



PROPOSED RENOVATION FOR



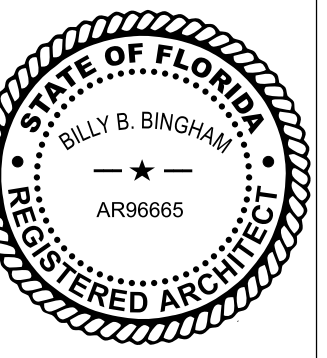
FRESENIUS MEDICAL CARE

179 SOUTH WEST PROSPERITY PLACE
LAKE CITY, FL. 32024

CONSTRUCTION
DOCUMENTS

ISSUE DATE: 03.16.2026

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REV	DATE	DESCRIPTION

PROPOSED RENOVATION FOR
FRESENIUS KIDNEY CARE
179 SOUTH WEST PROSPERITY PLACE
LAKE CITY, FL. 32024

34660 US-19 N.
SUITE 207
PALM HARBOR,
FL. 34684
727-487-9777



CONTRACT DATE: 02.04.26

JOB NO. 26-09

COVER

SHEET NO.
CS

ABBREVIATIONS

Table with 4 columns of abbreviations and their corresponding full names, including A.F.F. ABOVE FINISHED FLOOR, EA. EACH, MFR. MANUFACTURER, S.A.B. SOUND ATTENUATION BLANKET, etc.

PROJECT INDEX

Table with 2 columns: SHEET NO. and SHEET NAME. Includes CS COVER, A001 INDEX / PROJECT DATA, A100 OVERALL PLAN, etc.

SCOPE OF WORK

- RENOVATION TO AN EXISTING MEDICAL DOCTORS OFFICE & CONFERENCE ROOM. CONVERTING THEM INTO (2) TRAINING ROOMS FOR HOME DIALYSIS
HVAC TO BE REBALANCED IN NEW TRAINING ROOMS
NEW ELECTRICAL OUTLETS, LIGHTING TO BE RELOCATED
NEW SINKS & CABINETS

PROJECT SUMMARY

CLINIC BUSINESS OFFICE

Table containing project details: LEGAL JURISDICTION (COLUMBIA COUNTY, FLORIDA), APPLICABLE CODES (2023 FLORIDA BUILDING CODE 8TH EDITION), BUILDING INFORMATION (CONSTRUCTION TYPE: II B (SPRINKLER SYSTEM)), BUILDING AREA (TOTAL AREA: 11,142 S.F.), ALLOWABLE BUILDING AREA / HEIGHT / STORIES (92,000 SF / 75' / 4 STORIES), FIRE RATING OF BUILDING ELEMENTS (UNCHANGED), LEVEL OF ALTERATION: LEVEL 2, EGRESS REQUIREMENTS.

CONSTRUCTION DOCUMENTS

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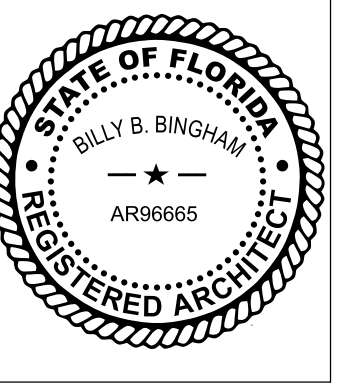


Table with 2 columns: REV and DATE, with a vertical label 'DESCRIPTION' on the right side.

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INDEX / PROJECT DATA

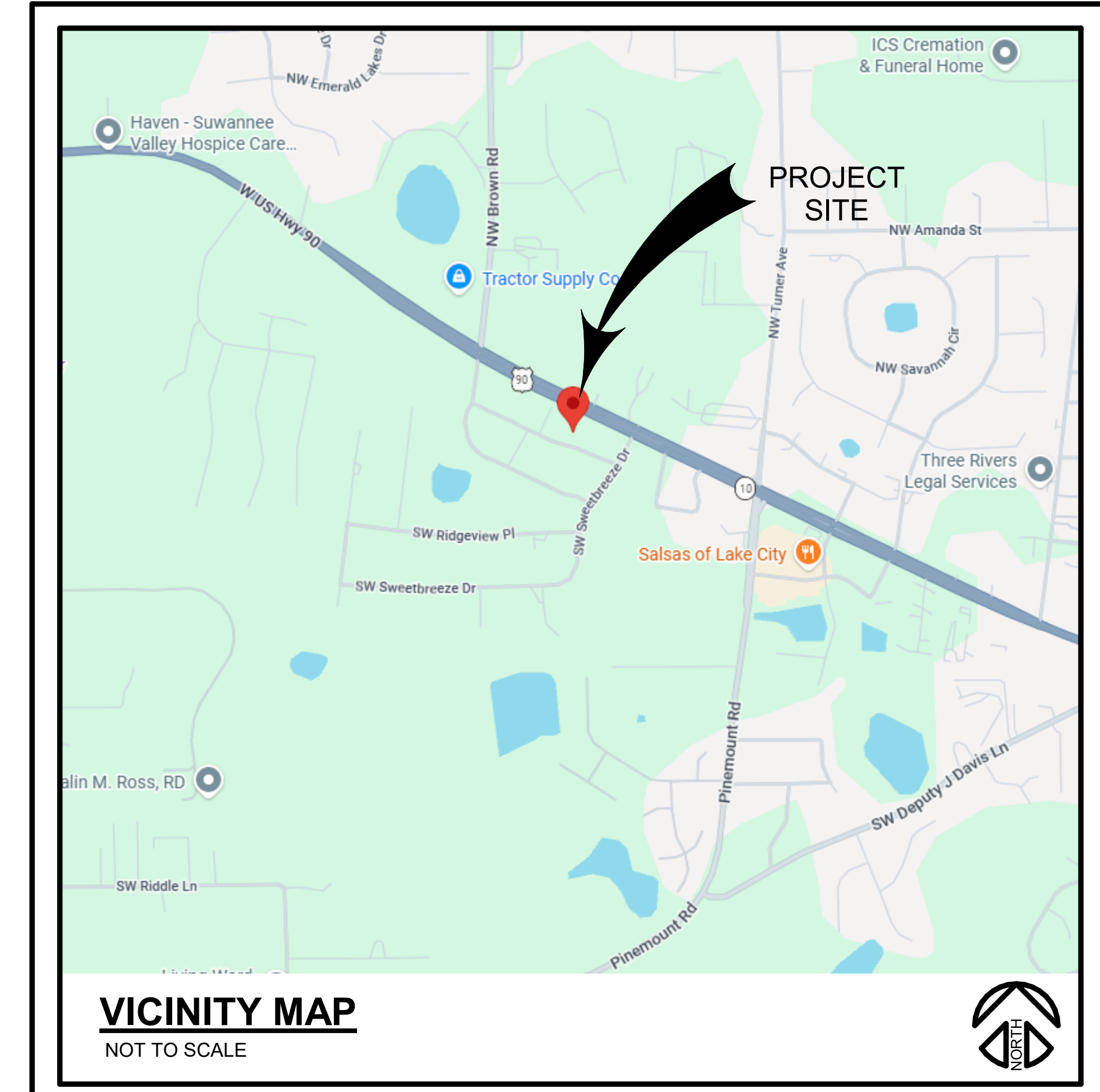
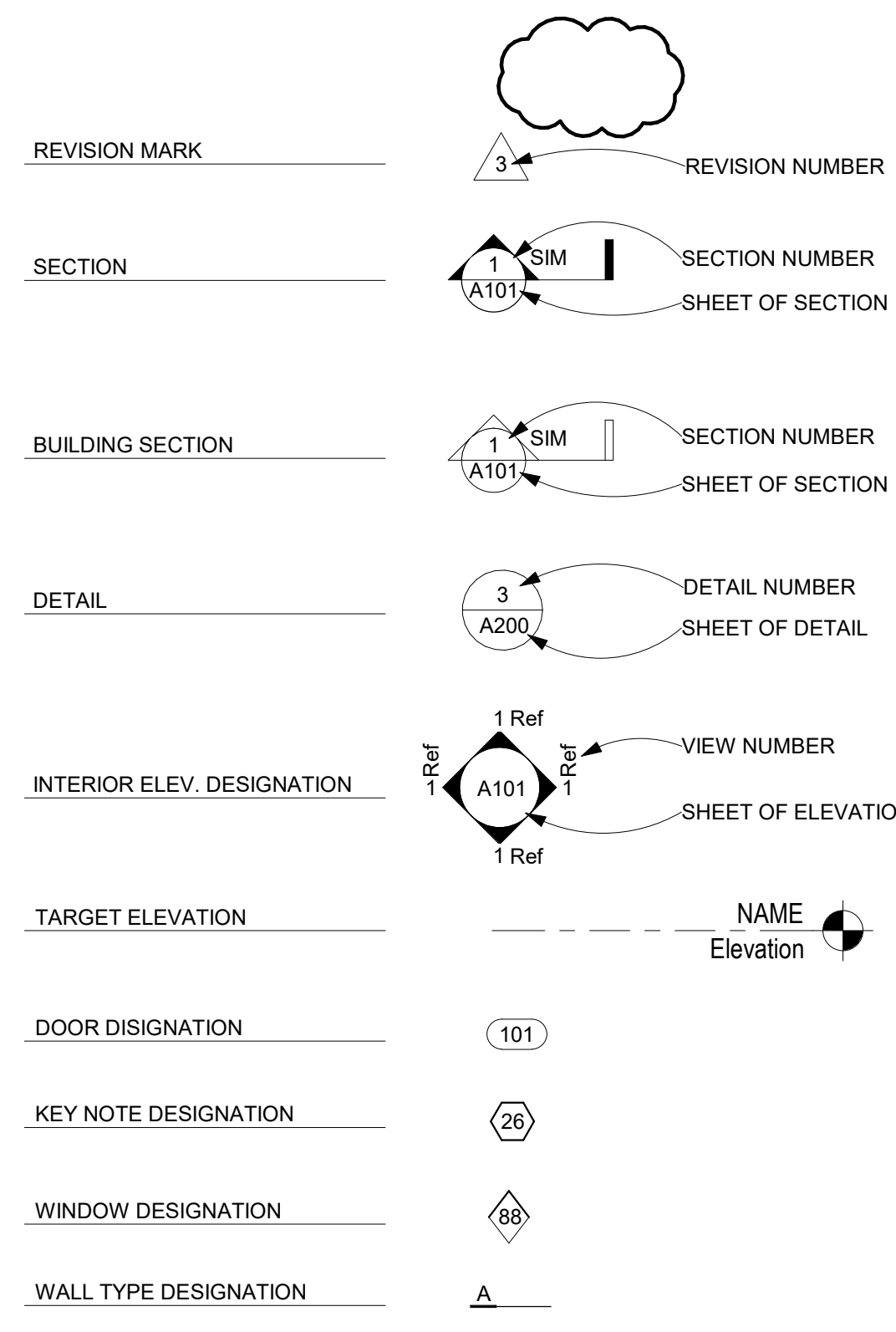
SHEET NO.

