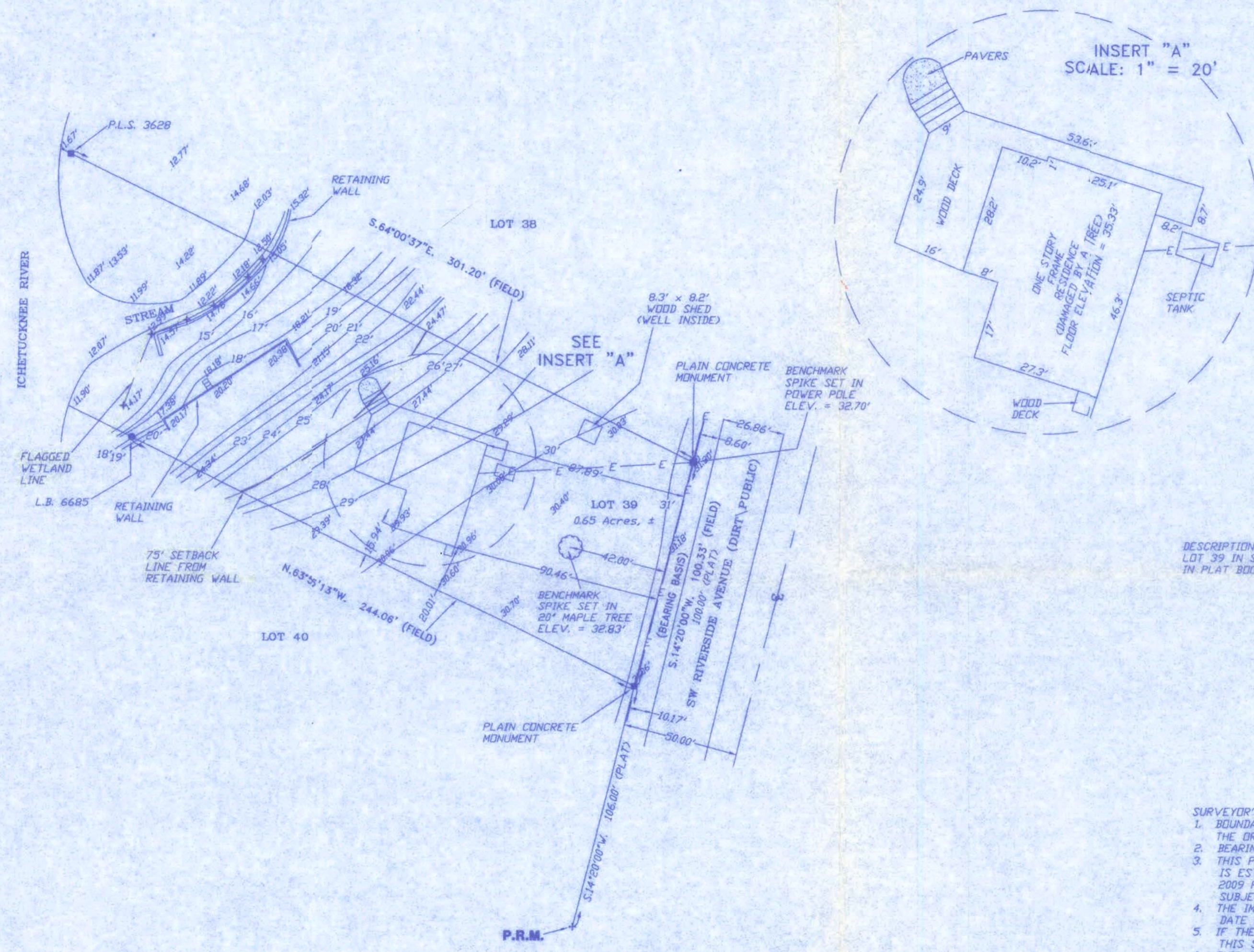
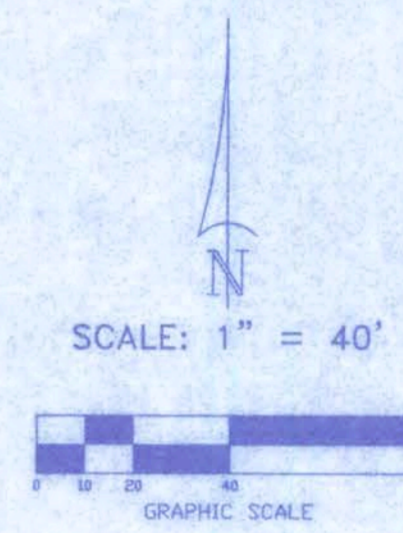


A TOPOGRAPHIC SURVEY IN SECTION 26, TOWNSHIP 6 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA.



SYMBOL LEGEND:

- 4"x4" CONCRETE MONUMENT FOUND
- 4"x4" CONCRETE MONUMENT SET
- IRON PIPE FOUND
- IRON PIN AND CAP SET
- × "X" CUT IN PAVEMENT
- + CALCULATED PROPERTY CORNER
- ⊕ NAIL & DISK
- ⊙ POWER POLE
- ⊕ WETLAND FLAG
- ▲ WATER METER
- ⊙ UTILITY BOX
- ⊙ WELL
- ⊙ SANITARY MANHOLE
- CENTERLINE
- TOP OF BANK SETBACK LINE
- ELECTRIC LINES
- WIRE FENCE
- CHAIN LINK FENCE
- WOODEN FENCE
- (PLAT) AS PER A PLAT OF RECORD
- (DEED) AS PER A DEED OF RECORD
- (CALC.) AS PER CALCULATIONS
- (FIELD) AS PER FIELD MEASUREMENTS
- P.R.M. PERMANENT REFERENCE MARKER
- P.C.P. PERMANENT CONTROL POINT



DESCRIPTION (C.R. BOOK 768, PAGE 2174)
 LOT 39 IN SECTION 1 OF 3 RIVERS ESTATES, AS RECORDED, WITH THE CLERK OF CIRCUIT COURT IN PLAT BOOK 3, PAGE 53 ON MAY 1, 1962, PUBLIC RECORDS, COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:**
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
 2. BEARINGS ARE BASED ON SAID PLAT OF RECORD AND THE BEARING BASIS SHOWN HEREON.
 3. THIS PARCEL IS IN ZONE "AE" AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 33.6 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FIRM PANEL NO. 12023C0450C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
 4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 5. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.
 10. THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM.

CERTIFIED TO:
 SLK CONSTRUCTION
 MARTHA ANN & NORBIE RONSONET SR.

FIELD BOOK: 355 PAGE(S): 40

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 473.027, FLORIDA STATUTES.

