabuilding.org

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
A. EXTERIOR DOORS			
1. Swinging			
2. Sliding			
3. Sectional			
4. Roll up			
5. Automatic			
6. Other			
B. WINDOWS			
1. Single hung			
2. Horizontal Slider			
3. Casement			
4. Double Hung			
5. Fixed			
6. Awning			
7. Pass-through			
8. Projected			
9. Mullion			
10. Wind Breaker			
11. Dual Action			
12. Other			
C. PANEL WALL			
1. Siding			
2. Soffits			
3. EIFS			
4. Storefronts			
5. Curtain walls			
6. Wall louver			
7. Glass block			
8. Membrane			
9. Greenhouse			
10. Other			
D. ROOFING PRODUCTS			
1. Asphalt Shingles			
2. Underlayments			
3. Roofing Fasteners			
4. Non-structural Metal Rf			
5. Built-Up Roofing			
6. Modified Bitumen			
7. Single Ply Roofing Sys			
8. Roofing Tiles			
9. Roofing Insulation			
10. Waterproofing			
11. Wood shingles /shakes			
12. Roofing Slate			

Category/Subcategory (cont.)	Manufacturer	Product Description	Approval Number(s)
13. Liquid Applied Roof Sys			
14. Cements-Adhesives – Coatings			
15. Roof Tile Adhesive			
16. Spray Applied Polyurethane Roof			
17. Other			
E. SHUTTERS			
1. Accordion			
2. Bahama			
3. Storm Panels			
4. Colonial			
5. Roll-up			
6. Equipment			
7. Others			
F. SKYLIGHTS			
1. Skylight			
2. Other			
G. STRUCTURAL COMPONENTS			
1. Wood connector/anchor			
2. Truss plates			
3. Engineered lumber			
4. Railing			
5. Coolers-freezers			
6. Concrete Admixtures			
7. Material			
8. Insulation Forms			
9. Plastics			
10. Deck-Roof			
11. Wall			
12. Sheds			
13. Other			
H. NEW EXTERIOR ENVELOPE PRODUCTS			
1.			
2.			

The products listed below did not demonstrate product approval at plan review. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite; 1) copy of the product approval, 2) the performance characteristics which the product was tested and certified to comply with, 3) copy of the applicable manufacturers installation requirements.

I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Contractor or Contractor's Authorized Agent Signature _____

Print Name _____ Date _____

Location _____

ITW Building Components Group, Inc.

1950 Marley Drive Haines City, FL 33844
Florida Engineering Certificate of Authorization Number: 0 278
Florida Certificate of Product Approval # FL1999
Page 1 of 1 Document ID:1UCA215-Z0227133955



Truss Fabricator: W.B. Howland
Job Identification: 7041-/ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE COUNTY
Truss Count: 16
Model Code: Florida Building Code 2007 and 2009 Supplement
Truss Criteria: FBC2007Res/TPI-2002(STD)
Engineering Software: Alpine Software, Versions 10.02, 10.01.
Structural Engineer of Record: The identity of the structural EOR did not exist as of the seal date per section 61G15-31.003(5a) of the FAC
Address:
Minimum Design Loads: Roof - 40.0 PSF @ 1.25 Duration
Floor - N/A
Wind - 110 MPH ASCE 7-05 -Closed

Notes:

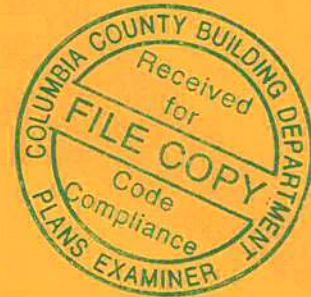
1. Determination as to the suitability of these truss components for the structure is the responsibility of the building designer/engineer of record, as defined in ANSI/TPI 1
2. The drawing date shown on this index sheet must match the date shown on the individual truss component drawing.
3. As shown on attached drawings; the drawing number is preceded by: HCUSR215

Walter P. Finn
-Truss Design Engineer-

1950 Marley Drive
Haines City, FL 33844

Details: A1103005-GBLLETIN-BRCLBSUB-A1101505-

#	Ref	Description	Drawing#	Date
1	86485--A1		11147004	05/27/11
2	86486--A2		11147005	05/27/11
3	86487--A3		11147006	05/27/11
4	86488--A4		11147007	05/27/11
5	86489--A5		11147008	05/27/11
6	86490--A6		11147009	05/27/11
7	86491--A7		11147018	05/27/11
8	86492--A8		11147010	05/27/11
9	86493--A9		11147011	05/27/11
10	86494--A10		11147012	05/27/11
11	86495--A11		11147013	05/27/11
12	86496--A12		11147019	05/27/11
13	86497--A13		11147014	05/27/11
14	86498--A14		11147015	05/27/11
15	86499--P1		11147016	05/27/11
16	86500--P2		11147017	05/27/11



(7041-)/ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE CITY, FL - A1)

Top chord 2x6 SP #2 N
 Bot chord 2x4 SP #2 N
 Webs 2x4 SP #2 N

110 mph wind, 15.58 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAI II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpf(+/-)=0.18

Left and right cantilevers are exposed to wind

Gable end supports 8" max rake overhang.

(a) Continuous lateral bracing equally spaced on member.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor.

Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

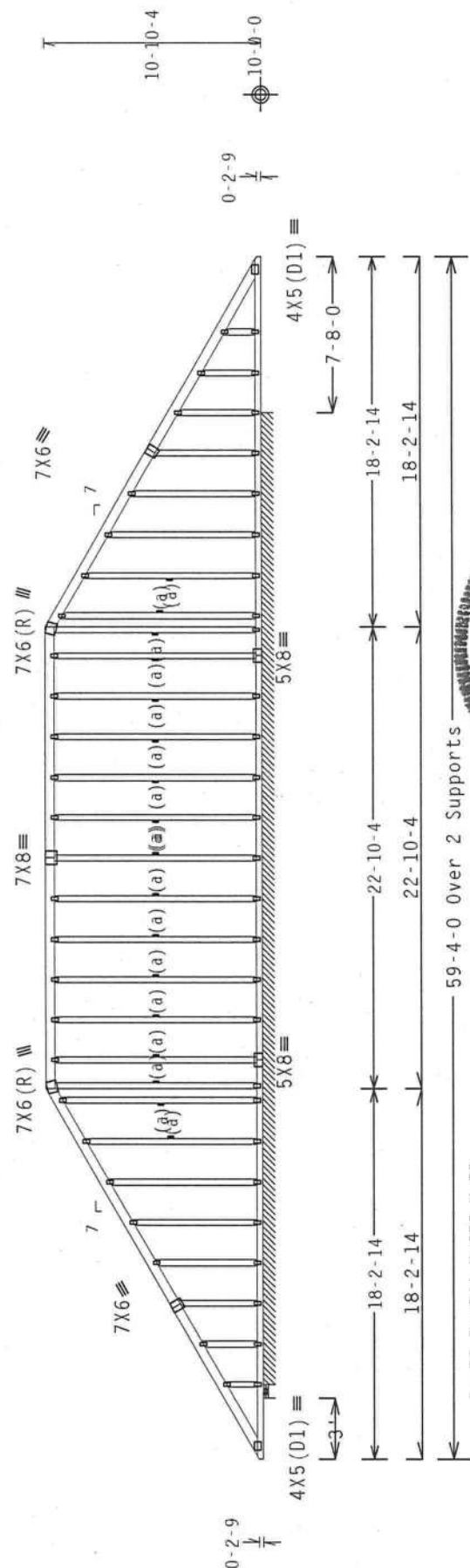
Wind reactions based on MWFRS pressures.

See DWGS A11030050109 & GBLLE1N0109 for more requirements.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.

The overall height of this truss excluding overhang is 10-10-4.



R=-29 RW=344 U=279 W=8
 RL=361/-361
 R=160 PLF U=25 PLF W=48-0-0

Note: All Plates Are 2X4 Except As Shown.

Design Crit: FBC2007Res/TPI-2002 STD FT/RT=20%(0%/10%)

TC LL	20.0 PSF	FL/-/5/-/-/R/-	Scale = .125"/Ft.
TC DL	10.0 PSF		
BC DL	10.0 PSF		
BC LL	0.0 PSF		
TOT.LD.	40.0 PSF		
DUR.FAC.	1.25		
SPACING	24.0"		

PLT TYP. Wave

ITW Building Components Group Inc.
 Haines City, FL 33844
 FLCOA #0278

05/27/2011

(7041-)/ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE CITY, FL - A2)

Top chord 2x6 SP #2 N
Bot chord 2x4 SP #2 N
Webs 2x4 SP #2 N

110 mph wind, 15.12 ft mean hgt, ASCE 7-05, CLOSED bldg, Located anywhere in roof, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GcP1(+/-)=0.18

Left and right cantilevers are exposed to wind
Roof overhang supports 2.00 psf soffit load.

Wind reactions based on MWFRS pressures.
(a) Continuous lateral bracing equally spaced on member.

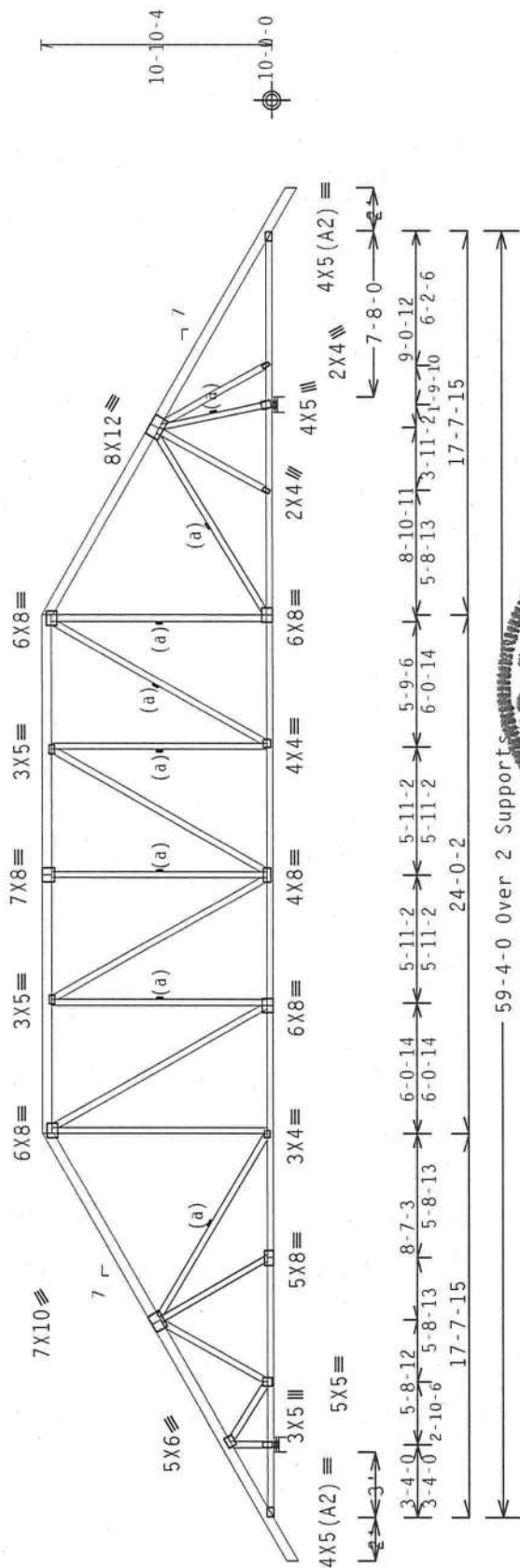
In lieu of structural panels use purlins to brace all flat TC @ 24" OC.
Bottom chord checked for 10.00 psf non-concurrent live load.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.
Deflection meets L/240 live and L/180 total load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

The overall height of this truss excluding overhang is 10-10-4.