A001

GENERAL NOTES

- 1. THESE PLANS HAVE BEEN PREPARED TO LIMIT, CONVEY, EXPLAIN, & DEFINE CONDITIONS & SPECIFIED REQUIREMENTS, PIPE SIZES, & MANNER OF ERECTING WORK. THE CONTRACTOR SHALL REALIZE THAT THE DRAWINGS COULD NOT DELVE INTO EVERY STEP, SEQUENCE, OR OPERATION NECESSARY FOR THE COMPLETION OF THE PROJECT WITHOUT DRAWING ON THE CONTRACTOR'S INGENUITY OR EXPERIENCE.
2. OMISSIONS FROM THE DRAWINGS, SPECIFICATIONS OR THE DETAILS OF WORK WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK. ALL WORK SHALL BE PERFORMED AS FULLY & CORRECTLY AS SET FORTH & DESCRIBED IN THE DRAWINGS & SPECIFICATIONS.
3. THE CONTRACTOR SHALL CHECK ALL DRAWINGS FURNISHED HIM IMMEDIATELY UPON THEIR RECEIPT, & SHALL PROMPTLY NOTIFY BINGHAM ARCHITECTURE OF ANY DISCREPANCIES. THE CONTRACTOR SHALL COMPARE ALL DRAWINGS & VERIFY THE FIGURES BEFORE LAYING OUT THE WORK, & WILL BE RESPONSIBLE FOR ANY ERRORS WHICH MIGHT HAVE BEEN AVOIDED THEREBY.
4. SUBCONTRACTORS BIDDING THIS PROJECT SHOULD CAREFULLY REVIEW ALL PAGES OF THE PLANS. ITEMS UNDER THEIR SUB-TRADE MAY BE DENOTED ON SHEETS OTHER THAN THOSE SPECIFICALLY MARKED M, E OR P. GENERAL CONTRACTOR SHOULD INSURE THAT SUBCONTRACTORS REVIEW COMPLETE SETS OF DRAWINGS.
5. THE CONTRACTOR SHALL COORDINATE ALL PORTIONS OF THE WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS
6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE/COMPLIANCE W/ THE LOCAL, STATE, FEDERAL CODES & ORDINANCES
7. THESE CONSTRUCTION DOCUMENTS ARE THE EXCLUSIVE PROPERTY OF BINGHAM ARCHITECTURE ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT BINGHAM ARCHITECTURE PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.
8. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL VISIT THE SITE, REVIEW THE CONTRACT DOCUMENTS, PERMIT REQUIREMENTS AND BECOME THOROUGHLY FAMILIAR WITH THE CONDITIONS OF THIS SITE
9. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING ITEMS:
1.) TRANSITION STRIPS WHERE ALL DIS-SIMILAR FLOOR FINISHES MEET.
2.) BLOCKING FOR ALL ITEMS TO BE ANCHORED OR SECURED TO WALLS, FLOORS AND CEILINGS.
3.) CONCEAL ALL PIPING IN WALLS, FLOORS, ABOVE CEILINGS, ETC.
10. ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. THAT ARE SHOWN AND/OR NOTED ON ANY PLAN, SECTION, DETAIL OR SCHEDULE SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS U.N.O.

REFERENCE LEGEND



LIFE SAFETY ROOM SCHEDULE							
ROOM NUMBER	NAME	AREA	FUNCTION OF SPACE	FBC LOAD FACTOR	FBC OCC.	NFPA LOAD FACTOR	NFPA OCC.
101	HT-1	146 SF	BUSINESS (GROSS)	150	1	150	1
102	HT-2	156 SF	BUSINESS (GROSS)	150	2	150	2
TOTAL OCCUPANCY					3	3	

- ### LIFE SAFETY PLAN NOTES
- FIRE ALARM SYSTEMS TO REMAIN UNCHANGED
 - REFER TO INDEX SHEET FOR ADDITIONAL CODE SUMMARY
 - SPACE TO REMAIN UNOCCUPIED WHILE WORK IS BEING DONE
 - ALL FIRE ALARM WORK TO BE PERFORMED BY A LICENSED FIRE ALARM CONTRACTOR UNDER SEPARATE PERMIT & PLANS (IF APPLICABLE)
 - COORDINATE LOCATION OF KNOX BOX & ADDRESS IDENTIFICATION W/ FIRE MARSHALL.