04/19/17 FIELD SURVEY DATE 05/08/17 DRAWING DATE

Scott Britt
 L. SCOTT BRITT, P.S.M.
 CERTIFICATION # 5757

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

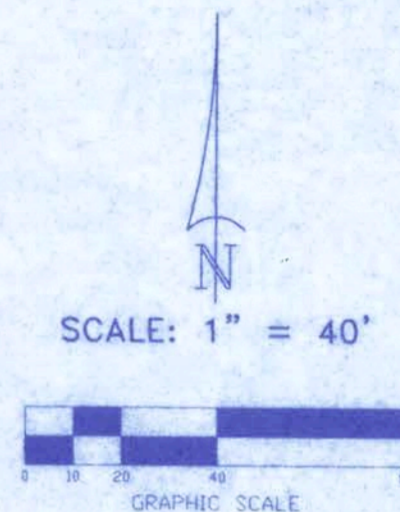
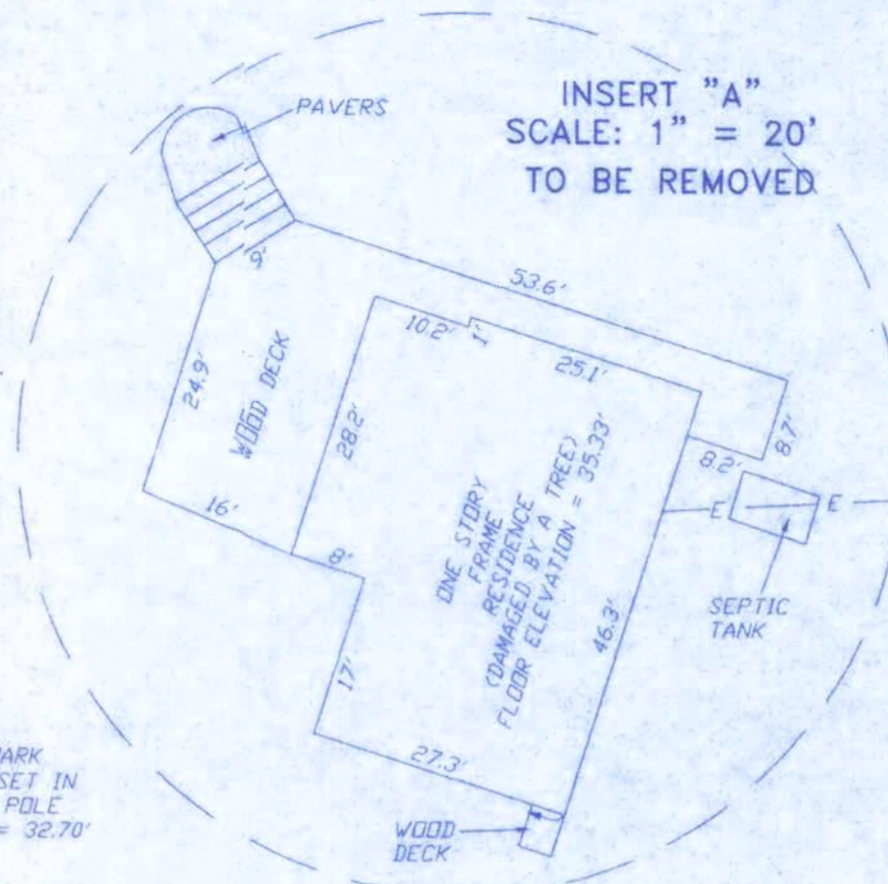
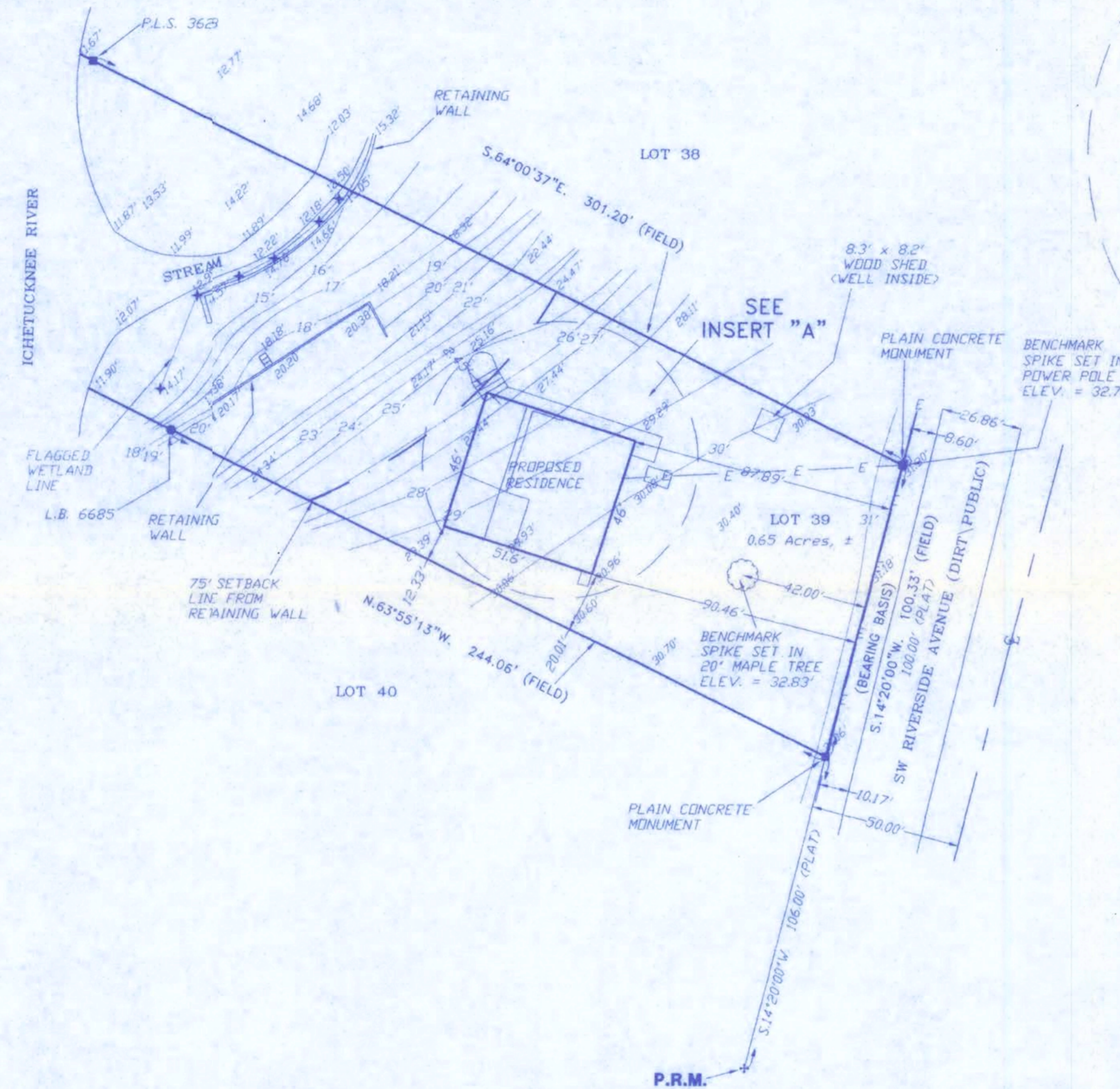


BRITT SURVEYING & MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016
 2086 SW MAIN BLVD, SUITE 112
 LAKE CITY, FLORIDA 32025
 www.brittsurvey.com
 TELEPHONE: (386) 752-7163 FAX: (386) 752-9573 WORK ORDER # L-24550

C:\temp\124550.dwg Thu May 11 13:16:11 2017 Britt Surveying and Mapping, LLC (MAB)

A TOPOGRAPHIC SURVEY IN SECTION 26, TOWNSHIP 6 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA.



SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIN AND CAP SET
×	"X" CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊕	NAIL & DISK
⊖	POWER POLE
▲	WETLAND FLAG
△	WATER METER
⊙	UTILITY BOX
⊗	WELL
⊕	SANITARY MANHOLE
⊖	CENTERLINE
—	TOP OF BANK SETBACK LINE
—E—	ELECTRIC LINES
—X—	WIRE FENCE
—○—	CHAIN LINK FENCE
—□—	WOODEN FENCE
(PLAT)	AS PER A PLAT OF RECORD
(DEED)	AS PER A DEED OF RECORD
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(FIELD)	AS PER FIELD MEASUREMENTS
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DESCRIPTION (C.R. BOOK 768, PAGE 2174)
 LOT 39 IN SECTION 1 OF 3 RIVERS ESTATES, AS RECORDED WITH THE CLERK OF CIRCUIT COURT IN PLAT BOOK 3, PAGE 53 ON MAY 1, 1962, PUBLIC RECORDS, COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:**
- BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE ORIGINAL SURVEY FOR SAID PLAT OF RECORD.
 - BEARINGS ARE BASED ON SAID PLAT OF RECORD AND THE BEARING BASIS SHOWN HEREON.
 - THIS PARCEL IS IN ZONE "AE" AND IS SUBJECT TO FLOODING. A BASE FLOOD ELEVATION IS ESTABLISHED TO BE 33.2 FEET AS PER FLOOD INSURANCE RATE MAP, DATED 4 FEBRUARY, 2009 FROM PANEL NO. 12023C0458C. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
 - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 - IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 - THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 - DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 - THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 - THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.
 - THE ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 DATUM.

REVISED PROPOSED HOMESITE ON 08/01/17

CERTIFIED TO:
 SLK CONSTRUCTION
 MARTHA ANN & NORBIE RONSONET SI.

FIELD BOOK: 355 PAGE(S): 40

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

04/19/17 FIELD SURVEY DATE
 05/08/17 DRAWING DATE

L. Scott Britt
 L. SCOTT BRITT, P.S.M.
 CERTIFICATION # 57557

NOTE: UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.



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WORK ORDER # L-24550SP

RONSONET RESIDENCE

910 SW RIVERSIDE AVE
FT. WHITE 32038

BUILDING DATA

CONSTRUCTION TYPE -- TYPE VI
UNPROTECTED

THIS DRAWING AND DESIGN IS VALID
FOR 12 MONTHS AFTER THE DATE IT
IS SIGNED AND SEALED.