This truss is not reversible. Per ANSI/TPI 1-2002, Section 2.4.3 Truss Manufacturer is responsible to provide information for proper orientation of trusses. This information shall be provided to the contractor.



R-2506 U-591 W-8"
RL=428/-428

R=3046 U=676 W=8"

PLT TYP. Wave	TY: 4	FL / - / 5 / - / - / R / -	Scale = .125" / Ft.
REF	R215 --	86486	
DATE	05/27/11		
DRW	HCSR215	11147005	
HC-ENG	KD/AP		
SEQN-	300813		
FROM	CDM		
JREF-	IUCA215_Z02		



Design Crit: FBC2007Res/TPI-2002
FT/RT=20%(0%)/10(0%)
10 No. 02839 .15

ALPINE
ITW Building Components Group Inc.
Haines City, FL 33844
FL COA #0278

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.
FURNISH THIS DESIGN TO ALL COMPANIES INCLUDING INSTALLERS.
Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Information, by IPI and IPIA) for details and practices prior to performing these functions. Installers shall provide temporary bracing and shoring until the truss is properly attached rigid ceiling. Locations shown for permanent lateral bracing shall have bracing installed per BCSI sections B3, B7 or B16, as applicable.
ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any destination, any failure to build the truss in conformance with ANSI/TPI 1, or for handling, shipping, or bracing of trusses. Apply plates to each face of truss and position as shown above and on the drawing or cover page listing this drawing. Indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this design for any structure is the responsibility of the Building Designer per ANSI/TPI 1 Section 1.8.2.2. For more information see: www.itwbcg.com; www.itwbcg.com; PPI: www.itwbcg.com; BCSA: www.bcsa.org; IFC: www.ifccsa.org

05/27/2011

(7041-)/ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE CITY, FL - A7)

Top chord 2x6 SP #2 N
 Bot chord 2x4 SP #2 N
 Webs 2x4 SP #2 N

Right cantilever is exposed to wind

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor.

SPECIAL care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.

This truss is not reversible. Per ANSI/TPI 1-2002, Section 2.4.3 Truss Manufacturer is responsible to provide information for proper orientation of trusses. This information shall be provided to the contractor.

110 mph wind, 15.12 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpf(+/-)=0.18

Wind reactions based on MWFRS pressures.

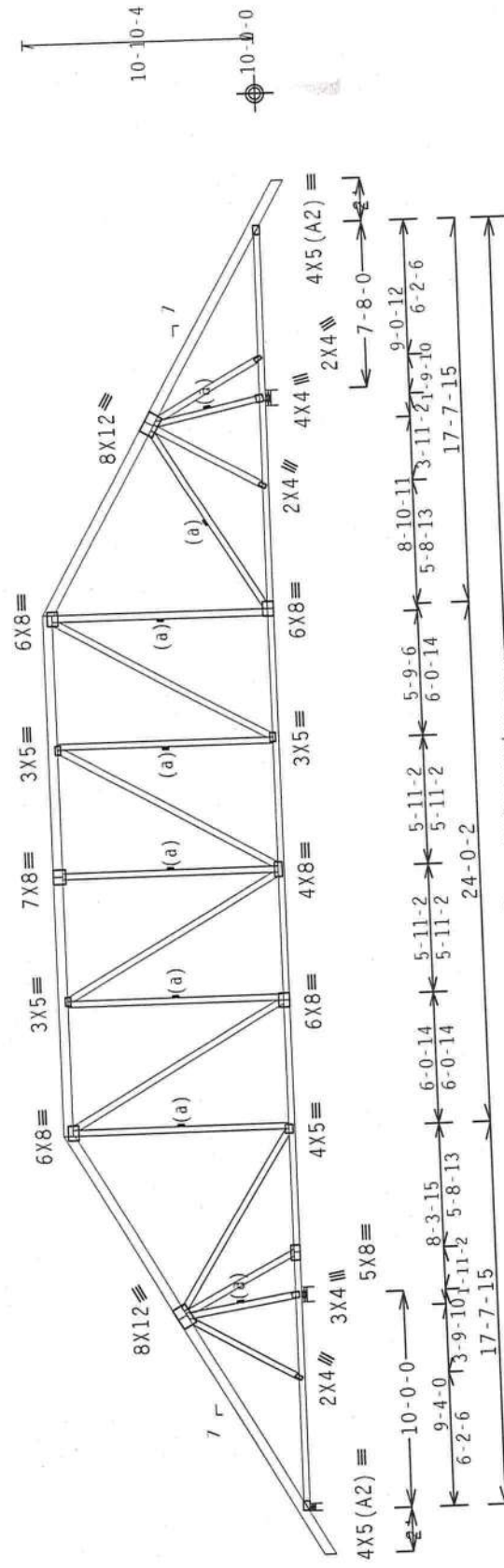
(a) Continuous lateral bracing equally spaced on member.

Truss passed check for 20 psf additional bottom chord live load in areas with 42"-high x 24"-wide clearance.

Deflection meets L/240 live and L/180 total load.

The overall height of this truss excluding overhang is 10-10-4.

MWFRS loads based on trusses located at least 15.12 ft. from roof edge.



R=2768 U=245 W=8"

R=529 U=71 W=4"
 RL=428/-428

R=2254 U=178 W=8"

Scale = .125"/ft.	REF R215-- 86491
DATE 05/27/11	DRW HCUSR215 11147018
DATE 05/27/11	HC-ENG KD/AP
DATE 05/27/11	SEQN- 300807
DATE 05/27/11	FROM CDM
DATE 05/27/11	JREF- 1UCA215_Z02

PLT TYP. Wave

Design Crit: FBC2007Res/TPI-2002 STD, FT/RT=20%(0%/10%)

TY:9 FL/-/5/-/R/-

TC LL 20.0 PSF

TC DL 10.0 PSF

BC DL 10.0 PSF

BC LL 0.0 PSF

TOT.L.D. 40.0 PSF

DUR.FAC. 1.25

SPACING 24.0"

05/27/2011

WALTER P. FINN
 LICENSE
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

IMPORTANT: READ AND FOLLOW ALL NOTES ON THIS SHEET. FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Follow the latest edition of BCSI (Building Component Safety) information, by first building practices prior to use. Truss Manufacturer is responsible for providing all necessary details, unless noted otherwise. Refer to drawings for details. Top chord shall have properly attached rigid ceiling. Locations for permanent lateral bracing shall be indicated on drawings. Trusses shall have bracing installed per BCSI sections B5, B7 or B10, as applicable. ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from the design shown. The Building Designer per ANSI/TPI 1 Sec. 2. Use of this information is the responsibility solely of the user. For more information, contact the Building Designer or general office. ITW-BCG: www.itwbcg.com; TPI: www.tpinet.org; AISC: www.aisc.org

ALPINE

ITW Building Components Group Inc.
 Haines City, FL 33844
 FL COA #0 278

(7041-)/ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE CITY, FL - A9)

Top chord 2x6 SP #2 N
 Bot chord 2x4 SP #2 N
 Webs 2x4 SP #2 N

Left and right cantilevers are exposed to wind

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all Flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.

The overall height of this truss excluding overhang is 10-10-4.

MMFRS loads based on trusses located at least 15.12 ft. from roof edge.

This truss is not reversible. Per ANSI/TPI 1-2002, Section 2.4.3 Truss Manufacturer is responsible to provide information for proper orientation of trusses. This Information shall be provided to the contractor.

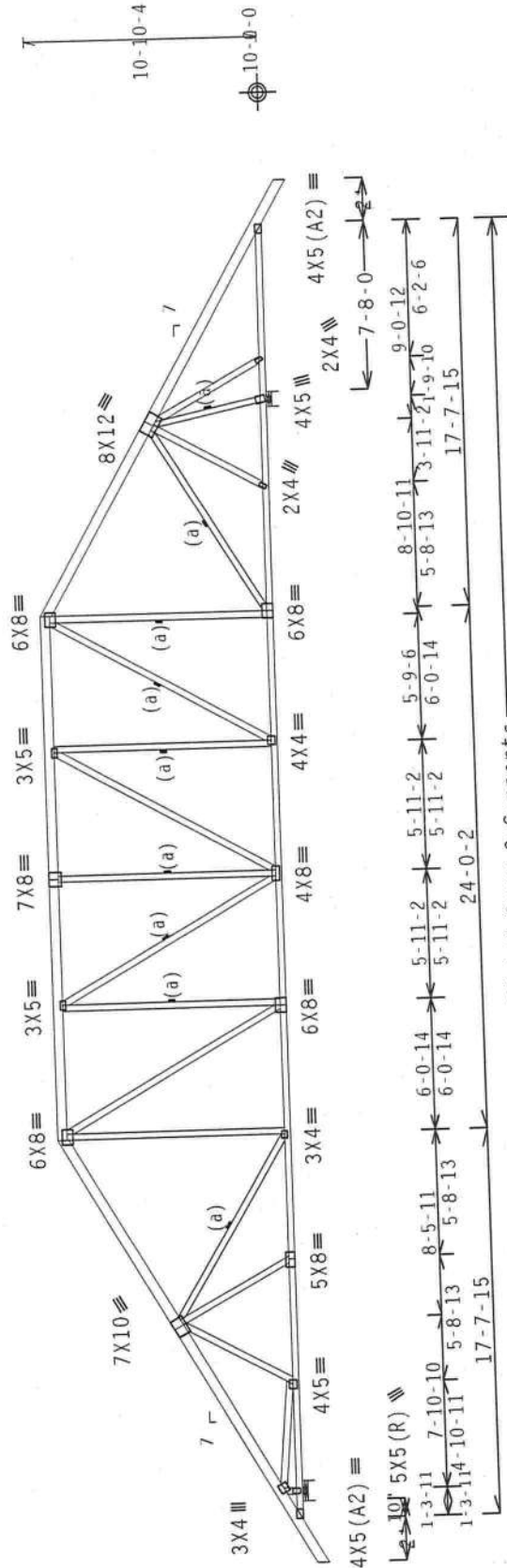
110 mph wind, 15.12 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. IW=1.00 GCpl(+/-)-0.18

Wind reactions based on MMFRS pressures.

(a) Continuous lateral bracing equally spaced on member.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



R-2168 U=186 W=11.314
 RL=428/-428

R-2838 U=275 W=8"

TC LL	20.0 PSF	FL / - / 5 / - / - / R / -	Scale = .125" / Ft.
TC DL	10.0 PSF	REF R215-- 86493	
BC DL	10.0 PSF	DATE 05/27/11	
BC LL	0.0 PSF	DRW HCUSR215 11147011	
TOT.LD.	40.0 PSF	HC-ENG KD/AP	
DUR.FAC.	1.25	SEQN- 300828	
SPACING	24.0"	FROM CDM	
		JREF- 1UCA215_Z02	

Design Crit: FBC2007Res/TPI-2002 STD
 FT/RT=20%(0%)/10(0%)

10-02-06 10-15
 NO. 2838

MATTHEW P. FINN
 LICENSE
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

05/27/2011

PLT TYP. Wave

ALPINE

rtw Building Components Group Inc.
 Gaines City, FL 33844
 FL COA #0.278

general notes page: ITH-BOG; www.ithweb.com; TPI: www.tpinet.org; MICA: www.sbcindustry.com; ICC: www.iccsafe.org

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.
 FURNISH THIS DESIGN TO ALL COMPANIES INCLUDING INSTALLERS.
 Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Safety Institute) for safety practices prior to performing these functions. BCSI will provide temporary bracing details, and cover page listing this drawing, indicates acceptance of professional engineering responsibility solely for the design shown. The software used in the design of this truss is the responsibility of the Building Designer per BCSI 1.1 Sec. 2. For more information see: the general notes page: ITH-BOG; www.ithweb.com; TPI: www.tpinet.org; MICA: www.sbcindustry.com; ICC: www.iccsafe.org

(7041-)/ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE CITY, FL - A10)

Top chord 2x6 SP #2 N
 Bot chord 2x4 SP #2 N
 Webs 2x4 SP #2 N

Left and right cantilevers are exposed to wind

Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.