LIFE SAFETY PLAN LEGEND

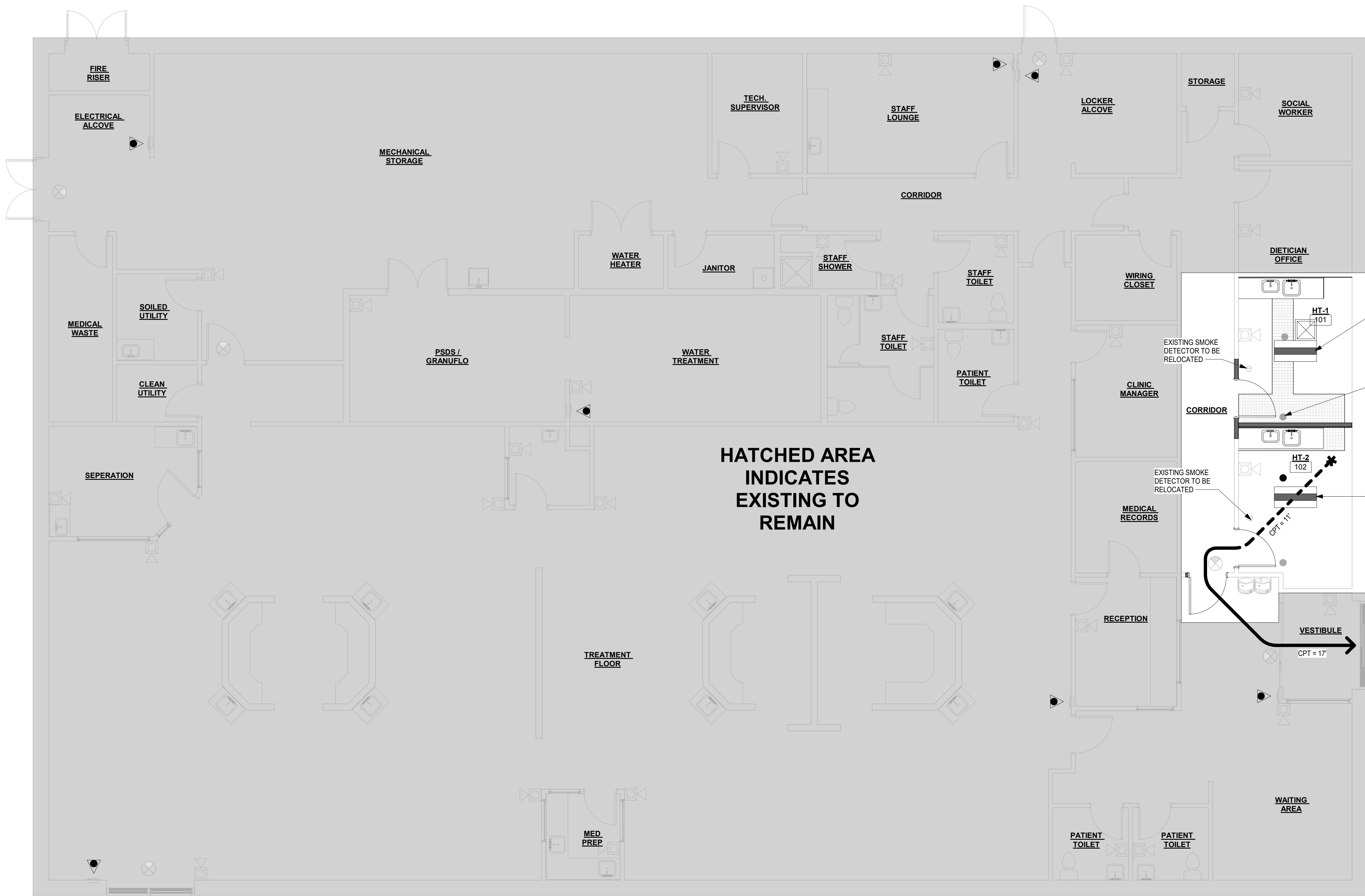
- TD = INDICATES TRAVEL PATH DISTANCE TO THE NEAREST EXIT
- CPT = INDICATES COMMON PATH TRAVEL DISTANCE
- INDICATES EXISTING 2-HOUR RATED WALL
- EXISTING FIRE EXTINGUISHER TO REMAIN
- EXISTING FIRE ALARM TO REMAIN
- EXISTING SMOKE DETECTOR TO REMAIN

EXIT SIGNAGE

- EXISTING EXIT SIGN FACE W/ ILLUMINATED LETTERS
- EXISTING EXIT SIGNS PATH OF DIRECTION
- NEW EXIT SIGN FACE W/ ILLUMINATED LETTERS
- NEW EXIT SIGNS PATH OF DIRECTION

EGRESS DOOR MATRIX

	DOOR IDENTIFIER
$1i$	OCCUPANT LOAD FACTOR
$0.2i/OCC$	DOOR CLEAR WIDTH PROVIDED
WIDTH ALLOWED 32"	MAX. ALLOWED OCCUPANT LOAD



1 LIFE SAFETY PLAN
3/16" = 1'-0"
NORTH

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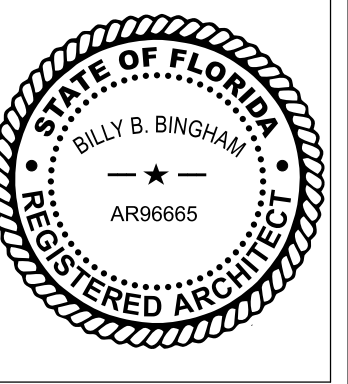
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LS101