AREAS

AIR CONDITIONED 1725 SF
PORCH 156 SF

WIND SPEED: 130 MPH
WIND IMPORTANCE FACTOR -- (Iw) = 1.0
WIND EXPOSURE -- "B" (FBC 1606.1.2)
INT. PRESSURE COEFFICIENT = +/- 0.18 (ENCLOSED BLDG)
VELOCITY PRESSURE 20.96 Psf
(COMP. AND CLADDING)

ZONE 1	25.2	-25.2
ZONE 2	25.2	-30.2
ZONE 3	25.2	-25.2
ZONE 4	21.6	-30.2
ZONE 5	21.6	-35.2

STRUCTURAL DESIGN CRITERIA

CODES: FLORIDA BUILDING CODE, 2014

CONCRETE: 3000 PSI, 3-5" SLUMP
SLAB MIN 4"

REINFORCING: 6x6 WELDED WIRE FABRIC ASTM A185
ALL REINFORCING BARS ASTM A615-40 40,000 PSI
ALL STIRRUPS AND TIES ASTM A615-40 40,000 PSI

MIN. COVER TO STEEL U.N.O. IS 3" AGAINST
EARTH, 1.5" EXPOSED TO EARTH/WEATHER, 1"
INTERIOR SLABS/WALLS, 1.5" INTERIOR
BEAMS/COLUMNS

MIN. LAP SPLICE OF 48 BAR DIAMETERS, BUT NOT
LESS THAN 25". DO NOT SPLICE TIE BEAM REINF
OVER OPENINGS

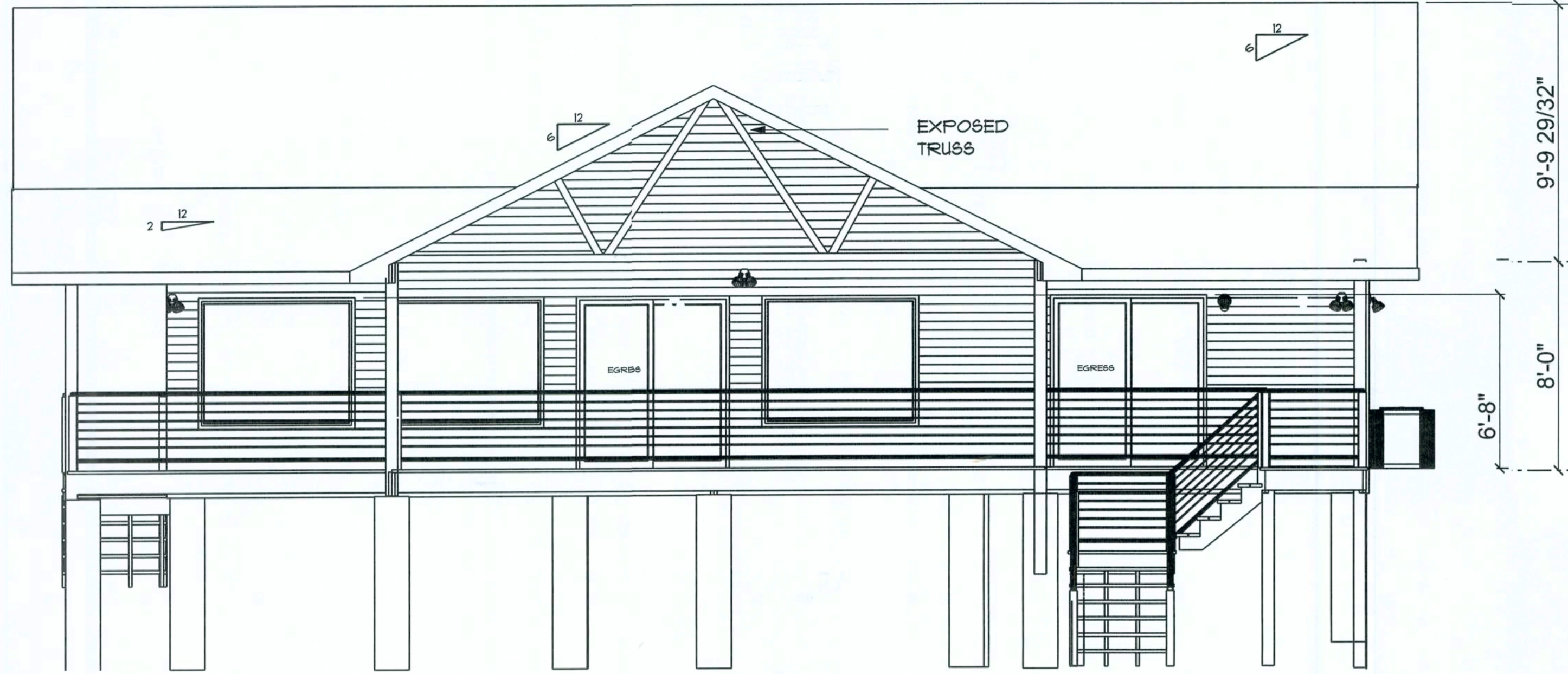
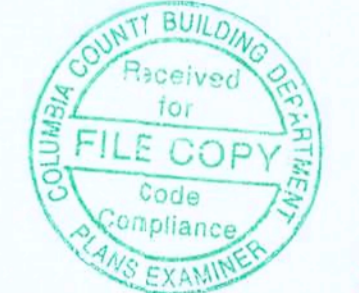
CONCRETE MASONRY UNITS: ASTM C90-99b, STANDARD WEIGHT UNITS, Fm1500 P81
MORTAR TYPE "S" 1800 PSI
CONCRETE GROUT 3000 PSI

WOOD FRAMING: BEAMS, RAFTERS, JOIST, PLATES, ETC. U.N.O.
NO. 2 SOUTHERN YELLOW PINE (19% M.C.)
ROOF DECK: PLYWOOD C-C/C-D, EXTERIOR, OR OSB
FLOOR SHEATHING: T&G A-C GROUP 1 APA RATED (48/24)
WALL SHEATHING: PLYWOOD C-C/C-D, EXTERIOR OR OSB

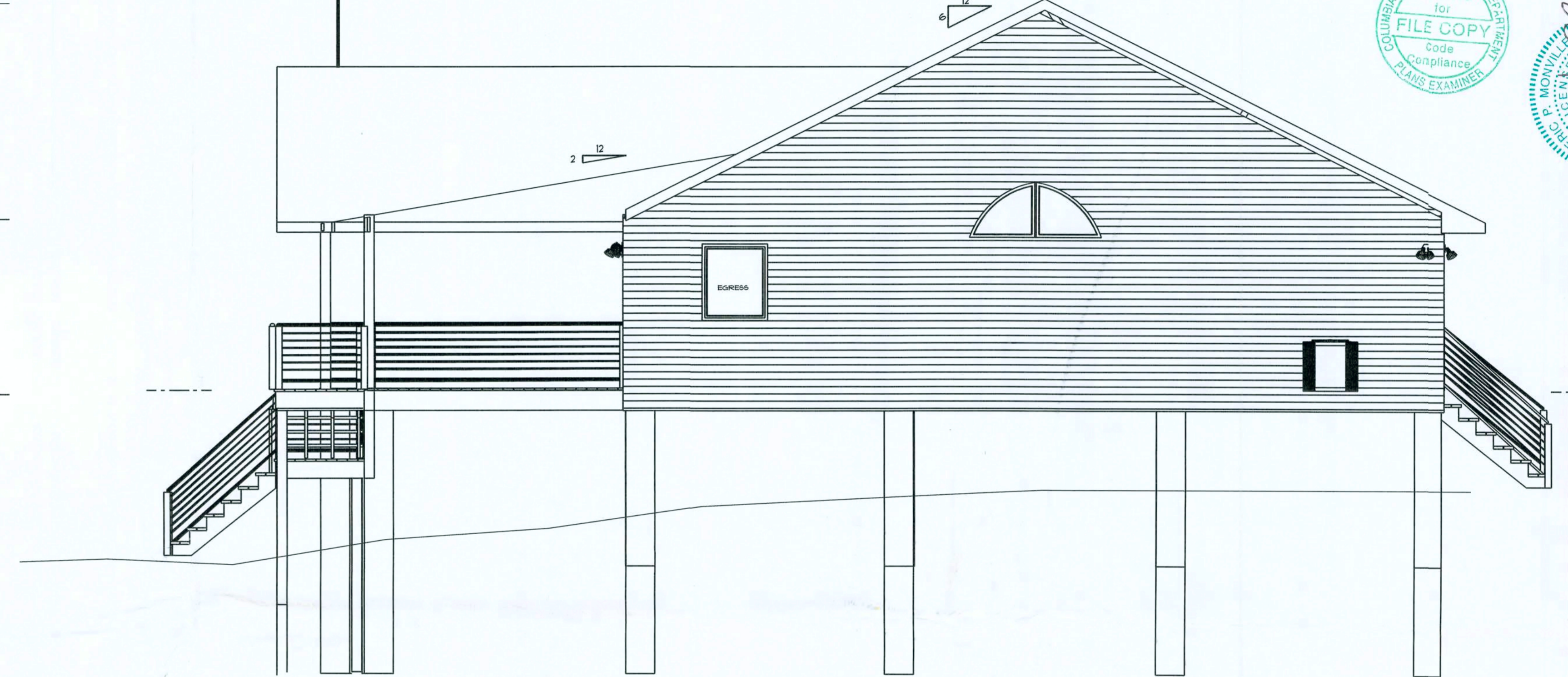
WOOD ROOF TRUSSES: DESIGN LOADS:
TOP CHORD LIVE/DEAD LOAD: 30 Psf
BOTTOM CHORD DEAD LOAD: 10 Psf
TOTAL: 40 Psf