Deflection meets L/240 live and L/180 total load.

The overall height of this truss excluding overhang is 10-10-4.

MMFRS loads based on trusses located at least 7.56 ft. from roof edge.

This truss is not reversible. Per ANSI/TPI 1-2002, Section 2.4.3 Truss Manufacturer is responsible to provide information for proper orientation of trusses. This information shall be provided to the contractor.

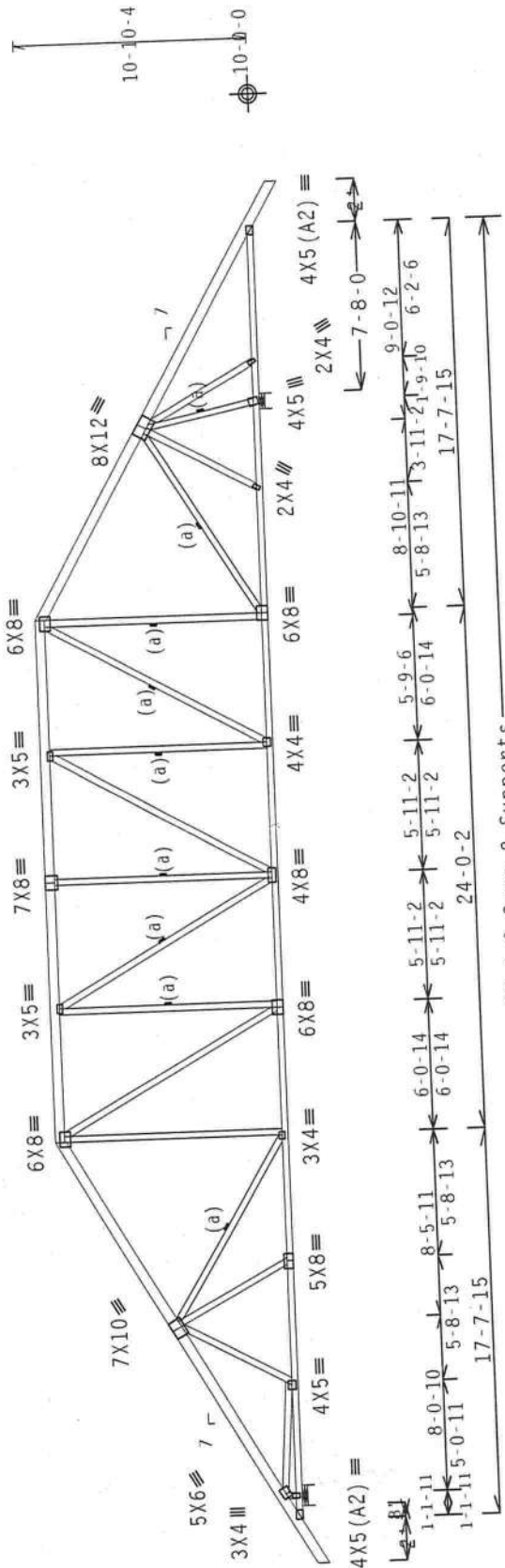
110 mph wind, 15.12 ft mean hgt, ASCE 7-05, CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP C, wind TC DL-5.0 psf, wind BC DL-5.0 psf. $I_w=1.00$ $G_{CPI}(+/-)=0.18$

Wind reactions based on MMFRS pressures.

(a) Continuous lateral bracing equally spaced on member.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



R=2160 U=584 W=11.314"
 RL=428/-428

R-2845 U=702 W=8"

Design Crit: FBC2007Res/TPI-200 (STD)
 FT/RT=20%(0%/10%)

QTY: 1 FL/-/5/-/-/R/-

Scale = .125"/Ft.
 REF R215 -- 86494

TC LL	20.0 PSF
TC DL	10.0 PSF
BC DL	10.0 PSF
BC LL	0.0 PSF
TOT.LD.	40.0 PSF
DUR.FAC.	1.25
SPACING	24.0"
DATE	05/27/11
DRW	HCSR215 11147012
HC-ENG	KD/AP
SEQN-	300831
FROM	CDM
JREF-	IUCA215_202

PLT TYP. Wave

ALPINE

ITW Building Components Group Inc.
 Haines City, FL 33844
 FL COA #0 278

Professional Engineer
 MATTHEW P. FINN
 LICENSE No. 22839
 DATE OF EXPIRATION 05/27/2011

WARNING READ AND FOLLOW ALL NOTES ON THIS SHEET.
 FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS.
 Trusses require extreme care in fabricating, handling, shipping, installing and erecting. Refer to the latest edition of the Building Component Safety Information, by IPI and following the practices prior to erection. Trusses are not to be used for any other purpose. Trusses must be properly braced. Top chord shall have properly attached rigid lateral bracing installed per BECI sections B3, B7 or B10, as applicable.
 The Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation or failure to build the truss in conformance with ANSI and position as shown above and on the drawing, unless noted otherwise. Referencing indicates acceptance of professional engineering responsibility solely for the design shown. The suitability and use of this information are the responsibility of the Building Designer per ANSI/TPI 1 Sec.2.2. For more information see: www.itwbcg.com; IPI: www.ipiinst.org; IBCA: www.ibcaindstry.com; IEC: www.iecsafe.org

(7041-ROBERT & JUDITH BROWN /Plumb Level Construction -- LAKE CITY, FL - A11)

Top chord 2x6 SP #2 N
 Chord 2x4 SP #2 N
 Webs 2x4 SP #2 N

Left and right cantilevers are exposed to wind
 Roof overhang supports 2.00 psf soffit load.

In lieu of structural panels use purlins to brace all flat TC @ 24" OC.
 Deflection meets L/240 live and L/180 total load.

The overall height of this truss excluding overhang is 10-10-4.
 MMFRS loads based on trusses located at least 7.56 ft. from roof edge.

This truss is not reversible. Per ANSI/TPI 1-2002.
 Section 2.4.3 Truss Manufacturer is responsible to provide information for proper orientation of trusses.
 This information shall be provided to the contractor.

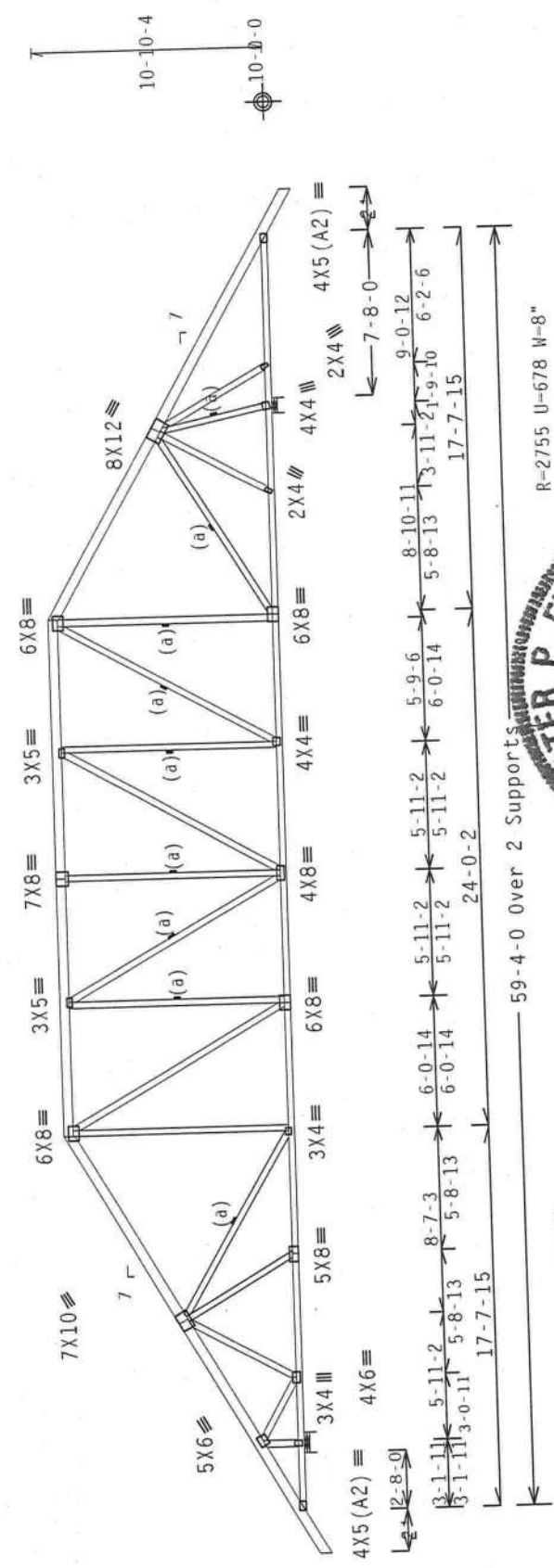
110 mph wind, 15.12 ft mean hgt, ASCE 7-05. CLOSED bldg, not located within 6.50 ft from roof edge, CAT II, EXP C, wind TC DL=5.0 psf, wind BC DL=5.0 psf. Iw=1.00 GCpl(+/-)=0.18

Wind reactions based on MMFRS pressures.

(a) Continuous lateral bracing equally spaced on member.

Bottom chord checked for 10.00 psf non-concurrent live load.

WARNING: Furnish a copy of this DWG to the installation contractor. Special care must be taken during handling, shipping and installation of trusses. See "WARNING" note below.



R-2250 U=591 W=11.314
 RL-428/-428



Design Crit: FBC2007Res/TPI-2002 (STD) FT/RT=20% (0%)/10 (S) 10403.02839.15 QTY: 1 FL/-/5/-/R/- Scale = .125"/Ft.

TC LL	20.0 PSF	REF	R215-- 86495
TC DL	10.0 PSF	DATE	05/27/11
BC DL	10.0 PSF	DRW	HCUSR215 11147013
BC LL	0.0 PSF	HC-ENG	KD/AP
TOT.LD.	40.0 PSF	SEQN-	300801
DUR.FAC.	1.25	FROM	CDM
SPACING	24.0"	JREF-	1UCA215_Z02

ALPINE

ITW Building Components Group Inc.
 Haines City, FL 33844
 FL COA #0278

PLT TYP. Wave

IMPORTANT: FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Suppliers Institute) for safety practices prior to performing these functions. Suppliers shall provide temporary bracing details, or cover page listing this drawing, indicates acceptance of the truss and the responsibility of the Building Designer per ANSI/TPI 1, Sec. 2. For more information see the general notes page: IIN-BCSI: www.tpubcc.com; TPI: www.tpinst.org; NICA: www.sectraindustry.com; ICC: www.iccsafe.org

WARNING: READ AND FOLLOW ALL NOTES ON THIS SHEET. FURNISH THIS DESIGN TO ALL CONTRACTORS INCLUDING INSTALLERS. Trusses require extreme care in fabricating, handling, shipping, installing and bracing. Refer to the latest edition of BCSI (Building Component Suppliers Institute) for safety practices prior to performing these functions. Suppliers shall provide temporary bracing details, or cover page listing this drawing, indicates acceptance of the truss and the responsibility of the Building Designer per ANSI/TPI 1, Sec. 2. For more information see the general notes page: IIN-BCSI: www.tpubcc.com; TPI: www.tpinst.org; NICA: www.sectraindustry.com; ICC: www.iccsafe.org

CLB WEB BRACE SUBSTITUTION

THIS DETAIL IS TO BE USED WHEN CONTINUOUS LATERAL BRACING (CLB) IS SPECIFIED ON A TRUSS DESIGN BUT AN ALTERNATIVE WEB BRACING METHOD IS DESIRED.