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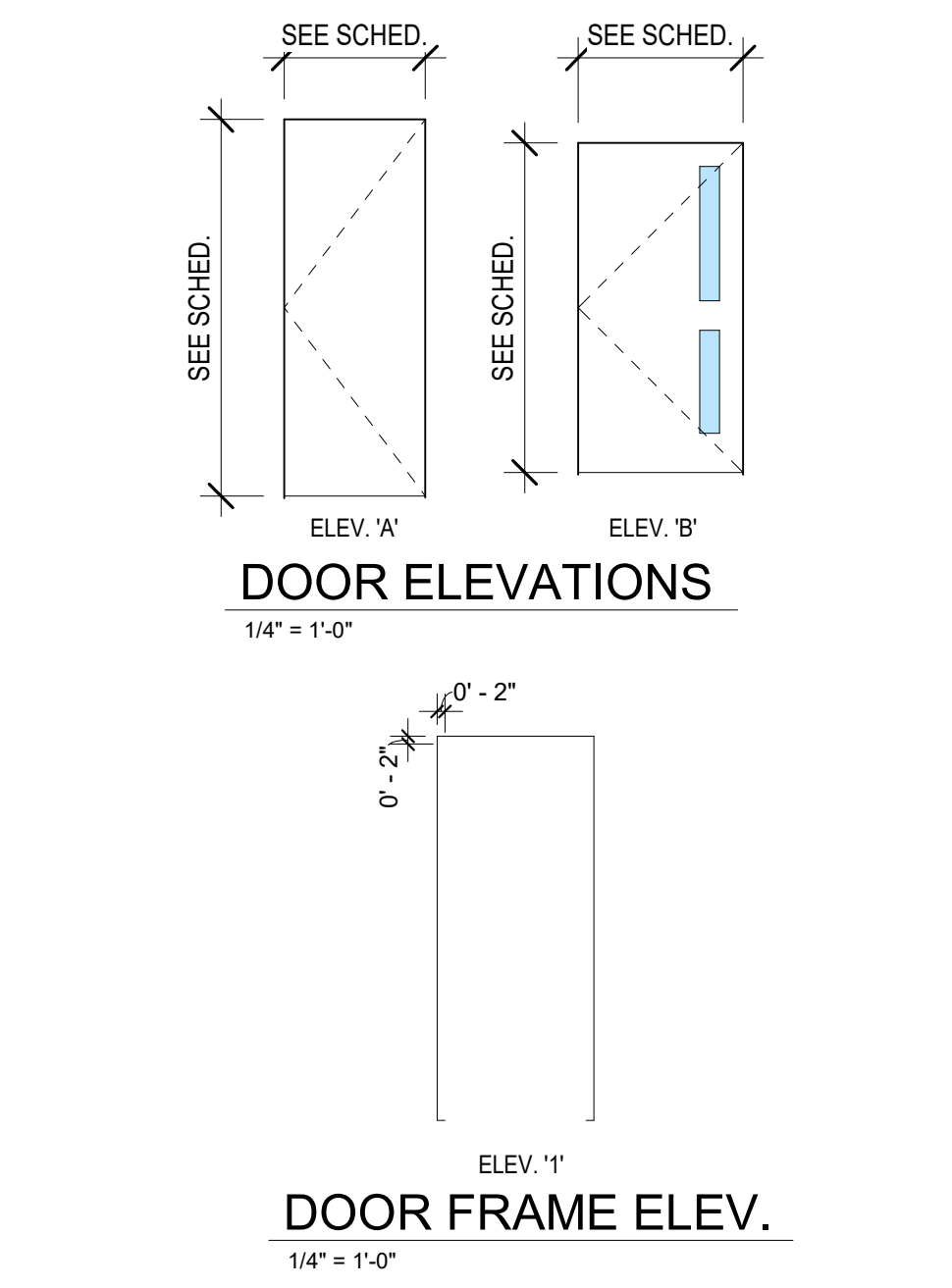
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CEILING LEGEND

	CEILING TYPE / CEILING FINISH
	CEILING HEIGHT ABOVE FINISHED FLOOR.
	2' X 2' ACOUSTICAL CEILING TILE PER FINISH SCHEDULE
	SUPPLY AIR DIFFUSER. REFER TO MECH.
	RETURN AIR DIFFUSER. REFER TO MECH.
	RECESSED LED DOWNLIGHT
	EXISTING EXIT SIGNAGE
	NEW 2' X 4' TROFFER LIGHTING. MATCH EXISTING SHADED INDICATES EMERGENCY LIGHT
	EXISTING TROFFER LIGHTING. SHADED INDICATES EMERGENCY LIGHT



FINISH SCHEDULE

FINISH SURFACE	MATERIAL	FINISH	SIZE	COLOR	MANUFACTURER
FLOORS	SHEET VINYL	AS SELECTED BY OWNER	---	---	MANNINGTON
MOULDINGS /BASE	RUBBER BASE	BURKBASE TYPE TP	4" HIGH	PECAN 504	MANNINGTON
WALLS / CEILINGS	WALL PAINT	MATCH EXISTING	N/A	N/A	
	WALL COVERING	FRP CHINO 0258	FULL HEIGHT / 48" A.F.F.	---	INPRO CORP.
MILLWORK	ACT	DOVAR WHITE PROMAR 400	2' X 2'	MATCH EXISTING	ARMOSTRONG
	SOLID SURFACE	HORIZONTAL CASHMERE MIRAGE 9135MG	---	---	WILSONART
	PLASTIC LAMINATE	VERTICAL WILD CHERRY 7045-60	---	---	

CRITICAL NOTE:
 G.C. TO SUBMIT PRODUCT DATA/ PHYSICAL SAMPLES FOR ALL FINISH SELECTIONS FOR ARCHITECT/ OWNER APPROVAL PRIOR TO FINAL SELECTION.

GENERAL DOOR NOTES

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VERIFYING THAT THE DOORS ORDERED ON BEHALF OF THIS PROJECT CONFORM WITH INTENT OF THE DRAWINGS, ESPECIALLY WITH REGARDS TO SIZE, TYPE, DIRECTION OF SWING, AND OPERATION.
- ALL DOOR HARDWARE SHALL COMPLY W/ THE PROVISIONS OF THE AMERICANS W/ DISABILITIES ACT AND ANY OTHER ACCESSIBILITY REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE MOST STRINGENT OF THE ABOVE STANDARDS SHALL APPLY. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO OPERATING MECHANISM DESIGN & REQUIRED OPENING FORCE.
- CLOSERS TO BE GRADE 2 OR BETTER, 50% ADJUSTABLE, BHMA ALUMINUM FINISH (686) SUBJECT TO DISABLED ACCESSIBILITY & OTHER CODE REQUIREMENTS.
- ALL DOOR HANDLES SHALL BE LEVER TYPE IN CONFORMANCE W/ ANSI 117.1, LATEST EDITION, U.N.O.
- PROVIDE DOOR STOP FOR ALL DOORS U.O.N. PROVIDE WALL TYPE STOP (TYP.) EQUAL TO IVES WS401CVX. AT CONDITIONS WHERE A WALL DOESN'T EXIST, PROVIDE FLOOR MOUNTED EQUAL TO IVES FS13.

CEILING PLAN NOTES

- THIS PLAN IS FOR CLARIFICATION OF SCOPE AND FIXTURE LOCATION ONLY. REFER TO LIFE SAFETY PLAN FOR LOCATION OF EXIT LIGHTING.
- GC SHALL PROVIDE CONDUIT, POWER, PLUMBING & COORDINATION FOR ALL EQUIPMENT & ITEMS PROVIDED BY OWNER OR OTHERS.
- PROVIDE SOUND ATTENUATION INSULATION W/ A MIN. STC RATING OF 40 IN ALL STUD WALLS BETWEEN ROOMS.

FLOOR PLAN GENERAL NOTES

- ALL DOORS TO BE 4" FROM INSIDE CORNER OR CENTERED IN SPACE U.N.O.
- GC SHALL PROVIDE CONDUIT, POWER, PLUMBING & COORDINATION FOR ALL EQUIPMENT & ITEMS PROVIDED BY OWNER OR OTHERS.
- PROVIDE SOUND ATTENUATION INSULATION W/ A MIN. STC RATING OF 40 IN ALL STUD WALLS BETWEEN ROOMS.