WOOD FLOOR TRUSSES: DESIGN LOADS:
DEAD LOAD: 15 Psf
LIVE LOAD: 40 Psf
TOTAL: 55 Psf

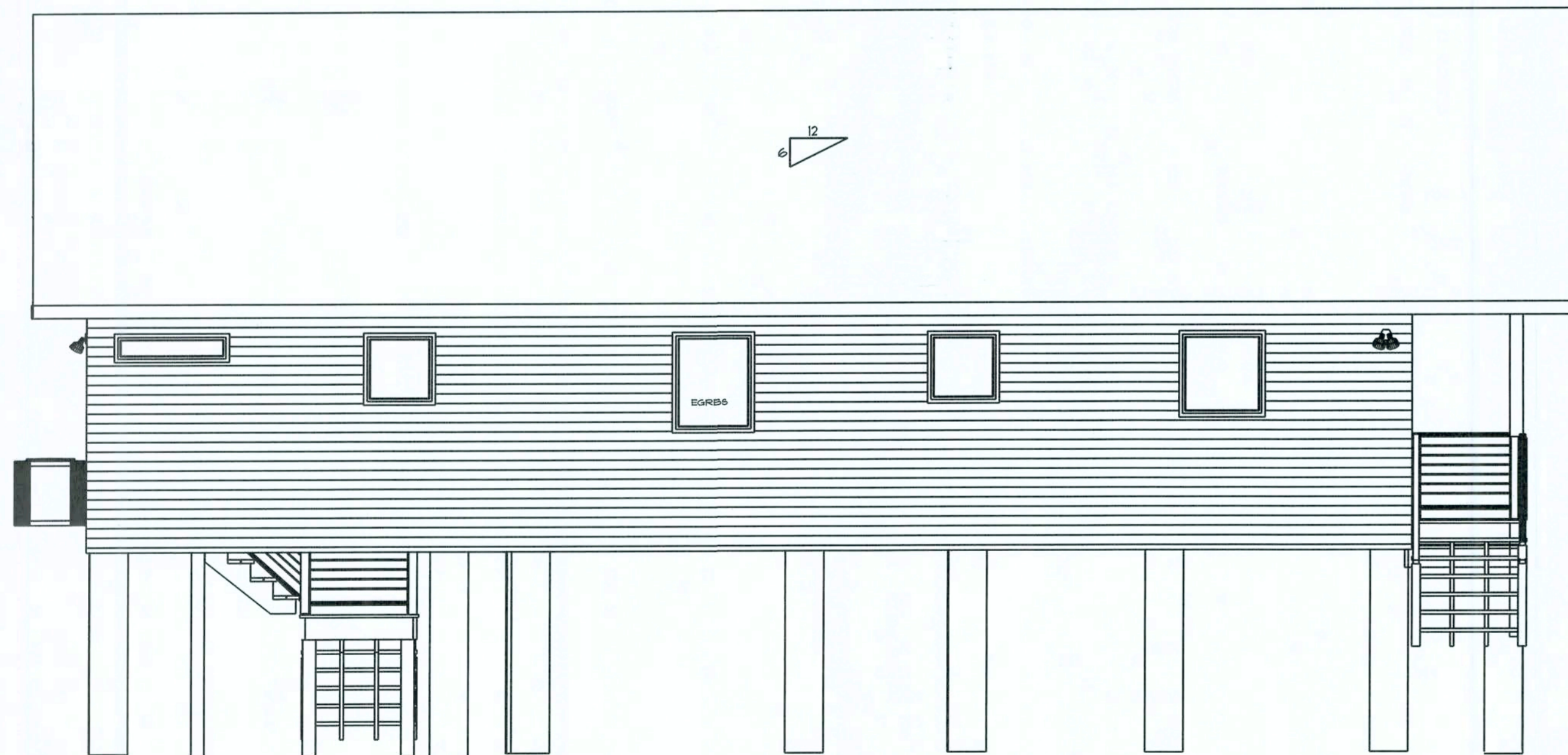
SOIL BEARING 2000 Psf



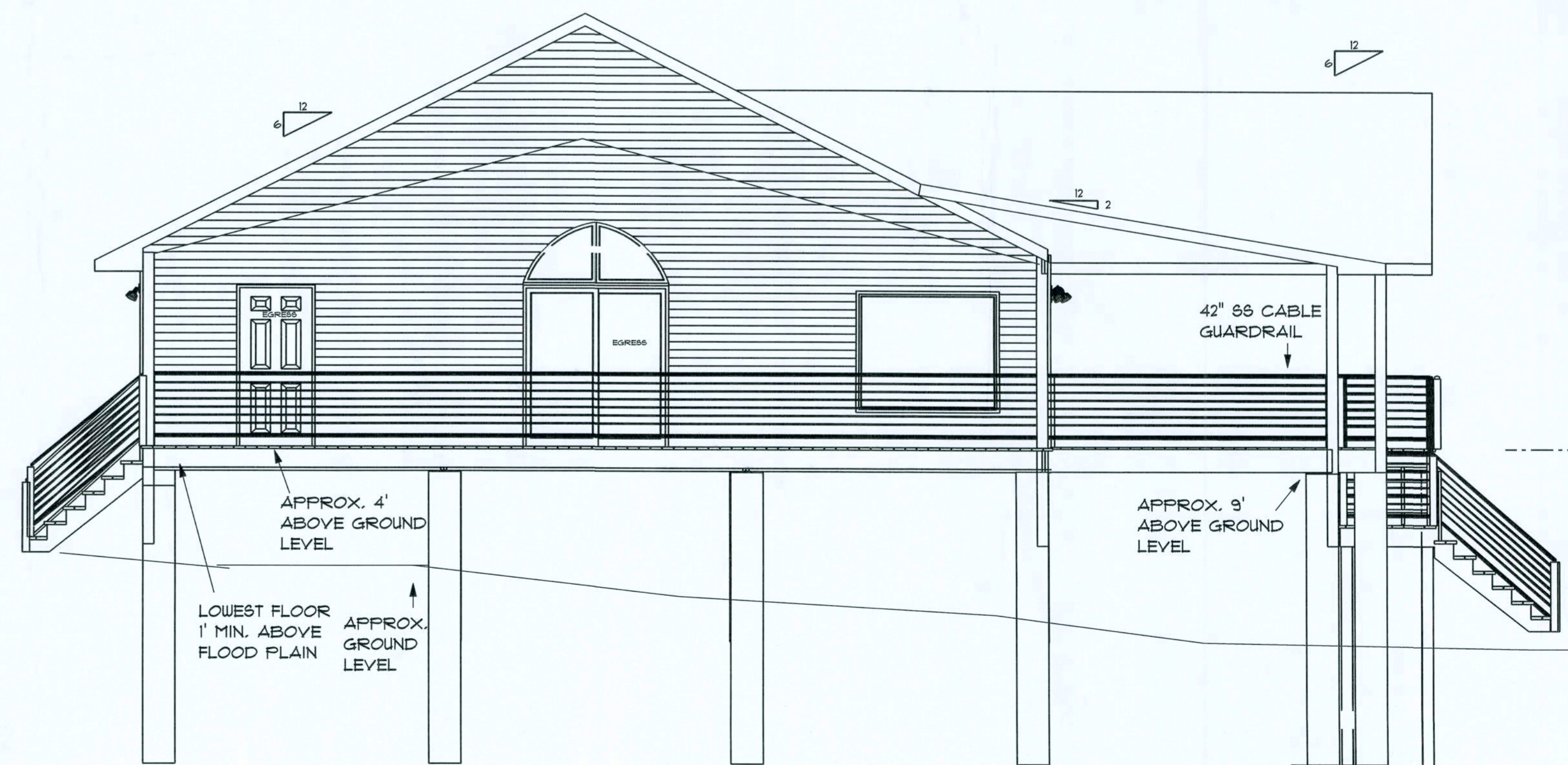
FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