NOTES:

THIS DETAIL IS ONLY APPLICABLE FOR CHANGING THE SPECIFIED CLB SHOWN ON SINGLE PLY SEALED DESIGNS TO T-BRACING OR SCAB BRACING.

ALTERNATIVE BRACING SPECIFIED IN CHART BELOW MAY BE CONSERVATIVE. FOR MINIMUM ALTERNATIVE BRACING, RE-RUN DESIGN WITH APPROPRIATE BRACING.

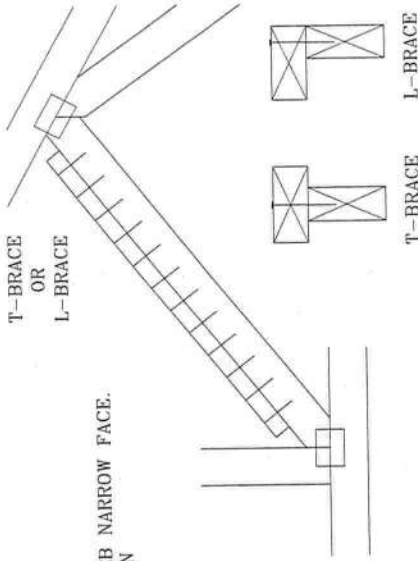
WEB MEMBER SIZE	SPECIFIED CLB BRACING	T OR L-BRACE	ALTERNATIVE BRACING	SCAB BRACE
2X3 OR 2X4	1 ROW	2X4	1-2X4	
2X3 OR 2X4	2 ROWS	2X6	2-2X4	
2X6	1 ROW	2X4	1-2X6	
2X6	2 ROWS	2X4	2-2X4(*)	
2X8	1 ROW	2X6	1-2X8	
2X8	2 ROWS	2X6	2-2X6(*)	

T-BRACE, L-BRACE AND SCAB BRACE TO BE SAME SPECIES AND GRADE OR BETTER THAN WEB MEMBER UNLESS SPECIFIED OTHERWISE ON ENGINEER'S SEALED DESIGN.

(*) CENTER SCAB ON WIDE FACE OF WEB. APPLY (1) SCAB TO EACH FACE OF WEB.

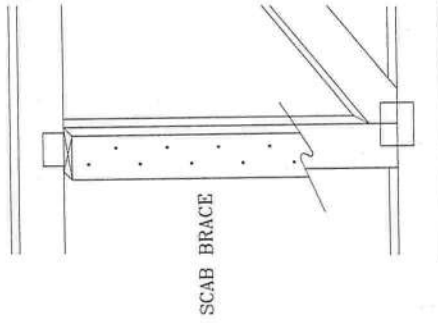
T-BRACING
OR
L-BRACING:

APPLY TO EITHER SIDE OF WEB NARROW FACE. ATTACH WITH 10d BOX OR GUN (0.128" x 3", MIN) NAILS. AT 6" O.C. BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



SCAB BRACING:

APPLY SCAB(S) TO WIDE FACE OF WEB. NO MORE THAN (1) SCAB PER FACE. ATTACH WITH 10d BOX OR GUN (0.128" x 3", MIN) NAILS. AT 6" O.C. BRACE IS A MINIMUM 80% OF WEB MEMBER LENGTH



Earth City, MO 63045

****WARNING** READ AND FOLLOW ALL NOTES ON THIS SHEET.** Trusses require extreme care in handling, shipping, installing and bracing. Use of functions. Installers shall provide temporary bracing per BCSI. Unless noted, all bracing shall have properly attached structural panels and bottom chord shall have a proper lateral restraint of webs shall have bracing installed per BCSI sections B3 & B7. See this job's general notes page for more information.

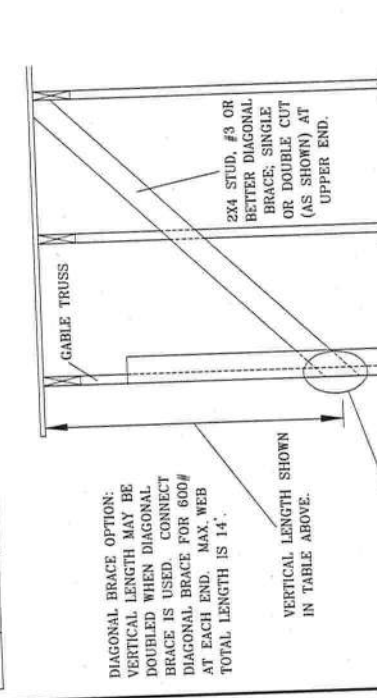
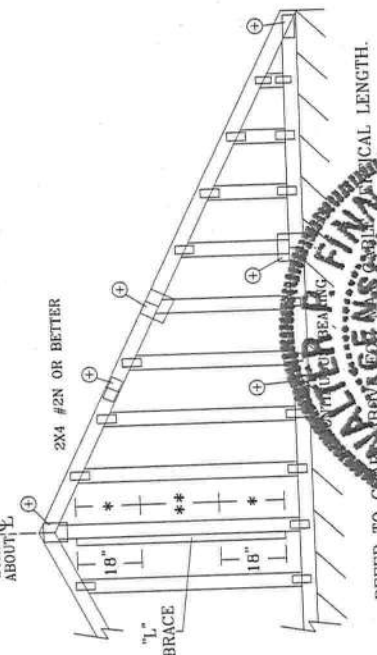
****IMPORTANT** FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR.** ITW Building Components Group Inc. (ITWBCG) shall not be responsible for any deviation from the design or any failure to build the truss in conformance with TPI, or fabricating, handling, shipping or installing. ITWBCG connector plates are made of 30/10/16GA (W1/S/K) ASK A. (K/W/H/S) galv. steel. Apply plates to each face of truss, positioned as shown on this drawing or cover page indicate suitability and user of this component for any truss component design. ITWBCG Building Designer per ANSI/TPI 1 Sec. 2. ITW-BCG: www.itwbcg.com; TPI: www.tpinet.com; WCA: www.abciindustry.com; ICC: www.iccsafe.org



TC LL	PSF	REF	CLB SUBST.
TC DL	PSF	DATE	1/1/09
BC DL	PSF	DRWG	BRCILBSUB0109
BC LL	PSF		
TOT. LD.	PSF		
DUR. FAC.			
SPACING			

ASCE 7-05: 110 MPH WIND SPEED, 15' MEAN HEIGHT, ENCLOSED, I = 1.00, EXPOSURE C, Kzt = 1.00

MAX GABLE VERTICAL LENGTH	2X4 BRACE	GROUP A		GROUP B		GROUP A		GROUP B		GROUP A		GROUP B		GROUP A	GROUP B
		SPACING	SPECIES	GRADE	NO BRACES	SPACING	SPECIES	GRADE	NO BRACES	SPACING	SPECIES	GRADE	NO BRACES		
12" O.C.	SPF	#1 / #2	STUD	6' 8"	6' 10"	7' 11"	8' 1"	9' 5"	9' 8"	12' 5"	12' 9"	14' 0"	14' 0"	GROUP A	GROUP B
				6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 4"	12' 4"	14' 0"	14' 0"		
24" O.C.	SP	#1	STUD	6' 0"	6' 0"	7' 11"	7' 11"	9' 5"	9' 5"	12' 3"	12' 3"	14' 0"	14' 0"	GROUP A	GROUP B
				5' 2"	5' 2"	7' 11"	7' 11"	9' 1"	9' 1"	10' 7"	10' 7"	14' 0"	14' 0"		
24" O.C.	DFL	#3	STUD	6' 8"	7' 2"	7' 11"	8' 6"	9' 5"	10' 2"	12' 5"	13' 5"	14' 0"	14' 0"	GROUP A	GROUP B
				6' 2"	6' 2"	7' 11"	8' 1"	9' 5"	9' 11"	12' 8"	12' 8"	14' 0"	14' 0"		
16" O.C.	SPF	#1 / #2	STUD	6' 1"	6' 1"	7' 11"	8' 0"	9' 5"	9' 4"	10' 10"	10' 10"	14' 0"	14' 0"	GROUP A	GROUP B
				5' 3"	5' 3"	6' 11"	6' 11"	9' 4"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"		
16" O.C.	HF	#3	STUD	7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				7' 4"	7' 4"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"		
16" O.C.	SP	#1	STUD	7' 8"	8' 3"	9' 1"	9' 1"	10' 10"	10' 10"	12' 11"	12' 11"	14' 0"	14' 0"	GROUP A	GROUP B
				7' 8"	8' 3"	9' 1"	9' 1"	10' 10"	10' 10"	14' 0"	14' 0"	14' 0"	14' 0"		
16" O.C.	DFL	#3	STUD	7' 7"	7' 7"	9' 1"	9' 1"	10' 10"	11' 8"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				7' 6"	7' 6"	9' 1"	9' 1"	10' 10"	11' 4"	14' 0"	14' 0"	14' 0"	14' 0"		
12" O.C.	SPF	#1 / #2	STUD	8' 5"	8' 5"	10' 0"	10' 3"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"		
12" O.C.	HF	#3	STUD	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				7' 3"	7' 3"	9' 7"	9' 7"	11' 11"	11' 11"	14' 0"	14' 0"	14' 0"	14' 0"		
12" O.C.	SP	#1	STUD	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 10"	14' 0"	14' 0"	14' 0"	14' 0"		
12" O.C.	DFL	#3	STUD	8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				8' 5"	8' 5"	10' 0"	10' 0"	11' 11"	12' 6"	14' 0"	14' 0"	14' 0"	14' 0"		
12" O.C.	STANDARD	#1 / #2	STUD	8' 5"	8' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"	GROUP A	GROUP B
				7' 5"	7' 5"	9' 10"	9' 10"	11' 11"	12' 3"	14' 0"	14' 0"	14' 0"	14' 0"		



REF	ASCE7-05-GABI1015
DATE	1/1/09
DRWG	A11015050109
MAX. TOT. LD.	60 PSP
MAX. SPACING	24.0"

WALTER R. FINN
 LICENSED PROFESSIONAL ENGINEER
 NO. 22839
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

TW
 Building Components Group Inc.
 Earth City, MO 63045

IMPORTANT: READ AND FOLLOW ALL NOTES ON THIS SHEET. Trusses require careful care in fabricating, handling, shipping, installing and bracing. Refer to and follow the manufacturer's instructions for proper erection and bracing. Trusses are designed for use with the following components: TPI and WTC's Trussing and Bracing Systems (TBS). Unless noted otherwise, all trusses shall be braced in accordance with the TBS. Trusses shall have properly attached structural plates and chords shall have a proper edge-chord rigid connection. Locations shown for permanent lateral restraint of webs shall have bracing sections B3 & B7. See this job's general notes page for more information.