DOOR SCHEDULE

MARK	DOOR		DOOR		FRAME	
	WIDTH	HEIGHT	MATERIAL	FINISH	ELEV.	MATERIAL ELEV.
101	3'-6"	7'-0"	WOOD	MATCH EXIST.	A	H.M. 1
102	3'-6"	7'-0"	WOOD	MATCH EXIST.	A	H.M. 1
103	3'-6"	7'-0"	WOOD / GLASS	MATCH EXIST.	B	H.M. 1

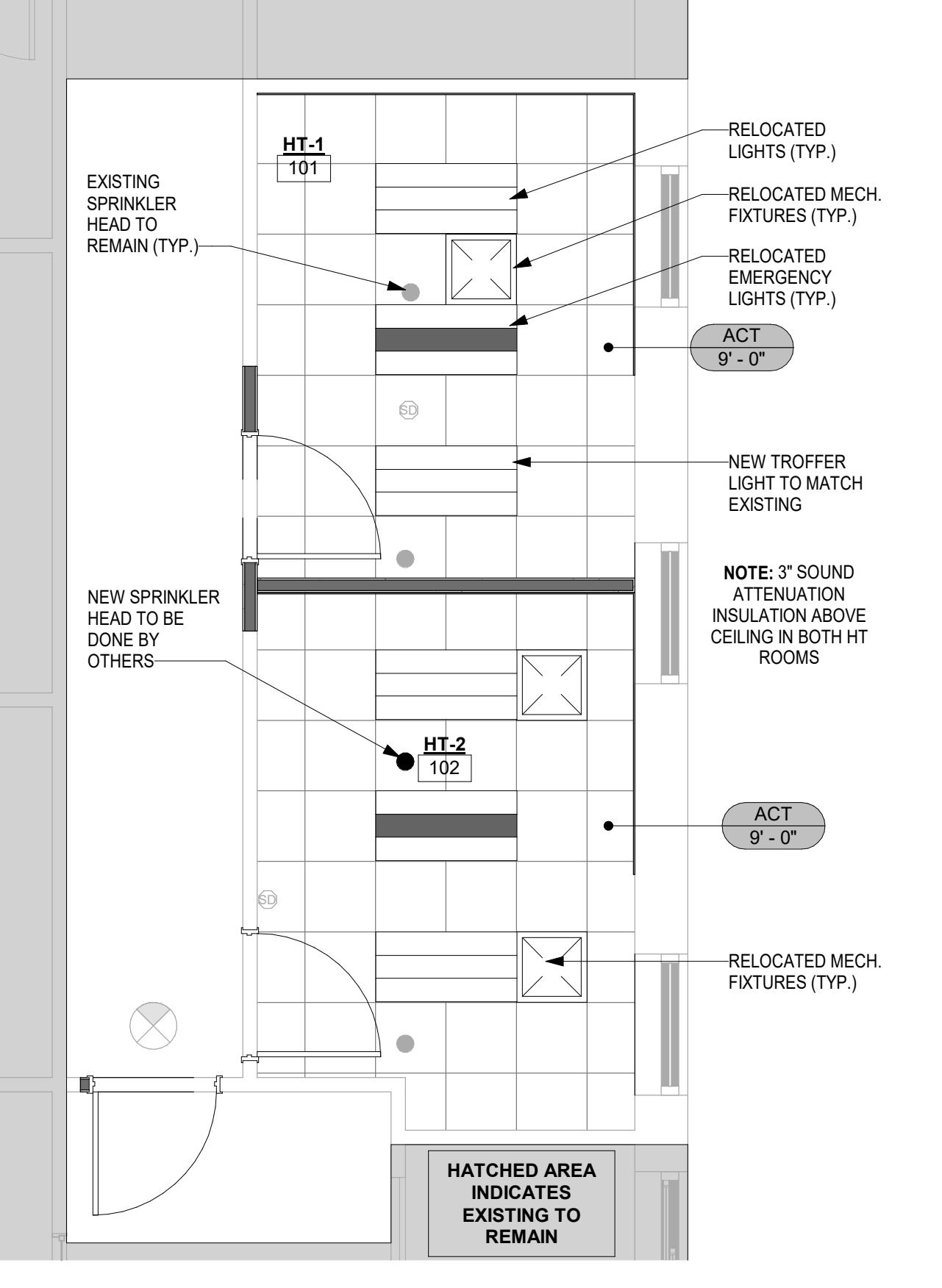
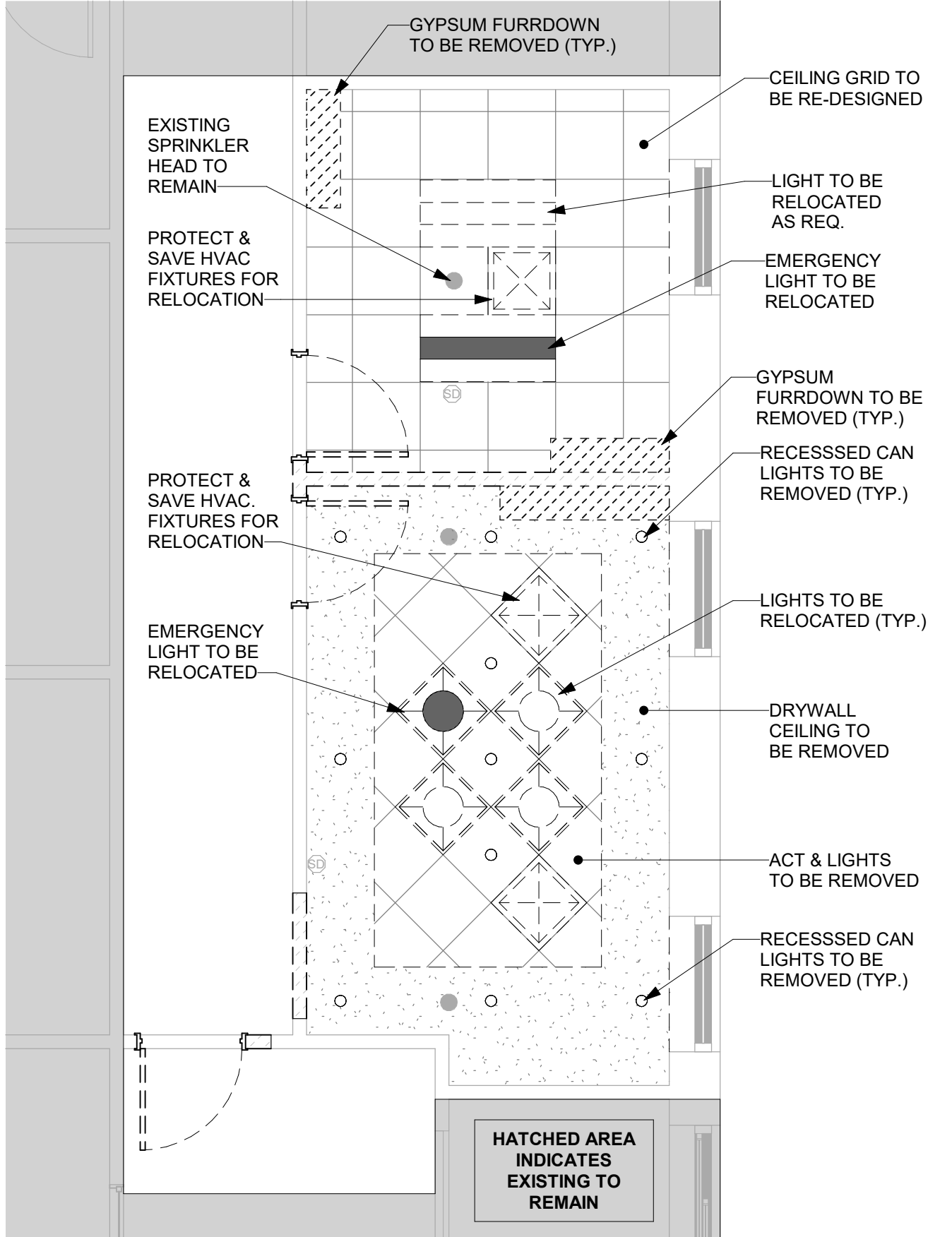
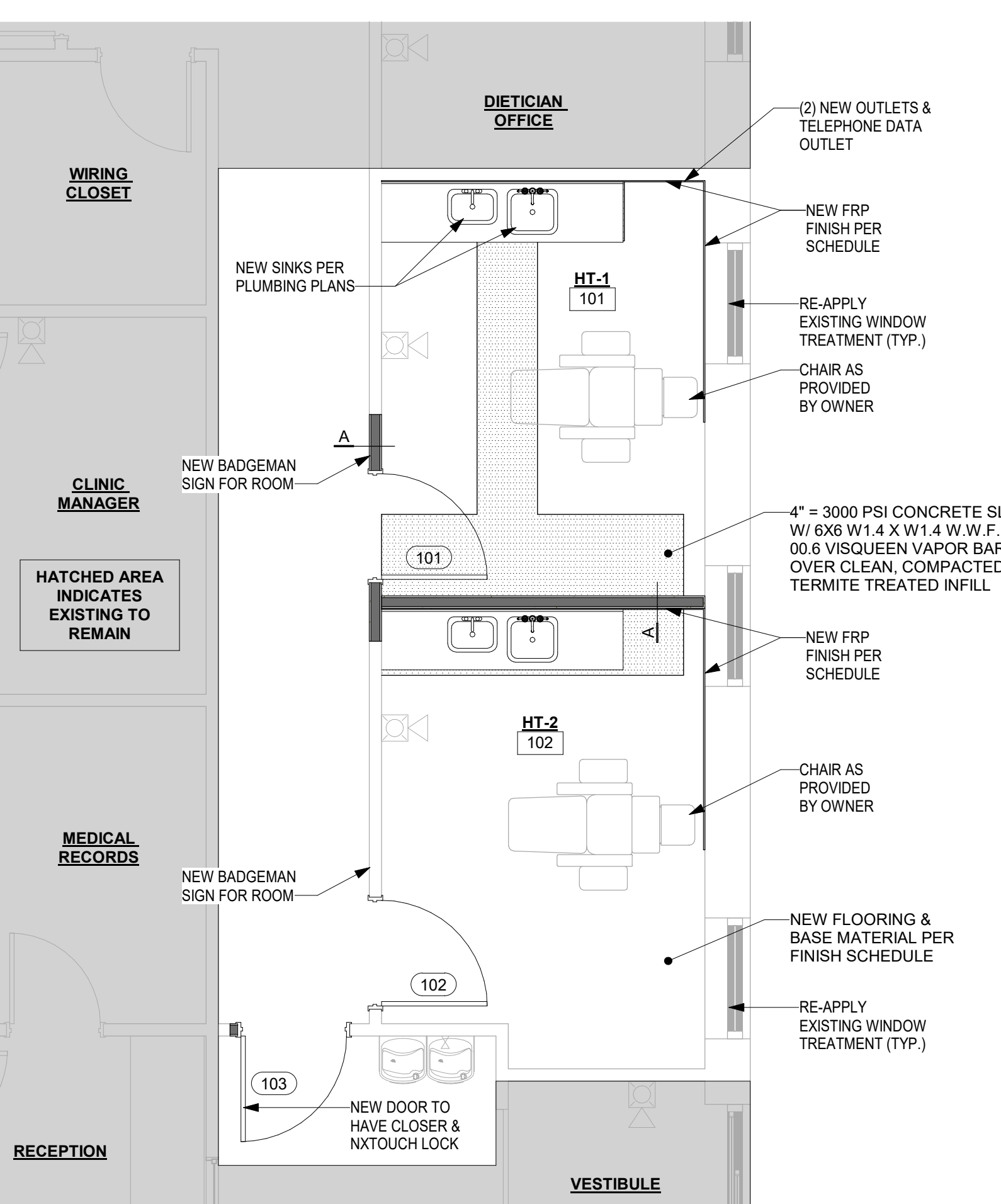
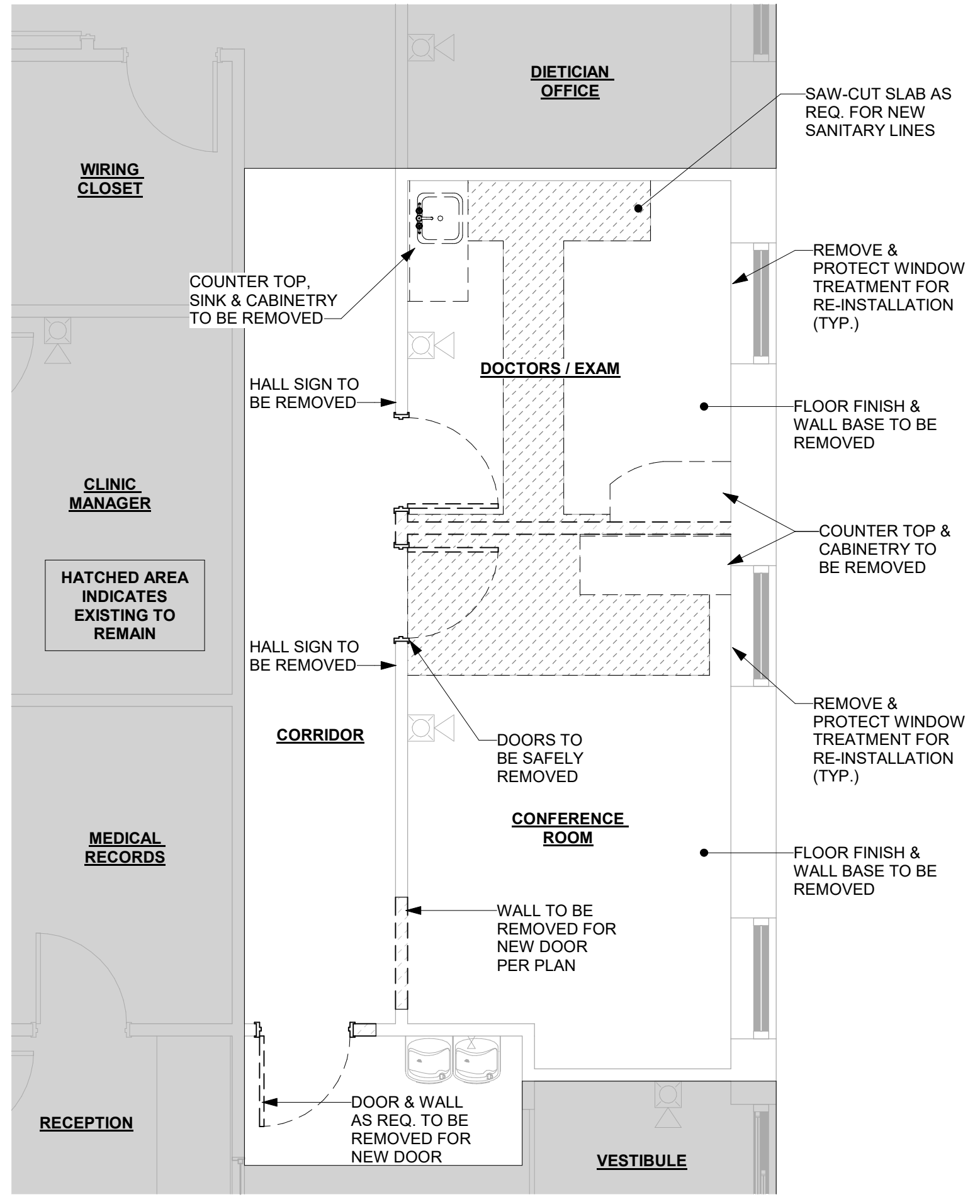
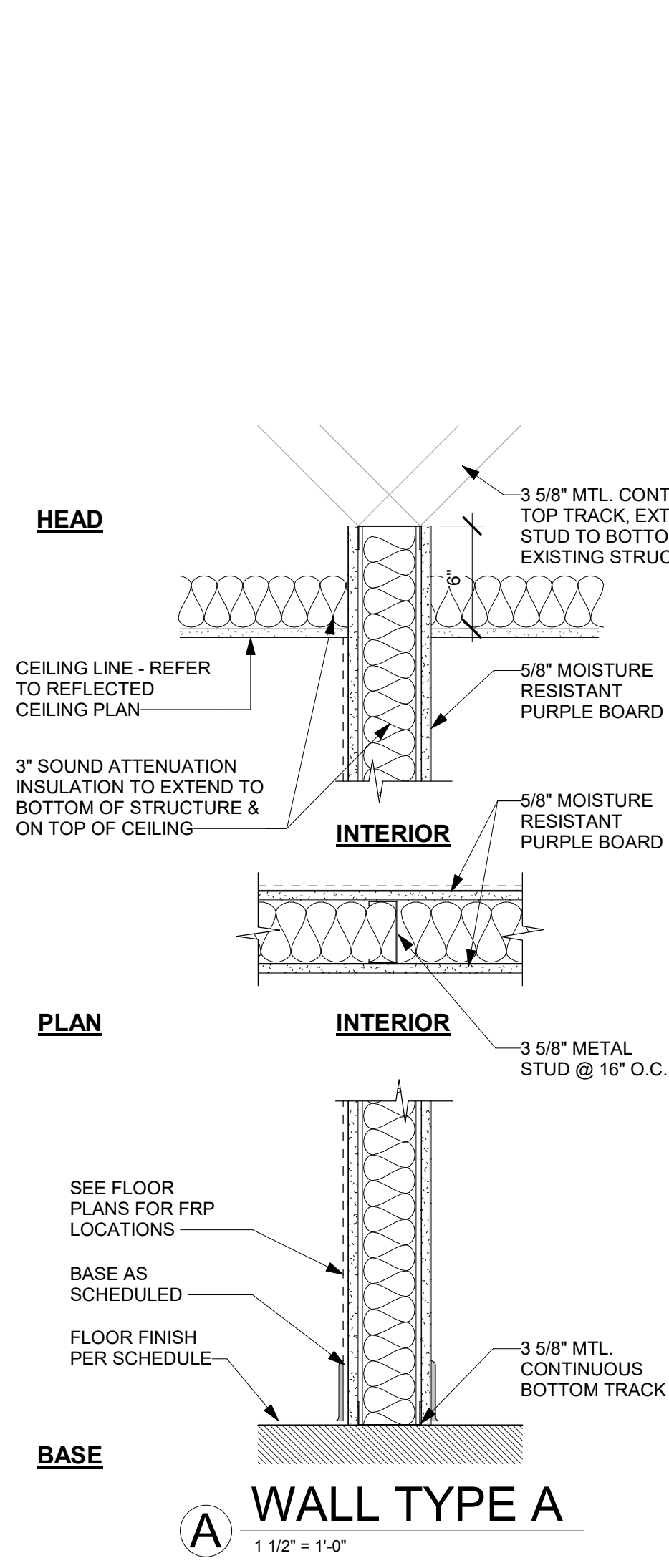
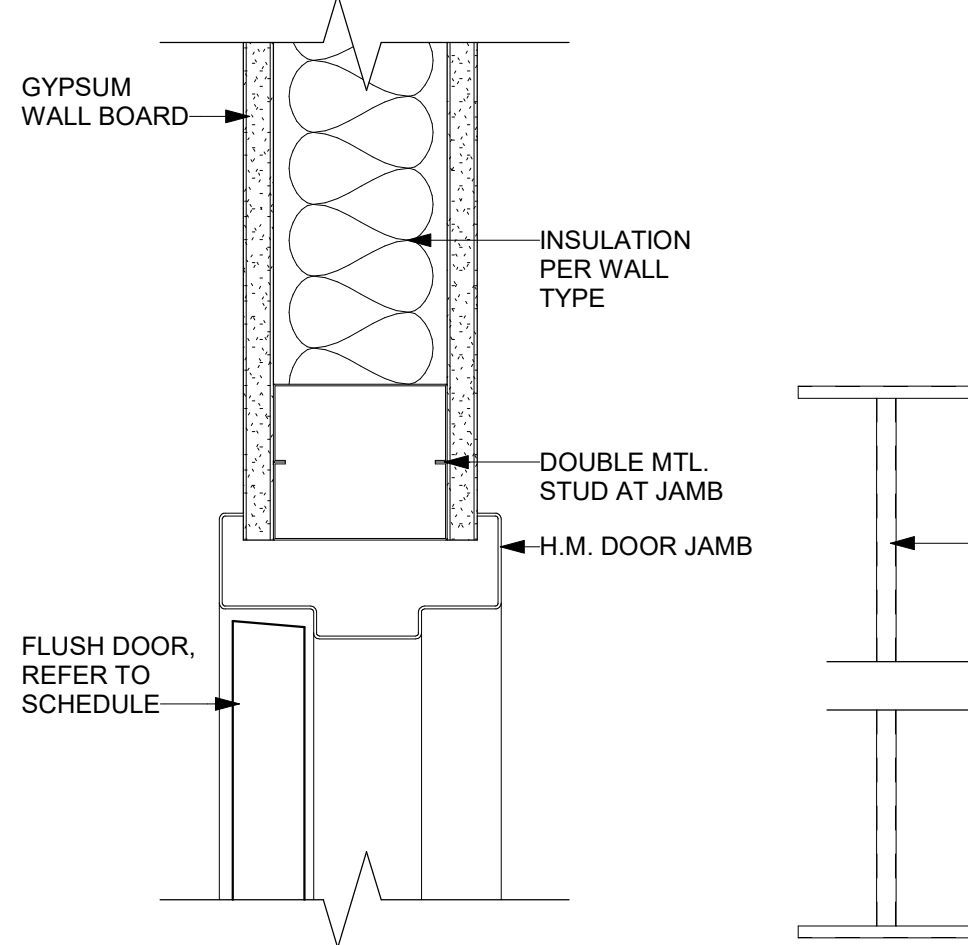