PAGE: Cover

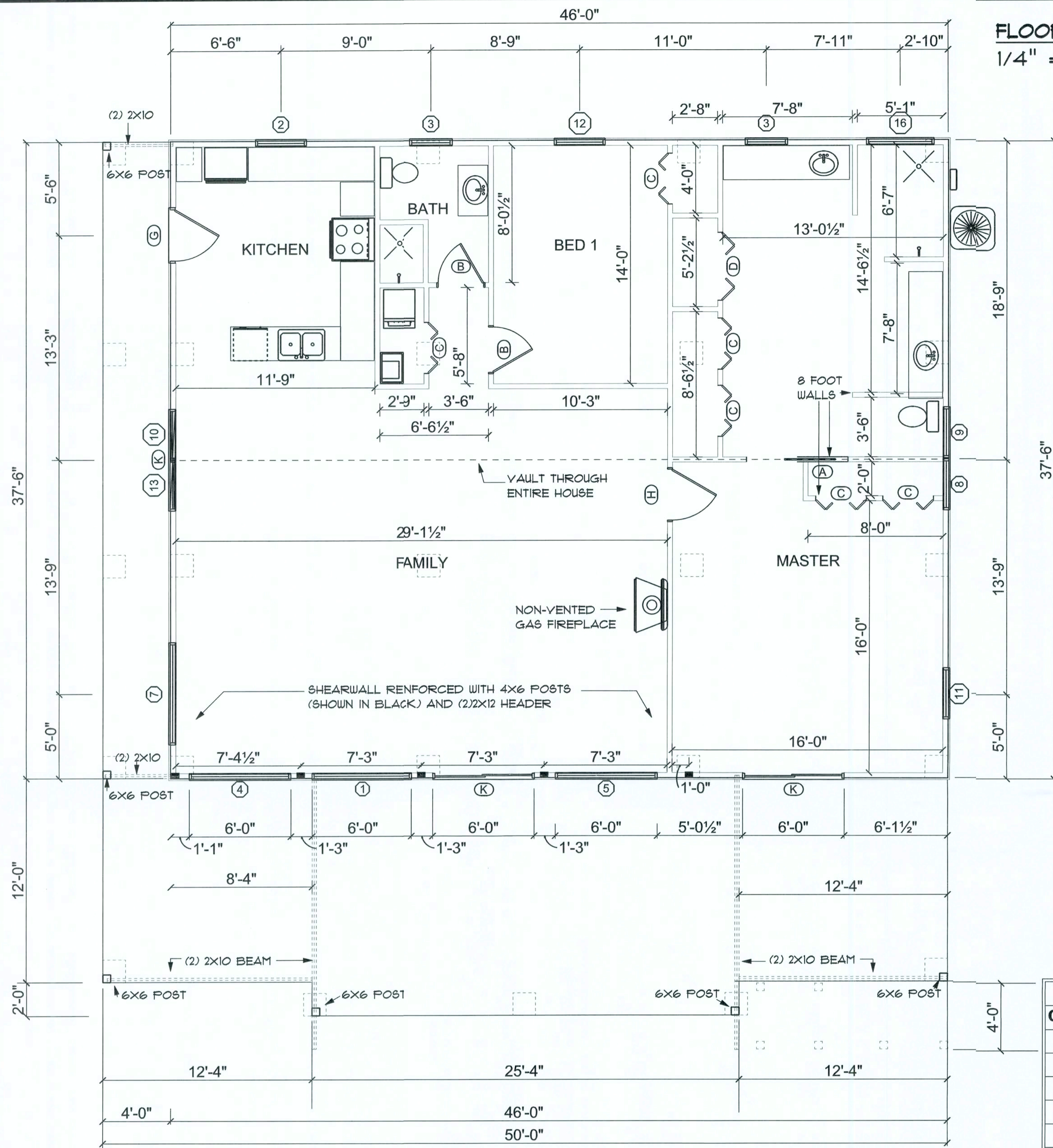
APPROVED: CHECKED BY:

SCALE: As Noted
DRAWN BY: ERIC MONVILLE
DATE: Monday, June 5, 2017

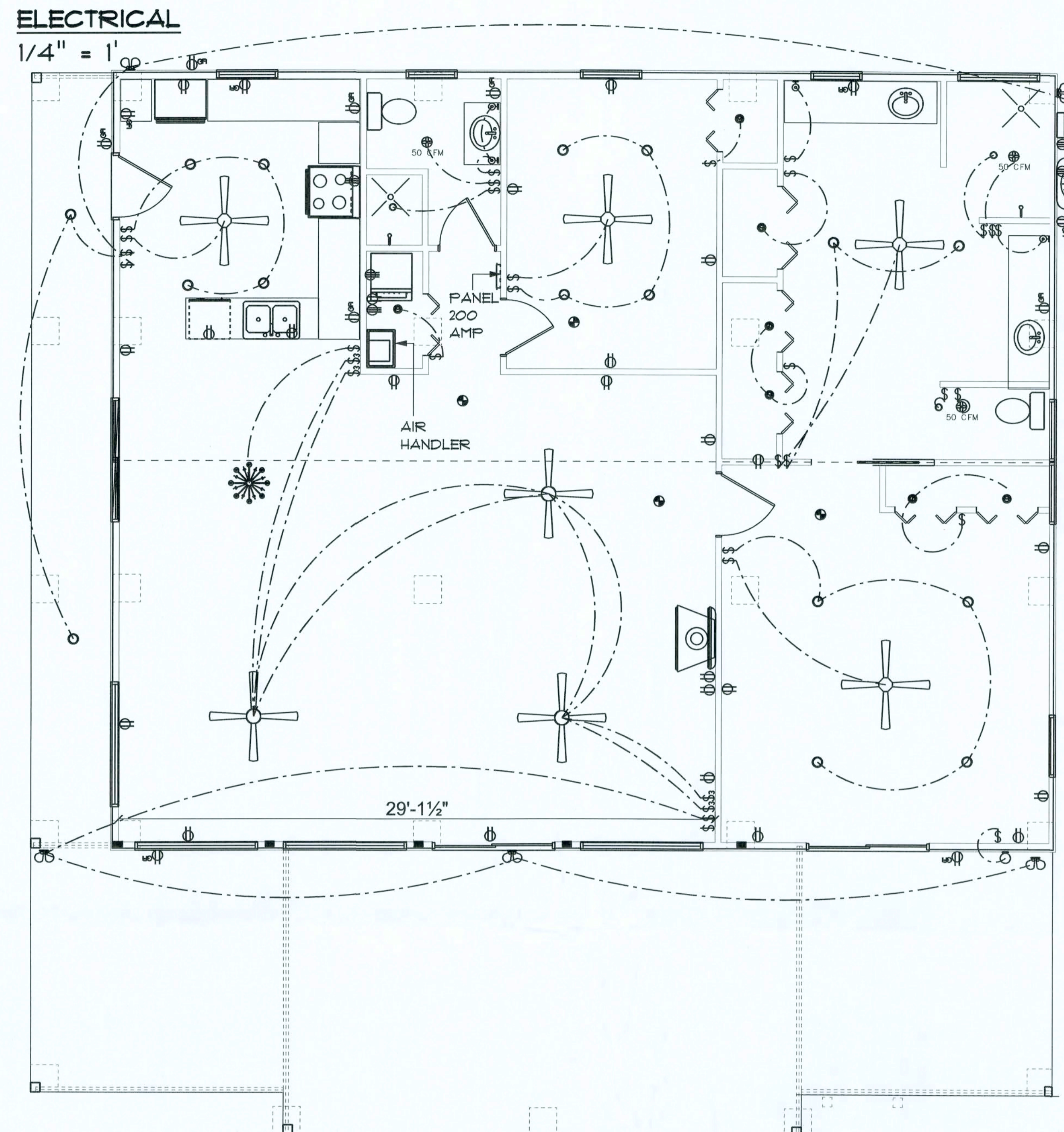
HERITAGE BUILDERS
941-408-5244
eric@heritage-designbuild.com
heritagebuildersconstruction.com
4813 NW 173rd St
Alachua FL
32815