IMPORTANT: FURNISH COPY OF THIS DESIGN TO INSTALLATION CONTRACTOR. Trusses shall not be fabricated, handling, shipping, installing or braced in accordance with the design of 20/18/16GA (W/H/S/K) ASTM A661/A662/A663/A664/A665/A666/A667/A668/A669/A670/A671/A672/A673/A674/A675/A676/A677/A678/A679/A680/A681/A682/A683/A684/A685/A686/A687/A688/A689/A690/A691/A692/A693/A694/A695/A696/A697/A698/A699/A700/A701/A702/A703/A704/A705/A706/A707/A708/A709/A710/A711/A712/A713/A714/A715/A716/A717/A718/A719/A720/A721/A722/A723/A724/A725/A726/A727/A728/A729/A730/A731/A732/A733/A734/A735/A736/A737/A738/A739/A740/A741/A742/A743/A744/A745/A746/A747/A748/A749/A750/A751/A752/A753/A754/A755/A756/A757/A758/A759/A760/A761/A762/A763/A764/A765/A766/A767/A768/A769/A770/A771/A772/A773/A774/A775/A776/A777/A778/A779/A780/A781/A782/A783/A784/A785/A786/A787/A788/A789/A790/A791/A792/A793/A794/A795/A796/A797/A798/A799/A800/A801/A802/A803/A804/A805/A806/A807/A808/A809/A810/A811/A812/A813/A814/A815/A816/A817/A818/A819/A820/A821/A822/A823/A824/A825/A826/A827/A828/A829/A830/A831/A832/A833/A834/A835/A836/A837/A838/A839/A840/A841/A842/A843/A844/A845/A846/A847/A848/A849/A850/A851/A852/A853/A854/A855/A856/A857/A858/A859/A860/A861/A862/A863/A864/A865/A866/A867/A868/A869/A870/A871/A872/A873/A874/A875/A876/A877/A878/A879/A880/A881/A882/A883/A884/A885/A886/A887/A888/A889/A890/A891/A892/A893/A894/A895/A896/A897/A898/A899/A900/A901/A902/A903/A904/A905/A906/A907/A908/A909/A910/A911/A912/A913/A914/A915/A916/A917/A918/A919/A920/A921/A922/A923/A924/A925/A926/A927/A928/A929/A930/A931/A932/A933/A934/A935/A936/A937/A938/A939/A940/A941/A942/A943/A944/A945/A946/A947/A948/A949/A950/A951/A952/A953/A954/A955/A956/A957/A958/A959/A960/A961/A962/A963/A964/A965/A966/A967/A968/A969/A970/A971/A972/A973/A974/A975/A976/A977/A978/A979/A980/A981/A982/A983/A984/A985/A986/A987/A988/A989/A990/A991/A992/A993/A994/A995/A996/A997/A998/A999/A1000.

GABLE TRUSS DETAIL NOTES:
 LIVE LOAD DEFLECTION CRITERIA IS 1/240.
 PROVIDE UPLIFT CONNECTIONS FOR 80 PLF OVER CONTINUOUS BEARING (5 PSF TC DEAD LOAD).
 GABLE END SUPPORTS LOAD FROM 4' 0" OUTLOOKERS WITH 2' 0" OVERHANG, OR 12" PLYWOOD OVERHANG.
 ATTACH EACH "L" BRACE WITH 10d NAILS.
 * FOR (1) "L" BRACE: SPACE NAILS AT 2" O.C. IN 18" END ZONES AND 4" O.C. BETWEEN ZONES.
 ** FOR (2) "L" BRACES: SPACE NAILS AT 3" O.C. IN 18" END ZONES AND 6" O.C. BETWEEN ZONES.
 "L" BRACING MUST BE A MINIMUM OF 80% OF WEB MEMBER LENGTH.

GROUP A:	SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	STANDARD	STANDARD
#3	STUD	STANDARD
DOUGLAS FIR-LARCH	#3	SOUTHERN PINE
STUD	STANDARD	STANDARD
STANDARD		
GROUP B:	HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1	#2
SOUTHERN PINE	#1	#2
STUD	STANDARD	STANDARD
STANDARD		

GROUP A:	SPRUCE-PINE-FIR	HEM-FIR
#1 / #2	STANDARD	STANDARD
#3	STUD	STANDARD
DOUGLAS FIR-LARCH	#3	SOUTHERN PINE
STUD	STANDARD	STANDARD
STANDARD		
GROUP B:	HEM-FIR	DOUGLAS FIR-LARCH
#1 & BTR	#1	#2
SOUTHERN PINE	#1	#2
STUD	STANDARD	STANDARD
STANDARD		

GABLE VERTICAL PLATE SIZES

VERTICAL LENGTH	NO SPLICE
LESS THAN 4' 0"	1X4 OR 2X3
GREATER THAN 4' 0" BUT LESS THAN 11' 6"	2.5X4
GREATER THAN 11' 6"	3X4

+ REFER TO COMMON TRUSS DESIGN FOR PEAK, SPLICE, AND HEEL PLATES.

FORM 600A-08

PROJECT NAME: 1106098 BUILDER: _____
 AND ADDRESS: _____ PERMITTING OFFICE: _____ CLIMATE ZONE: 1 2 3
LAKG CITY FL
 OWNER: ROBERT + JUDITH BROWN PERMIT NO.: _____ JURISDICTION NO.: _____

1. New construction or addition
2. Single-family detached or Multiple-family attached
3. If Multiple-family—No. of units covered by this submission
4. Is this a worst case? (yes/no)
5. Conditioned floor area (sq. ft.)
6. Predominant eave overhang (ft.)
7. Glass type and area: (Label required by 13-104.4.5 if not default)
 - a. U-factor: (or Single- or Double-Pane DEFAULT)
 - b. SHGC: (or Clear or Tint DEFAULT)
8. Floor type and insulation:
 - a. Slab-on-grade (R-value + perimeter)
 - b. Wood, raised (R-value + sq. ft.)
 - c. Concrete, raised (R-value)
9. Net wall type, area and insulation:
 - a. Exterior:
 1. Concrete block (Insulation R-value)
 2. Wood frame (Insulation R-value)
 3. Steel frame (Insulation R-value)
 4. Log (Insulation R-value)
 5. Other: _____
 - b. Adjacent:
 1. Concrete block (Insulation R-value)
 2. Wood frame (Insulation R-value)
 3. Steel frame (Insulation R-value)
 4. Log (Insulation R-value)
10. Ceiling type, area and insulation:
 - a. Under attic (Insulation R-value)
 - b. Single assembly (Insulation R-value)
 - c. Radiant barrier, IRCC or white roof installed?
11. Air distribution system:
 - a. Ducts (Insulation + Location)
 - b. Air Handler (Location)
12. Cooling system:
 (Types: central-split, central-single pkg., room unit, PTAC, gas, none)
13. Heating system:
 (Types: heat pump, elec. strip, nat. gas, LP gas, gas h.p., room or PTAC, none)
14. Hot water system:
 (Types: elec., natural gas, solar, LP gas, none)
15. Hot water credits
 - a. Heat Recovery (HR)
 - b. Dedicated Heat Pump (DHP)
 - c. Solar
16. HVAC Credits
 (Use: CF-ceiling fan, CV-cross vent, PT-programmable thermostat, HF-whole house fan, MZ-Multizone)
17. COMPLIANCE STATUS: (PASS if As-Built Pts. are less than Base Pts.)
 - a. Total As-Built points
 - b. Total Base points



Please Type CK

1. NEW
2. SINGLE
3. _____
4. YES
5. 2444 sq. ft.
6. 1.5 ft.
- 7a. DOUBLE 396 sq. ft.
- 7b. CLEAR _____ sq. ft.
- 8a. R = 0, 218 l. ft.
- 8b. R = _____, _____ sq. ft.
- 8c. R = _____, _____ sq. ft.
- 9a-1 R = _____, _____ sq. ft.
- 9a-2 R = 13, 1530 sq. ft.
- 9a-3 R = _____, _____ sq. ft.
- 9a-4 R = _____, _____ sq. ft.
- 9b-1 R = _____, _____ sq. ft.
- 9b-2 R = 13, 174 sq. ft.
- 9b-3 R = _____, _____ sq. ft.
- 9b-4 R = _____, _____ sq. ft.
- 10a. R=30 2440 sq. ft.
- 10b. _____ sq. ft.
- 10c. _____
- 11a. R = 6, ATIK (cond. absent)
- 11b. R = INT. COND (cond. absent)
- 12a. Type: CENTRAL
- 12b. SEER/EER/COP: 13
- 12c. Capacity: 51
- 13a. Type: CENTRAL HEATP
- 13b. HSPF/COPI/AFUE: 7.9
- 13c. Capacity: 51
- 14a. Type: ELEC
- 14b. EF: .94
- 15a. _____
- 15b. _____
- 15c. _____
16. PT
17. PASS
- 17a. 26278 17b. 24713

I hereby certify that the plans and specifications covered by the calculation are in compliance with the Florida Energy Code.
 PREPARED BY: EVAN BEANSLEY DATE: 6/6/11
 I hereby certify that this building is in compliance with the Florida Energy Code:
 OWNER AGENT: _____ DATE: _____

Review of plans and specifications covered by this calculation indicates compliance with the Florida Energy Code. Before construction is completed, this building will be inspected for compliance in accordance with Section 553.908, F.S.
 BUILDING OFFICIAL: _____
 DATE: _____

6A-1 SUMMER OVERHANG FACTORS (SOF) FOR SINGLE-AND DOUBLE-PANE GLASS

SELECT BY OR	OH Ratio	.00-.11	.12-.17	.18-.26	.27-.35	.36-.46	.47-.57	.58-.70	.71-.83	.84-1.18	1.19-1.72	1.73-2.73	2.74 & up
	North	1.00	0.993	0.971	0.930	0.888	0.842	0.803	0.766	0.736	0.681	0.634	0.593
Northeast	1.00	0.996	0.967	0.907	0.845	0.775	0.717	0.662	0.619	0.545	0.487	0.441	
East	1.00	0.994	0.963	0.898	0.827	0.745	0.675	0.609	0.558	0.470	0.405	0.357	
Southeast	1.00	0.998	0.952	0.864	0.777	0.689	0.623	0.566	0.525	0.459	0.413	0.379	
South	1.00	0.989	0.931	0.835	0.751	0.675	0.620	0.575	0.543	0.493	0.458	0.432	
Southwest	1.00	0.998	0.953	0.866	0.779	0.691	0.623	0.565	0.522	0.453	0.404	0.368	
West	1.00	0.994	0.963	0.899	0.828	0.748	0.681	0.617	0.569	0.485	0.422	0.375	
Northwest	1.00	0.996	0.968	0.913	0.858	0.797	0.748	0.702	0.667	0.605	0.556	0.516	
OH Length	0.0'	1.0'	1.5'	2.0'	3.0'	3.5'	4.5'	5.5'	6.5'	9.5'	14.0'	20.0'	

6A-2 WALL SUMMER POINT MULTIPLIERS (SPM)

FRAME					CONCRETE BLOCK (NORMAL WT)				FACE BRICK				LOG		
WOOD		STEEL			INTERIOR INSULATION			EXT. INSUL.	R-VALUE	WOOD FR	R-VALUE	BLOCK	6 INCH		8 INCH
R-VALUE	EXT	ADJ	EXT	ADJ	R-VALUE	EXT	ADJ	EXT	0-6.9	2.4	0-2.9	1.0	R-VALUE	EXT	EXT
0-6.9	5.5	2.2	7.6	2.8	0-2.9	2.2	1.1	2.2	7-10.9	.6	3-6.9	.6	0-2.9	1.5	1.0
7-10.9	2.1	.8	3.5	1.3	3-4.9	1.3	.8	.8	11-18.9	.4	7-9.9	.4	3-6.9	1.0	.7
11-12.9	1.7	.7	2.7	1.0	5-6.9	1.0	.7	.5	19-25.9	.2	10 & UP	.2	7 & UP	.8	.6
13-18.9	1.5	.6	2.5	0.9	7-10.9	.7	.5	.3	26 & UP	.1					
19-25.9	.9	.4	2.2	0.8	11-18.9	.4	.4	0							
26 & UP	.6	.2	1.2	0.4	19-25.9	.2	.2								
					26 & UP	.1	.1								