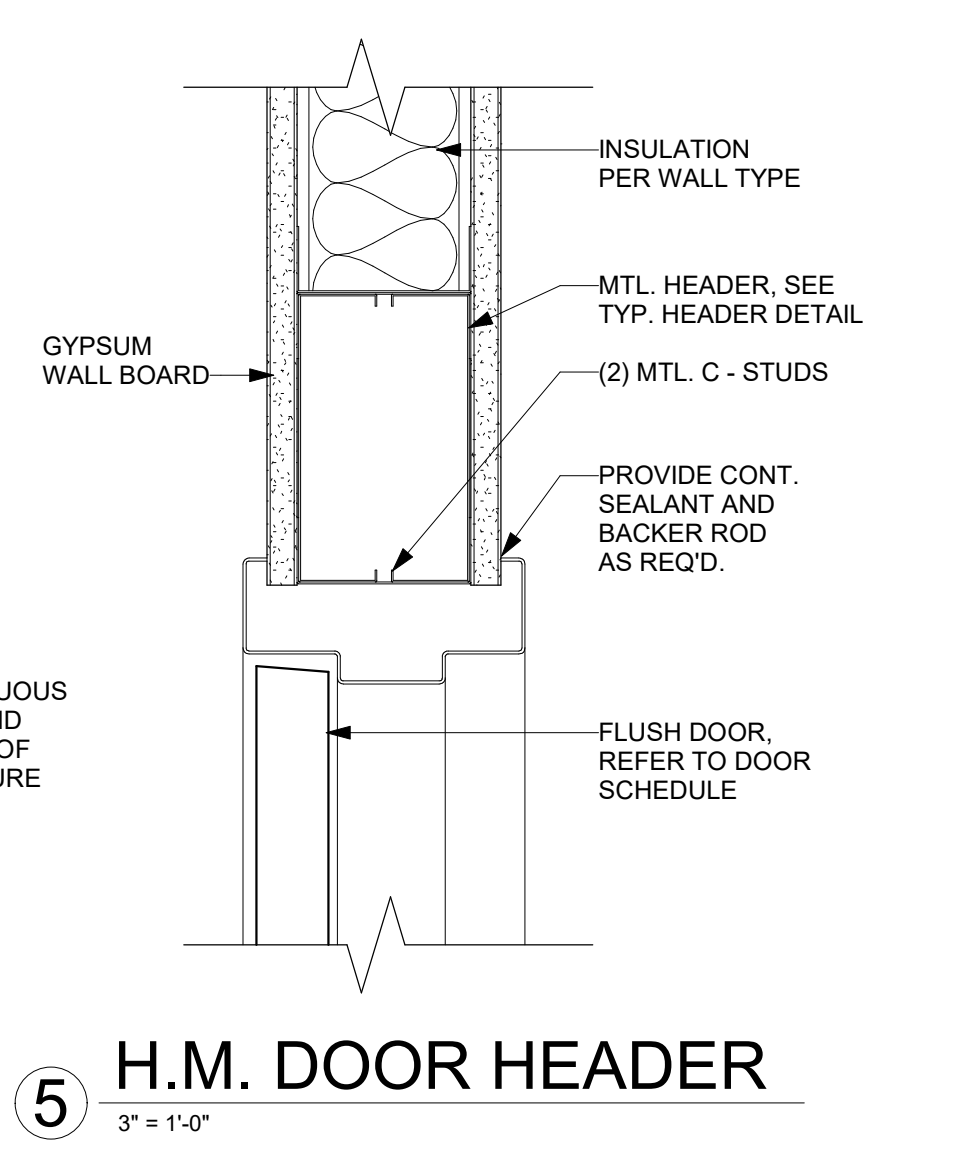
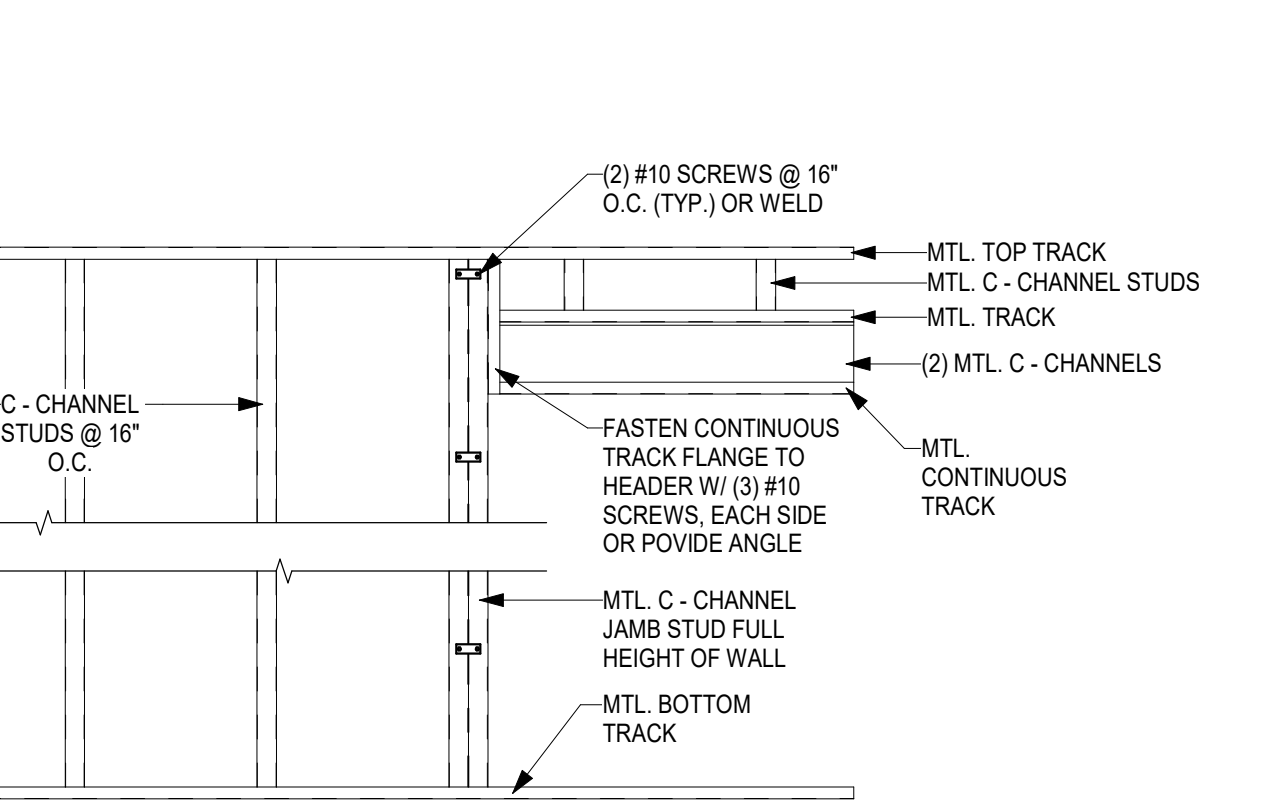
FLOOR PLAN LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING INTERIOR WALL TO REMAIN
	NEW WALL PER WALL TYPE
	NEW DOOR TAG - SEE DOOR SCHEDULE