Heritage Builders is licensed to provide engineering services.
Structural Design is in accordance with 2014 Florida Building Code.
Eric P. Monville, P.E. #79431

Ronsonet River House



FLOOR PLAN
1/4" = 1'



ELECTRICAL
1/4" = 1'

ELECTRICAL NOTES

- Outlet heights as measured from finished floor to bottom of box is 12"
- Kitchen: 44"
Bathroom: 39"
Laundry: 35"
Range: 2"
- Trim plates & devices to be ganged, where possible
- Electrical switches to be at 44"
- Electrical plan is for bid purposes only. All work shall be in accordance with the latest edition of the N.E.C. by a licensed electrician, who shall be responsible for the installation and sizing of all wiring and accessories.
- Smoke detectors shall be in accordance with the 2014 Florida Building Code. If there is a gas appliance or fireplace, carbon monoxide detectors must be placed within 10 feet of each bedroom. A combo smoke/CO detector will work
- Provide AFCI's (Arc Fault Interrupters) in all bedrooms as per N.E.C.
- The building shall have a 200 amp service

OPENING ID	COUNT	PRODUCT CODE	SIZE	HINGE DIRECTION	EGRESS
1	1	36X66 CASEMENT 1	6'-0" x 5'-0"	N	No
2	1	36X36 CASEMENT 1	3'-0" x 3'-0"	N	No
3	2	30X30 CASEMENT 1	2'-6" x 2'-6"	N	No
4	1	36X66 CASEMENT	6'-0" x 5'-0"	N	No
5	1	36X66 CASEMENT	6'-0" x 5'-0"	N	No
7	1	36X66 CASEMENT	6'-0" x 5'-0"	N	No
8	1	30X30 QUARTER ROUND - LEFT-MODIFIED	3'-0" x 2'-6"	N	No
9	1	30X30 QUARTER ROUND - RIGHT-MODIFIED	3'-0" x 2'-6"	N	No
10	1	30X30 QUARTER ROUND - LEFT-MODIFIED	3'-0" x 2'-6"	N	No
11	1	36X42 CASEMENT 1	3'-0" x 3'-6"	N	Yes
12	1	36X42 CASEMENT 1	3'-0" x 3'-6"	N	Yes
13	1	30X30 QUARTER ROUND - RIGHT-MODIFIED	3'-0" x 2'-6"	N	No
16	1	48X12 TRANSOM	4'-0" x 1'-0"	N	No
A	1	36X80 COLONIAL POCKET 1-MODIFIED	3'-0" x 6'-8"	N	No
B	2	32X80 COLONIAL A 1	2'-8" x 6'-8"	R	Yes
C	6	36X80 BIFOLD COLONIAL 2	3'-0" x 6'-8"	LR	No
D	1	48X80 BIFOLD COLONIAL 2	4'-0" x 6'-8"	LR	No
G	1	36X80 COLONIAL A 1	3'-0" x 6'-8"	L	Yes
H	1	36X80 COLONIAL A 1	3'-0" x 6'-8"	L	Yes
K	1	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	NN	Yes
K	2	72X80 SLIDING GLASS 2	6'-0" x 6'-8"	NN	Yes

ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
ceiling fan 4 bladed 01	4	
ceiling fan globe 01	3	
can light 4inch	3	
can light 6inch	16	
ceiling classic	1	
ceiling light 02	7	
exterior light 09	1	
spotlight double	5	
electrical panel	1	
fan 50 CFM	3	
outlet	24	
outlet 220v	5	
outlet gfi	12	
smoke detector	4	
switch	28	
switch 3 way	4	
wall sconce 02	4	

APPROVED:

 CHECKED BY:

SCALE: 1/4" = 1'-0"
 DRAWN BY: ERIC MONVILLE
 DATE: Monday, June 5, 2017

HERITAGE BUILDERS
 4913 NW 173rd St
 Alachua, FL 32615
 941-408-9244
 eric@heritage-designbuild.com
 heritagebuildersconstruction.com

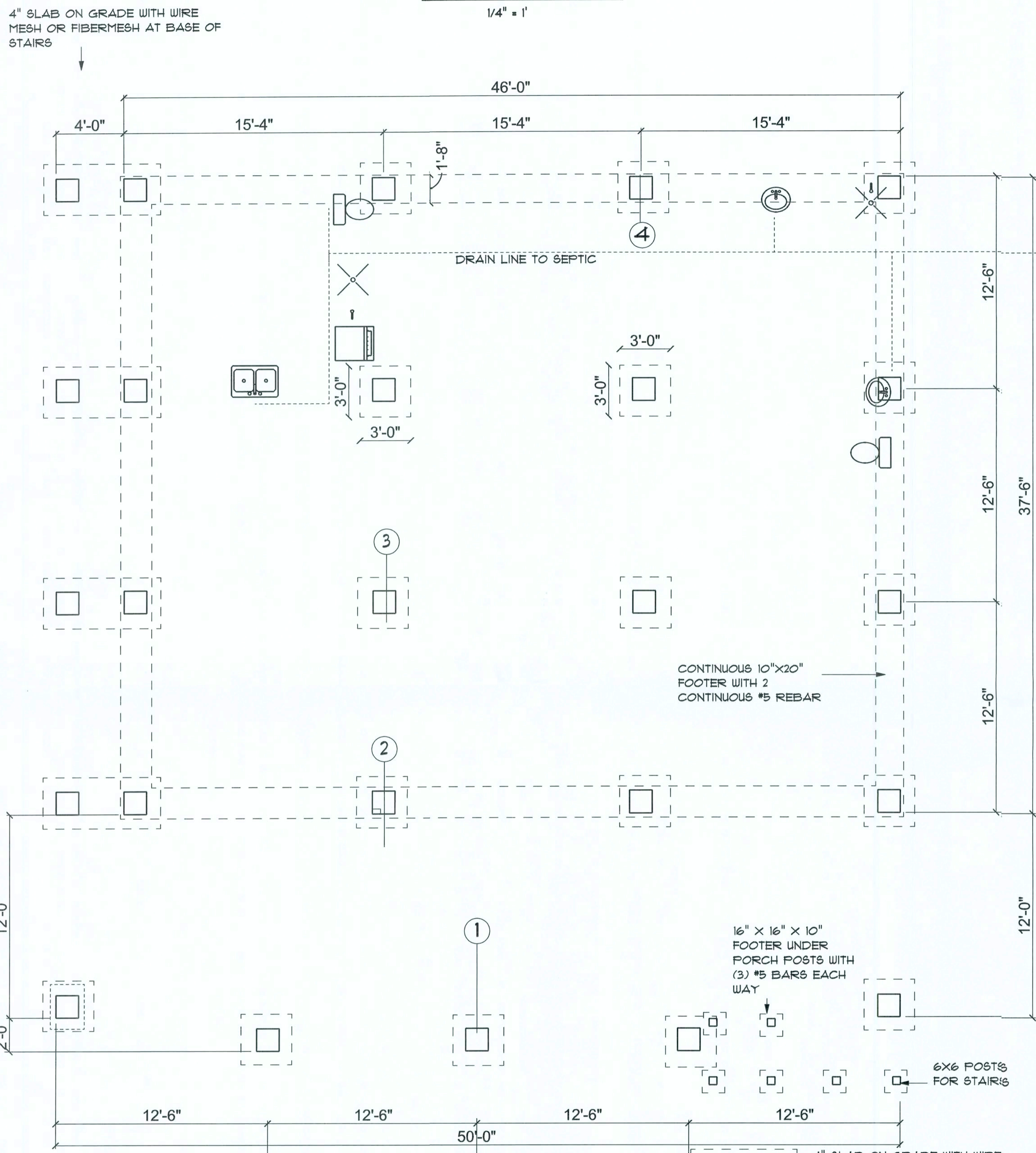
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Ronsonet River House