6A-3 DOOR SUMMER POINT MULTIPLIERS (SPM)

DOOR TYPE	EXTERIOR	ADJACENT
WOOD	6.1	2.4
INSULATED	4.1	1.6

6A-4 CEILING SUMMER POINT MULTIPLIERS (SPM)

UNDER ATTIC		SINGLE ASSEMBLY		CONCRETE DECK ROOF		
R-VALUE	SPM	R-VALUE	SPM	CEILING TYPE		
				R-VALUE	EXPOSED	DROPPED
19-21.9	2.34	10-10.9	8.49	10-13.9	9.13	8.47
22-25.9	2.11	11-12.9	7.97	14-20.9	6.80	6.45
26-29.9	1.89	13-18.9	7.14	21 & UP	4.92	4.63
30-37.9	1.73	19-25.9	5.64			
38 & UP	1.52	26-29.9	4.75			
		30 & UP	4.40			
RBS Credit	0.700					
IRCC Credit	0.849					
White Roof Credit	0.550					

6A-5 FLOOR SUMMER POINT MULTIPLIERS (SPM)

SLAB-ON-GRADE EDGE INSULATION		RAISED CONCRETE		RAISED WOOD			
R-VALUE	SPM	R-VALUE	SPM	POST OR PIER CONSTRUCTION	STEM WALL w/UNDER FLOOR INSULATION	ADJACENT	
				R-VALUE	SPM	SPM	SPM
0-2.9	-41.2	0-2.9	-.8	0-6.9	2.80	-4.7	2.2
3-4.9	-37.2	3-4.9	-1.3	7-10.9	1.34	-2.3	.8
5-6.9	-36.2	5-6.9	-1.3	11-18.9	1.06	-1.9	.7
7 & UP	-35.7	7 & UP	-1.3	19 & UP	.77	-1.5	.4

6A-6 INFILTRATION & INTERNAL GAINS (SPM)

Air Infiltration	3.44
Internal Gains	+6.77
Infiltration/Internal Gains (Combined)	10.21

6A-8 DUCT MULTIPLIERS (DM)

SUPPLY DUCTS IN:	DUCT R-VALUE	RETURN DUCTS IN:				
		Unconditioned space	Attic/RBS	Attic/IRCC	Attic/Cool roof	Conditioned space
Unconditioned Space	4.2	1.118	1.111	1.112	1.089	1.107
	6.0	1.090	1.084	1.085	1.066	1.081
	8.0	1.071	1.066	1.067	1.051	1.064
Attic/Radiant Barrier (RBS)	4.2	1.072	1.066	—	—	1.061
	6.0	1.056	1.051	—	—	1.047
	8.0	1.045	1.041	—	—	1.037
Attic/Interior Radiation Control Coatings (IRCC)	4.2	1.099	—	1.092	—	1.084
	6.0	1.076	—	1.071	—	1.065
	8.0	1.061	—	1.057	—	1.052
Attic/Cool Roof	4.2	1.068	—	—	1.096	1.057
	6.0	1.051	—	—	1.071	1.043
	8.0	1.040	—	—	1.055	1.034
Conditioned Space	4.2	1.006	1.005	1.007	1.008	1.000
	6.0	1.005	1.004	1.005	1.006	1.000
	8.0	1.004	1.003	1.004	1.005	1.000

6A-7 AIR HANDLER MULTIPLIERS (SPM)

Located in garage	1.00
Located in conditioned area	0.91
Located on exterior of building	1.02
Located in attic	1.11

6A-9 COOLING SYSTEM MULTIPLIERS (CSM)

SYSTEM TYPE		COOLING SYSTEM MULTIPLIERS (CSM)									
	Rating	7.5-7.9	8.0-8.4	8.5-8.8	8.9-9.4	9.5-9.9	10.0-10.4	10.5-10.9	11.0-11.4	11.5-11.9	12.0-12.4
Central Units (SEER)	CSM	.45	.43	.40	.38	.36	.34	.32	.31	.30	.28
	Rating	12.5-12.9	13.0-13.4	13.5-13.9	14.0-14.4	14.5-14.9	15.0-15.4	15.5-15.9	16.0-16.4	16.5-16.9	17.0-17.4
PTAC & Room Units (EER)	CSM	.27	.26	.25	.24	.24	.23	.22	.21	.20	.19

6A-10 WINTER OVERHANG FACTORS (WOF)

SELECT BY OR	OH Ratio	.00-.11	.12-.17	.18-.26	.27-.35	.36-.46	.47-.57	.58-.70	.71-.83	.84-1.18	1.19-1.72	1.73-2.73	2.74 & up
	North	1.00	1.000	1.001	1.003	1.005	1.009	1.011	1.014	1.016	1.021	1.024	1.024
Northeast	1.00	0.998	1.001	1.008	1.015	1.023	1.029	1.035	1.040	1.049	1.056	1.056	1.061
East	1.00	1.007	1.018	1.040	1.069	1.109	1.150	1.198	1.242	1.338	1.429	1.429	1.507
Southeast	1.00	1.014	1.043	1.111	1.202	1.332	1.472	1.635	1.787	2.113	2.412	2.412	2.650
South	1.00	0.994	1.032	1.142	1.308	1.563	1.845	2.175	2.471	3.042	3.450	3.450	3.661
Southwest	1.00	1.006	1.025	1.070	1.131	1.217	1.308	1.413	1.508	1.708	1.888	1.888	2.031
West	1.00	1.002	1.010	1.027	1.049	1.077	1.102	1.128	1.149	1.187	1.217	1.217	1.238
Northwest	1.00	0.999	1.000	1.004	1.008	1.012	1.016	1.019	1.022	1.028	1.032	1.032	1.036
OH Length	0.0'	1.0'	1.5'	2.0'	3.0'	3.5'	4.5'	5.5'	6.5'	9.5'	14.0'	14.0'	20.0'

6A-11 WALL WINTER POINT MULTIPLIERS (WPM)

FRAME					CONCRETE BLOCK (NORMAL WT)				FACE BRICK				LOG		
R-VALUE	WOOD		STEEL		R-VALUE	INTERIOR INSULATION		EXT. INSUL.	R-VALUE	WOOD FR	R-VALUE	BLOCK	R-VALUE	6 INCH	8 INCH
	EXT	ADJ	EXT	ADJ		0-6.9	12.6			0-2.9				7.9	EXT
0-6.9	11.1	10.4	15.1	13.1	0-2.9	11.2	8.8	11.2	7-10.9	4.2	3-6.9	5.7	0-2.9	4.5	3.0
7-10.9	4.4	4.4	7.3	6.6	3-4.9	7.3	5.1	5.6	11-18.9	3.5	7-9.9	3.8	3-6.9	2.8	2.2
11-12.9	3.7	3.6	5.7	5.2	5-6.9	5.7	4.2	4.3	19-25.9	2.2	10 & UP	3.0	7 & UP	2.1	1.7
13-18.9	3.4	3.3	5.2	4.9	7-10.9	4.6	3.5	3.3	26 & UP	1.4					
19-25.9	2.2	2.2	4.6	4.4	11-18.9	3.0	2.6	2.2							
26 & Up	1.5	1.5	2.7	2.6	19-25.9	1.9	1.7								
					26 & UP	1.3	1.2								

6A-12 DOOR WINTER POINT MULTIPLIERS (WPM)

DOOR TYPE	EXTERIOR	ADJACENT
WOOD	12.3	11.5
INSULATED	8.4	8.0

6A-13 CEILING WINTER POINT MULTIPLIERS (WPM)

UNDER ATTIC		SINGLE ASSEMBLY		CONCRETE DECK ROOF		
R-VALUE	WPM	R-VALUE	WPM	CEILING TYPE		
19-21.9	2.70	10-10.9	2.87	R-VALUE	EXPOSED	DROPPED
22-25.9	2.45	11-12.9	2.70	10-13.9	3.16	2.91
26-29.9	2.22	13-18.9	2.40	14-20.9	2.31	2.14
30-37.9	2.05	19-25.9	1.86	21 & UP	1.47	1.47
38 & UP	1.81	26-29.9	1.54			
RBS Credit	0.850	30 & UP	1.43			
IRCC Credit	0.912					
White Roof Credit	1.044					

6A-14 FLOOR WINTER POINT MULTIPLIERS (WPM)

SLAB-ON-GRADE EDGE INSULATION		RAISED CONCRETE		RAISED WOOD			
R-VALUE	WPM	R-VALUE	WPM	POST OR PIER CONSTRUCTION		STEM WALL w/UNDER FLOOR INSULATION	ADJACENT
				R-VALUE	WPM	WPM	WPM
0-2.9	18.8	0-2.9	9.9	0-6.9	5.77	3.5	10.4
3-4.9	9.3	3-4.9	5.1	7-10.9	2.20	1.6	4.4
5-6.9	7.6	5-6.9	3.6	11-18.9	1.55	1.2	3.6
7 & UP	7.0	7 & UP	2.9	19 & UP	0.88	.8	2.2

6A-15 INFILTRATION & INTERNAL GAINS (WPM)

Air Infiltration	2.13
Internal Gains	-2.72
Infiltration/Internal Gains (Combined)	-0.58

6A-17 DUCT MULTIPLIERS (DM)

SUPPLY DUCTS IN:	DUCT R-VALUE	RETURN DUCTS IN:				
		Unconditioned space	Attic/RBS	Attic/IRCC	Attic/Cool roof	Conditioned space
Unconditioned Space	4.2	1.093	1.086	1.088	1.089	1.081
	6.0	1.069	1.064	1.065	1.066	1.060
	8.0	1.053	1.049	1.051	1.051	1.046
Attic/Radiant Barrier (RBS)	4.2	1.067	1.059	—	—	1.052
	6.0	1.051	1.045	—	—	1.040
	8.0	1.040	1.036	—	—	1.032
Attic/Interior Radiation Control Coatings (IRCC)	4.2	1.096	—	1.088	—	1.077
	6.0	1.072	—	1.066	—	1.057
	8.0	1.056	—	1.052	—	1.045
Attic/Cool Roof	4.2	1.104	—	—	1.096	1.083
	6.0	1.076	—	—	1.071	1.061
	8.0	1.059	—	—	1.055	1.048
Conditioned Space	4.2	1.008	1.007	1.010	1.008	1.000
	6.0	1.006	1.005	1.007	1.006	1.000
	8.0	1.005	1.004	1.006	1.005	1.000

6A-16 AIR HANDLER MULTIPLIERS (WPM)

Located in garage	1.00
Located in conditioned area	0.93
Located on exterior of building	1.07
Located in attic	1.10

6A-18 HEATING SYSTEM MULTIPLIERS (HSM) All Climate Zones

SYSTEM TYPE		HEATING SYSTEM MULTIPLIERS (HSM)							
		7.4-7.6	7.7-7.8	7.9-8.3	8.4-8.8	8.9-9.3	9.4-9.8	9.9-10.3	10.4-10.8
Central Heat Pump Units	HSPF	46	44	43	41	38	36	34	33
	HSM	2.50-1.69	2.70-2.89	2.90-3.09	3.10-3.29	3.30-3.49	3.50-3.69	3.70-3.89	3.90-4.19
	COP	40	37	34	32	30	29	27	26
PTHP	HSM	76-77	78	79-82	83-85	86-89	90-92	93-95	96-98
	AELUF	46	44	43	41	38	36	34	33
Gas Heating	HSM				1.0				
Electric Strip									

3A-19 COOLING CREDIT MULTIPLIERS

SYSTEM TYPE	Cooling credit multipliers (CCM)
Ceiling Fans	.95*
Cross Ventilation	.95*
Whole House Fan	.95*
Multizone	.95
Programmable Thermostat	.95

*Credit may be taken for only one system type concurrently.