COORDINATION NOTES

- THE GENERAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL EQUIPMENT AND MATERIALS ASSOCIATED WITH THE PROJECT IN ORDER TO ACHIEVE A COMPLETE AND FUNCTIONING SYSTEM OR ASSEMBLY.
- THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK ASSOCIATED WITH THE PROJECT WITH EACH SUB CONTRACTOR AND VENDOR INVOLVED. PRE-CONSTRUCTION MEETINGS ARE TO INCLUDE THE OWNER, CONTRACTOR, AND VENDOR TO ENSURE ALL GAPS ARE FILLED SO COMPLETE AND FULLY FUNCTIONING SYSTEMS ARE IN PLACE AT THE TIME OF BUILDING TURN OVER. SEPARATE PRE-CONSTRUCTION MEETINGS ARE TO INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING PHASES OF CONSTRUCTION:
 - MILLWORK (FURNITURE)
 - SIGNAGE (IF APPLICABLE)
 - MEDICAL EQUIPMENT

TYP. MTL. HEADER DETAIL



3/16/2026 10:22:12 AM

2 DEMO FLOOR PLAN
 1/4" = 1'-0"

1 NEW FLOOR PLAN
 1/4" = 1'-0"

3 DEMO CEILING PLAN
 1/4" = 1'-0"

4 REFLECTED CEILING PLAN
 1/4" = 1'-0"