PAGE: Floor Plan

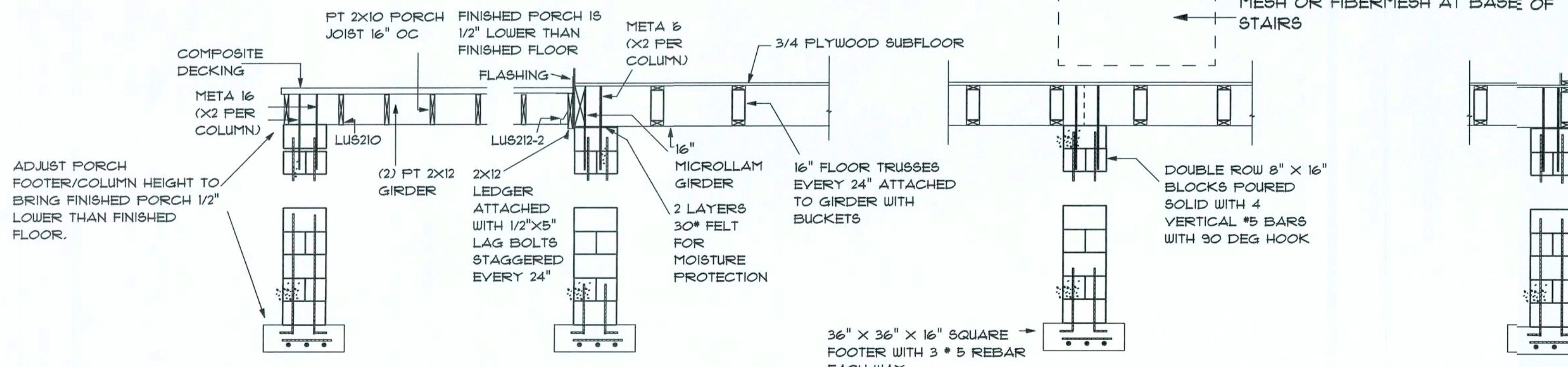
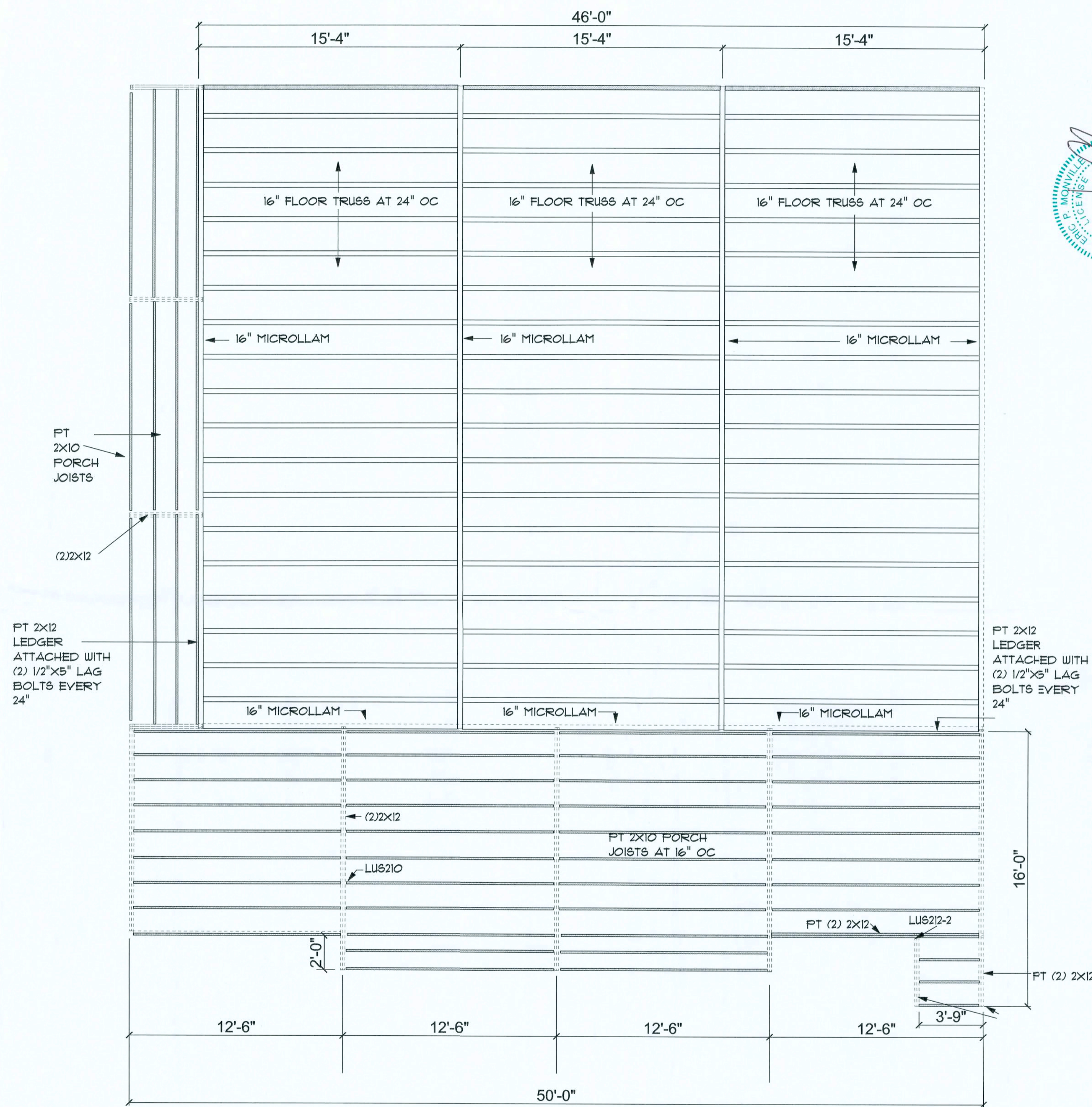
FOUNDATION PLAN

1/4" = 1'



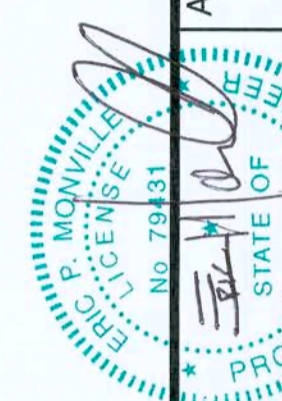
FLOOR FRAMING PLAN

1/4" = 1'



CONNECTIONS

PORCH 2X10 FLOOR JOIST GIRDERS	LUS210	JOIST TO BEAM GIRDER/BEAM TO CONCRETE COLUMN
PORCH 2X12 TO LEDGER	META 16	LEDGER TO WALL
6X6 POSTS	LUS212-2	POSTS TO CONCRETE COLUMN
BEAMS TO POSTS	ABU66	ROOF BEAMS TO POSTS
	HUC210-2	