6A-20 AIR DISTRIBUTION SYSTEM CREDIT MULTIPLIERS

TYPE CREDIT	Prescriptive requirements	Multiplier
Air-tight Duct Credit ¹	Appx G-C5.2.2.1.1	1.00
Factory-sealed AHU Credit ²	Appx G-C5.2.2.1.2	0.95

¹Duct Sealing Multiplier (DSM) shall be 1.15 (summer) or 1.17 (winter) unless Air-tight Duct Credit is demonstrated by test report.

²Multiply Factory-sealed AHU credit by summer (Table 6A-7) or winter (Table 6A-16) AHU multiplier. Insert total in the "As-Built AHU" box on page 2 or 4.

6A-21 HEATING CREDIT MULTIPLIERS (HCM)

SYSTEM TYPE	HEATING CREDIT MULTIPLIERS (HCM)	
Programmable Thermostat	HCM	.95
Multizone	HCM	.95

6A-22 HOT WATER MULTIPLIERS (HWM)

SYSTEM TYPE		HOT WATER MULTIPLIERS (HWM)							
		EF	.80-.81	.82-.83	.84-.85	.86-.87	.88-.90	.91-.93	.94-.96
Electric Resistance	EF	.54	.55	.56	.57	.58	.59	.60	.61
	HWM	3020	2946	2876	2809	2746	2655	2571	2491
Gas Water Heating	EF	.54	.55	.56	.57	.58	.59	.60	.61
	HWM	3020	2946	2876	2809	2746	2655	2571	2491
	EF	.62-.63	.64-.65	.66-.70	.71-.75	.76-.80	.81-.83	.84-.86	.87 & Up
	HWM	2346	2217	2101	1738	1456	1196	1055	933

6A-23 HOT WATER CREDIT MULTIPLIERS (HWCM)

SYSTEM TYPE		HOT WATER CREDIT MULTIPLIERS (HWCM)				
		With	Air Conditioner		Heat Pump	
Heat Recovery Unit	With					
	HWCM		.84		.78	
Add-on Dedicated Heat Pump (without tank)	EF	2.0-2.49	2.5-2.99	3.0-3.49	3.5 & Up	
	HWCM	.44	.35	.29	.25	
Add-on Solar Water Heater (without tank)	EF	1.0-1.9	2.0-2.9	3.0-3.9	4.0-4.9	5.0 & Up
	HWCM	.84	.42	.28	.21	.17

NOTE: An HWM must be used in conjunction with all HWCM. See Table 6A-22. EF Means Energy Factor.

6A-24 INFILTRATION REDUCTION COMPLIANCE CHECKLIST

COMPONENTS	SECTION	REQUIREMENTS FOR EACH PRACTICE	CHECK
Exterior Windows & Doors	N1106.AB.1.1	Max: 3 cfm/sq. ft. window area; .5cfm/sq. ft. door area.	
Exterior & Adjacent Walls	N1106.AB.1.2.1	Caulk, gasket, weatherstrip or seal between; windows/doors & frames, surrounding wall; foundation & wall sole or sill plate; joints between exterior wall panels at corners; CFM utility penetrations; between wall panels & top/bottom plates; between walls & floor. EXCEPTION: Frame walls where a continuous infiltration barrier is installed that extends from, and is sealed to, the foundation to the top plate.	
Floors	N1106.AB.1.2.2	Penetrations/openings > 1/8" sealed unless backed by truss or joist members. EXCEPTION: Frame floors where a continuous infiltration barrier is installed that is sealed to the perimeter, penetrations and seams.	
Ceilings	N1106.AB.1.2.3	Seal: Between walls & ceilings: penetrations of ceiling plane of top floor; around shafts, chases, soffits, chimneys, cabinets sealed to continuous air barrier; gaps in gyp board & top plate; attic access. EXCEPTION: Frame ceilings where a continuous infiltration barrier is installed that is sealed at the perimeter, at penetrations and seams.	
Recessed Lighting Fixtures	N1106.AB.1.2.4	Type IC rated with no penetrations, sealed; or Type IC or non-IC rated, installed inside a sealed box with 1/2" clearance & 3" from insulation; or Type IC rated with <2.0 cfm from conditioned space, tested.	
Multiple Story Houses	N1106.AB.1.2.5	Air barrier on perimeter of floor cavity between floors.	
Additional Infiltration reqts	N1106.AB.1.3	Exhaust fans vented to outdoors, dampers; combustion space heaters comply with NFPA, have combustion air.	

6A-25 OTHER PRESCRIPTIVE MEASURES (must be met or exceeded by all residences.)

COMPONENTS	SECTION	REQUIREMENTS	CHECK
Water Heaters	N1112.AB.3	Comply with efficiency requirements in Table N1112.AB.3. Switch or clearly marked circuit breaker (electric) or cutoff (gas) must be provided. External or built-in heat trap required for vertical pipe risers.	
Swimming Pools & Spas	N1112.AB.2.3	Spas & heated pools must have covers (except solar heated). Noncommercial pools must have a pump timer. Gas spa & pool heaters must have a minimum thermal efficiency of 78%.	
Shower Heads	N1112.AB.2.4	Water flow must be restricted to no more than 2.5 gallons per minute at 80 psig.	
Air Distribution Systems	N1110.AB	All ducts, fittings, mechanical equipment and plenum chambers shall be mechanically attached, sealed, insulated, and installed in accordance with the criteria of Section N1110. Ducts in unconditioned attics: R-6 minimum insulation.	
HVAC Controls	N1107.AB.2	Separate readily accessible manual or automatic thermostat for each system.	
Insulation	N1104.AB.1 N1102.B.1.1	Ceilings—Min. R-19. Common walls—Frame R-11 or CBS R-3 both sides. Common ceiling & floors R-11.	

ESTIMATED ENERGY PERFORMANCE INDEX* =
 The lower the Energy Performance Index, the more efficient the home.

New Home or addition	<u>NEW</u>	11. Ducts, Location & Insulation Level	
Single family or multiple family	<u>SINGLE</u>	a. Supply ducts: <u>ATTIC</u>	R- <u>6</u>
Number of units, (if multi-family)	<u>3</u>	b. Return ducts: <u>ATTIC</u>	R- <u>6</u>
Number of bedrooms	<u>YES</u>	12. Cooling systems	Capacity: <u>51</u>
Is this a worst case? (yes or no)	<u>2444</u> sq. ft.	a. Split system	SEER: <u>13</u>
Conditioned floor area	<u>396</u> sq. ft.	b. Single package	SEER: _____
Glass type & area	_____ sq. ft.	c. Ground/water source	COP: _____
a. U-Factor:	_____ sq. ft.	d. Room unit	EER: _____
(Or single or <u>double</u> Default)	_____ sq. ft.	e. PFAC	EER: _____
b. SHGC:	_____ sq. ft.	f. Gas-driven	COP: _____
(Or clear or tint Default)	_____ sq. ft.	13. Heating Systems	Capacity: <u>51</u>
Floor types, Insulation level	R- <u>0</u>	a. Split system heat pump	HSPE: <u>7.9</u>
a. Slab-on-grade, edge insulation	R- _____	b. Single package heat pump	HSPE: _____
b. Wood, raised	R- _____	c. Electric resistance	COP: _____
c. Concrete, raised	R- _____	d. Gas furnace, natural gas	AFUE: _____
Wall types, Insulation level		e. Gas furnace, LPG	AFUE: _____
Exterior		f. Gas-driven heat pump	Recov. EFF.: _____
a. Wood frame	R- <u>13</u>	14. Water heating systems	EF: <u>.94</u>
b. Metal frame	R- _____	a. Electric resistance	EF: _____
c. Concrete block	R- _____	b. Gas fired, natural gas	EF: _____
d. Log	R- _____	c. Gas fired, LPG	EF: _____
e. Other	R- _____	d. Solar System with tank	EF: _____
Adjacent		e. Dedicated heat pump with tank	EF: _____
a. Wood frame	R- <u>13</u>	f. Heat recovery unit	HeatRec% _____
b. Metal frame	R- _____	g. Other: _____	
c. Concrete block	R- _____	15. HVAC credits claimed (Alternate Point System Method only)	
d. Log	R- _____	a. Ceiling fans	_____
e. Other	R- _____	b. Cross ventilation	_____
10. Ceiling types, Insulation level		c. Whole house fan	_____
a. Under attic	R- <u>30</u>	d. Multizone cooling credit	_____
b. Single assembly	R- _____	e. Multizone heating credit	_____
c. Knee walls/skylight walls	R- _____	f. Programmable thermostat	<input checked="" type="checkbox"/>
d. Radiant barrier installed	R- _____		

certify that this home has complied with the Florida Energy Efficiency Code For Building through the above energy saving features which will be installed (or exceeded) in this home before final inspection. Otherwise, a new EPL Display Card will be completed based on installed Code compliant features.

Builder Signature: _____

Date: _____

Address of New Home: _____

City/FL/Zip _____

Residential System Sizing Calculation

Summary

Robert & Judith Brown

Project Title:
1006098

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

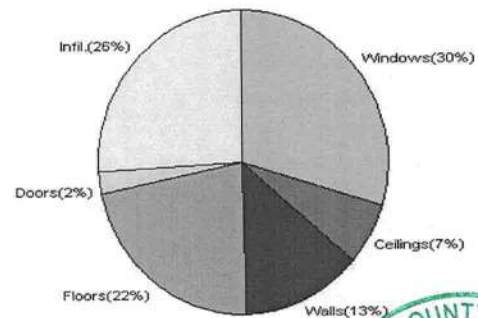
6/6/2011

Location for weather data: Gainesville - Defaults: Latitude(29) Altitude(152 ft.) Temp Range(M)			
Humidity data: Interior RH (50%) Outdoor wet bulb (77F) Humidity difference(54gr.)			
Winter design temperature	33 F	Summer design temperature	92 F
Winter setpoint	70 F	Summer setpoint	75 F
Winter temperature difference	37 F	Summer temperature difference	17 F
Total heating load calculation	42667 Btuh	Total cooling load calculation	41782 Btuh
Submitted heating capacity	% of calc Btuh	Submitted cooling capacity	% of calc Btuh
Total (Electric Heat Pump)	119.5 51000	Sensible (SHR = 0.75)	107.7 38250
Heat Pump + Auxiliary(0.0kW)	119.5 51000	Latent	203.6 12750
		Total (Electric Heat Pump)	122.1 51000

WINTER CALCULATIONS

Winter Heating Load (for 2444 sqft)

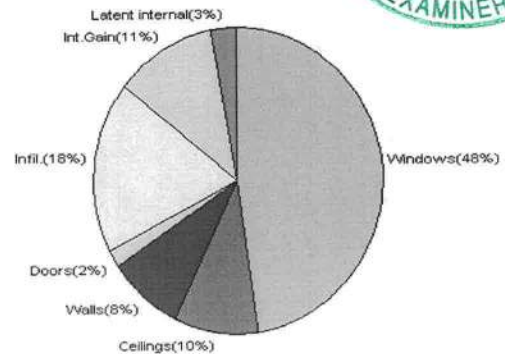
Load component	Load		
Window total	396 sqft	12747	Btuh
Wall total	1704 sqft	5596	Btuh
Door total	80 sqft	1036	Btuh
Ceiling total	2444 sqft	2880	Btuh
Floor total	218 sqft	9518	Btuh
Infiltration	269 cfm	10890	Btuh
Duct loss		0	Btuh
Subtotal		42667	Btuh
Ventilation	0 cfm	0	Btuh
TOTAL HEAT LOSS		42667	Btuh



SUMMER CALCULATIONS

Summer Cooling Load (for 2444 sqft)

Load component	Load		
Window total	396 sqft	19878	Btuh
Wall total	1704 sqft	3454	Btuh
Door total	80 sqft	784	Btuh
Ceiling total	2444 sqft	4047	Btuh
Floor total		0	Btuh
Infiltration	138 cfm	2578	Btuh
Internal gain		4780	Btuh
Duct gain		0	Btuh
Sens. Ventilation	0 cfm	0	Btuh
Total sensible gain		35521	Btuh
Latent gain(ducts)		0	Btuh
Latent gain(infiltration)		5061	Btuh
Latent gain(ventilation)		0	Btuh
Latent gain(internal/occupants/other)		1200	Btuh
Total latent gain		6261	Btuh
TOTAL HEAT GAIN		41782	Btuh



For Florida residences only

EnergyGauge® System Sizing

PREPARED BY: _____

DATE: 6/6/11

System Sizing Calculations - Winter

Residential Load - Whole House Component Details

Robert & Judith Brown

Project Title:
1006098

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

Reference City: Gainesville (Defaults) Winter Temperature Difference: 37.0 F
This calculation is for Worst Case. The house has been rotated 315 degrees.

6/6/2011

Component Loads for Whole House

Window	Panes/SHGC/Frame/U	Orientation	Area(sqft) X	HTM=	Load
1	2, Clear, Metal, 0.87	NW	36.0	32.2	1159 Btuh
2	2, Clear, Metal, 0.87	W	36.0	32.2	1159 Btuh
3	2, Clear, Metal, 0.87	NW	36.0	32.2	1159 Btuh
4	2, Clear, Metal, 0.87	N	36.0	32.2	1159 Btuh
5	2, Clear, Metal, 0.87	NW	36.0	32.2	1159 Btuh
6	2, Clear, Metal, 0.87	NW	24.0	32.2	773 Btuh
7	2, Clear, Metal, 0.87	NE	18.0	32.2	579 Btuh
8	2, Clear, Metal, 0.87	NE	12.0	32.2	386 Btuh
9	2, Clear, Metal, 0.87	SE	72.0	32.2	2318 Btuh
10	2, Clear, Metal, 0.87	SE	12.0	32.2	386 Btuh
11	2, Clear, Metal, 0.87	SE	8.0	32.2	258 Btuh
12	2, Clear, Metal, 0.87	SE	8.0	32.2	258 Btuh
13	2, Clear, Metal, 0.87	SW	54.0	32.2	1738 Btuh
14	2, Clear, Metal, 0.87	SW	8.0	32.2	258 Btuh
Window Total			396(sqft)		12747 Btuh
Walls	Type	R-Value	Area X	HTM=	Load
1	Frame - Wood - Ext(0.09)	13.0	1530	3.3	5025 Btuh
2	Frame - Wood - Adj(0.09)	13.0	174	3.3	571 Btuh
Wall Total			1704		5596 Btuh
Doors	Type		Area X	HTM=	Load
1	Insulated - Exterior		12	12.9	155 Btuh
2	Insulated - Adjacent		44	12.9	570 Btuh
3	Insulated - Exterior		24	12.9	311 Btuh
Door Total			80		1036Btuh
Ceilings	Type/Color/Surface	R-Value	Area X	HTM=	Load
1	Vented Attic(D/Shin)	30.0	2444	1.2	2880 Btuh
Ceiling Total			2444		2880Btuh
Floors	Type	R-Value	Size X	HTM=	Load
1	Slab On Grade	0	218.0 ft(p)	43.7	9518 Btuh
Floor Total			218		9518 Btuh
Zone Envelope Subtotal:					31777 Btuh
Infiltration	Type	ACH X	Zone Volume	CFM=	Load
	Natural	0.66	24440	268.8	10890 Btuh
Ductload	Partially sealed, R6.0, Supply(Attic), Return(Attic)			(DLM of 0.00)	0 Btuh
Zone #1	Sensible Zone Subtotal				42667 Btuh

Manual J Winter Calculations

Residential Load - Component Details (continued)

Robert & Judith Brown

Project Title:
1006098

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

6/6/2011

WHOLE HOUSE TOTALS

	Subtotal Sensible	42667 Btuh
	Ventilation Sensible	0 Btuh
	Total Btuh Loss	42667 Btuh

Key: Window types (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
(Frame types - metal, wood or insulated metal)
(U - Window U-Factor or 'DEF' for default)
(HTM - ManualJ Heat Transfer Multiplier)

Key: Floor size (perimeter(p) for slab-on-grade or area for all other floor types)



For Florida residences only

System Sizing Calculations - Summer

Residential Load - Whole House Component Details

Robert & Judith Brown

Project Title:
1006098

Class 3 Rating
Registration No. 0
Climate: North

Lake City, FL

Reference City: Gainesville (Defaults) Summer Temperature Difference: 17.0 F

6/6/2011

This calculation is for Worst Case. The house has been rotated 315 degrees.

Component Loads for Whole House

Window	Type*			Overhang		Window Area(sqft)			HTM		Load	
	Pn/SHGC/U/InSh/ExSh/IS	Ornt		Len	Hgt	Gross	Shaded	Unshaded	Shaded	Unshaded		
1	2, Clear, 0.87, None,N,N	NW		4.5ft	8ft.	36.0	0.0	36.0	29	60	2161	Btuh
2	2, Clear, 0.87, None,N,N	W		4.5ft	8ft.	36.0	10.4	25.6	29	80	2336	Btuh
3	2, Clear, 0.87, None,N,N	NW		1.5ft	8ft.	36.0	0.0	36.0	29	60	2161	Btuh
4	2, Clear, 0.87, None,N,N	N		4.5ft	8ft.	36.0	0.0	36.0	29	29	1043	Btuh
5	2, Clear, 0.87, None,N,N	NW		11.1	8ft.	36.0	0.0	36.0	29	60	2161	Btuh
6	2, Clear, 0.87, None,N,N	NW		11.1	9ft.	24.0	0.0	24.0	29	60	1441	Btuh
7	2, Clear, 0.87, None,N,N	NE		0ft.	0ft.	18.0	0.0	18.0	29	60	1081	Btuh
8	2, Clear, 0.87, None,N,N	NE		0ft.	0ft.	12.0	0.0	12.0	29	60	720	Btuh
9	2, Clear, 0.87, None,N,N	SE		9.16	8ft.	72.0	72.0	0.0	29	63	2085	Btuh
10	2, Clear, 0.87, None,N,N	SE		9.16	9ft.	12.0	12.0	0.0	29	63	348	Btuh
11	2, Clear, 0.87, None,N,N	SE		9.16	10ft.	8.0	8.0	0.0	29	63	232	Btuh
12	2, Clear, 0.87, None,N,N	SE		9.16	6ft.	8.0	8.0	0.0	29	63	232	Btuh
13	2, Clear, 0.87, None,N,N	SW		0ft.	0ft.	54.0	0.0	54.0	29	63	3377	Btuh
14	2, Clear, 0.87, None,N,N	SW		0ft.	0ft.	8.0	0.0	8.0	29	63	500	Btuh
	Window Total					396 (sqft)					19878 Btuh	
Walls	Type			R-Value/U-Value		Area(sqft)			HTM		Load	
1	Frame - Wood - Ext			13.0/0.09		1530.0			2.1		3191 Btuh	
2	Frame - Wood - Adj			13.0/0.09		174.0			1.5		263 Btuh	
	Wall Total					1704 (sqft)					3454 Btuh	
Doors	Type					Area (sqft)			HTM		Load	
1	Insulated - Exterior					12.0			9.8		118 Btuh	
2	Insulated - Adjacent					44.0			9.8		431 Btuh	
3	Insulated - Exterior					24.0			9.8		235 Btuh	
	Door Total					80 (sqft)					784 Btuh	
Ceilings	Type/Color/Surface			R-Value		Area(sqft)			HTM		Load	
1	Vented Attic/DarkShingle			30.0		2444.0			1.7		4047 Btuh	
	Ceiling Total					2444 (sqft)					4047 Btuh	
Floors	Type			R-Value		Size			HTM		Load	
1	Slab On Grade			0.0		218 (ft(p))			0.0		0 Btuh	
	Floor Total					218.0 (sqft)					0 Btuh	
	Zone Envelope Subtotal:										28163 Btuh	
Infiltration	Type			ACH		Volume(cuft)			CFM=		Load	
	SensibleNatural			0.34		24440			138.5		2578 Btuh	
Internal gain				Occupants		Btuh/occupant			Appliance		Load	
				6		X 230 +			3400		4780 Btuh	
Duct load	Partially sealed, R6.0, Supply(Attic), Return(Attic)								DGM = 0.00		0.0 Btuh	
	Sensible Zone Load										35521 Btuh	

Manual J Summer Calculations

Residential Load - Component Details (continued)

Robert & Judith Brown
Lake City, FL

Project Title:
1006098

Class 3 Rating
Registration No. 0
Climate: North

6/6/2011

WHOLE HOUSE TOTALS

Whole House Totals for Cooling	Sensible Envelope Load All Zones	35521 Btuh
	Sensible Duct Load	0 Btuh
	Total Sensible Zone Loads	35521 Btuh
	Sensible ventilation	0 Btuh
	Blower	0 Btuh
	Total sensible gain	35521 Btuh
	Latent infiltration gain (for 54 gr. humidity difference)	5061 Btuh
	Latent ventilation gain	0 Btuh
	Latent duct gain	0 Btuh
	Latent occupant gain (6 people @ 200 Btuh per person)	1200 Btuh
	Latent other gain	0 Btuh
	Latent total gain	6261 Btuh
	TOTAL GAIN	41782 Btuh

*Key: Window types (Pn - Number of panes of glass)
 (SHGC - Shading coefficient of glass as SHGC numerical value or as clear or tint)
 (U - Window U-Factor or 'DEF' for default)
 (InSh - Interior shading device: none(N), Blinds(B), Draperies(D) or Roller Shades(R))
 (ExSh - Exterior shading device: none(N) or numerical value)
 (BS - Insect screen: none(N), Full(F) or Half(H))
 (Ornt - compass orientation)



For Florida residences only

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 5365E BAYA HIE

City: Lake City FL Phone: 752-1703

Site Location: Subdivision THE GABLES

Lot # 5 Block# (29487)

Address 439 NW Gables Gln

Product used

Premise

Imidacloprid

% Concentration

0.1%

Termidor

Fipronil

0.12%

Bora-Care

Disodium Octaborate Tetrahydrate

23.0%

Type treatment:

Soil

Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Back/Garage

3411

283

250

As per Florida Building Code 104.2.6 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

6/23/11

Date

0800

Time

James D Biker

Print Technician's Name

Remarks: LATER

BACK/Front Porch to be done

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05

©

Notice of Treatment

Applicator: Florida Pest Control & Chemical Co. (www.flapest.com)

Address: 5365E BAYA HIE

City: _____ Phone: 752-1703

Site Location: Subdivision The Gables

Lot # 5 Block# _____ Permit # 29487

Address 437 NW Gables Gln

Product used

Premise

Imidacloprid

% Concentration

0.1%

Termidor

Fipronil

0.12%

Bora-Care

Disodium Octaborate Tetrahydrate

23.0%

Type treatment:

Soil

Wood

Area Treated

Square feet

Linear feet

Gallons Applied

Back Porch

170

24

20

As per Florida Building Code 104.2.6 - If soil chemical barrier method for termite prevention is used, final exterior treatment shall be completed prior to final building approval.

If this notice is for the final exterior treatment, initial this line _____

6/27/11

Date

0750

Time

James Biker

Print Technician's Name

Remarks: FEW BACK PERS to be treated later

DATE

Applicator - White

Permit File - Canary

Permit Holder - Pink

10/05

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