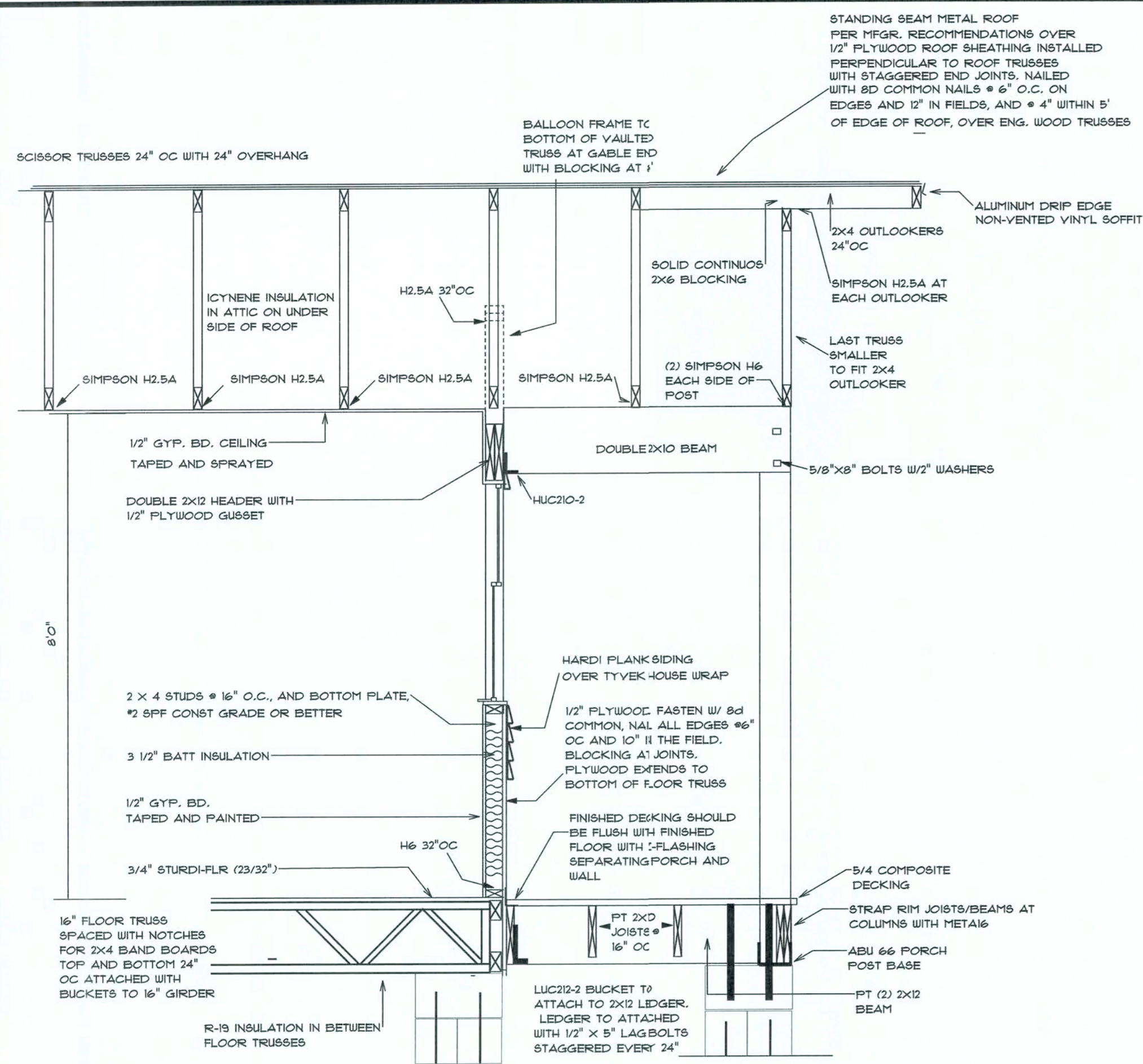


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 CHECKED BY: [Signature]
 SCALE: As Noted
 DRAWN BY: ERIC MONVILLE
 DATE: Monday, June 5, 2017

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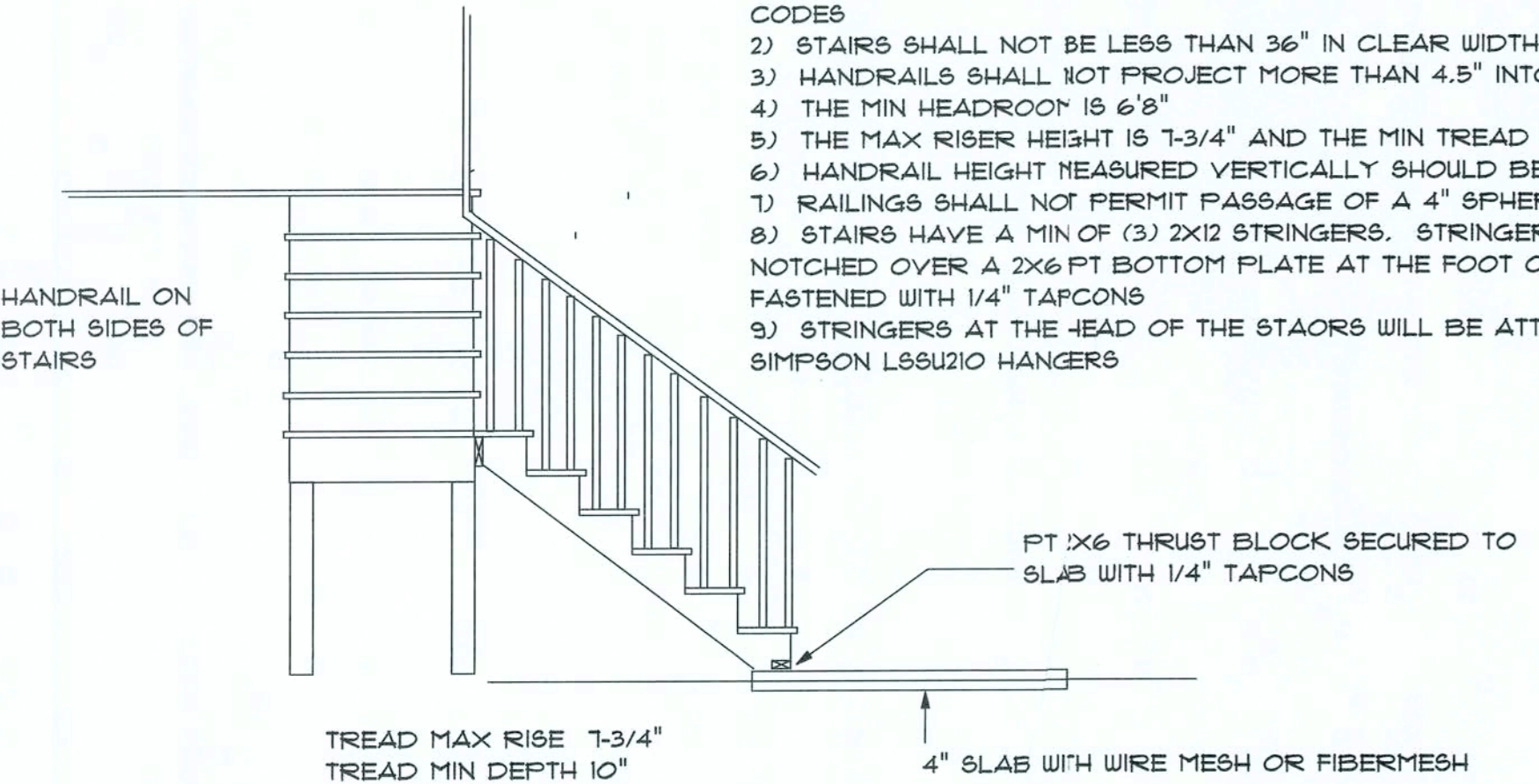
Ronsnet River House



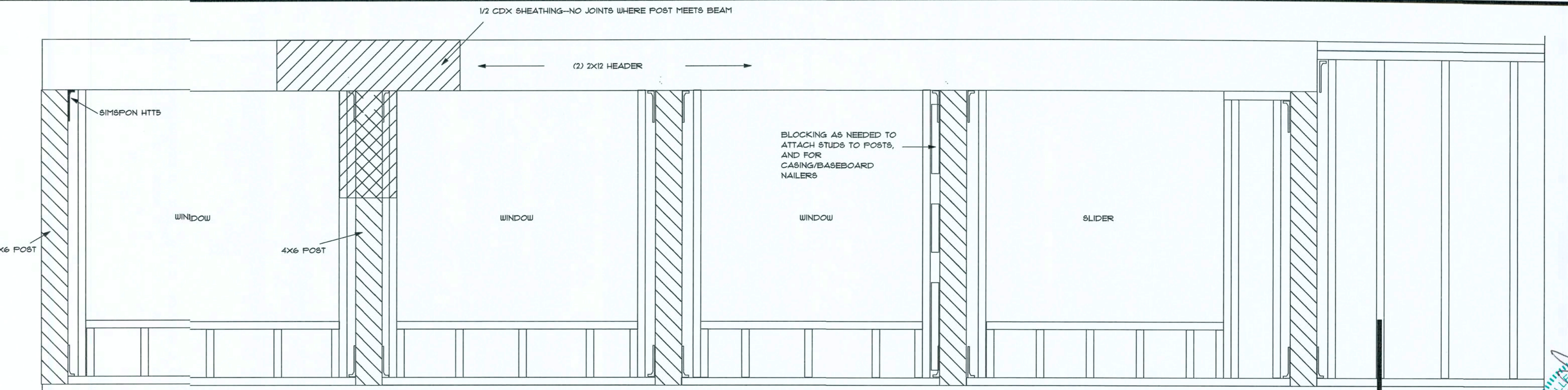
TYPICAL WALL

OUTLOOKERS	H2.5A 32" OC
POST TO COLUMN	ABU66
BEAM TO POST	HUC210-2
STUD TO TOP PLATE	H2.5A 32" OC
STUD TO FLOOR FRAMING	H6 32" OC
KNEEWALL TO RAFTER	H2.5A 32" OC
KNEEWALL TO WALL	L6T 16G 32" OC
RAFTER TO BEAM	H10
RAFTER TO RIDGE BEAM	LRU210

- 1) THE HANDRAILS AND STAIR SHALL MEET OR EXCEED THE BUILDING CODES
- 2) STAIRS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH
- 3) HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" INTO STAIRWAY
- 4) THE MIN HEADROOM IS 6'8"
- 5) THE MAX RISER HEIGHT IS 7-3/4" AND THE MIN TREAD DEPTH IS 10"
- 6) HANDRAIL HEIGHT MEASURED VERTICALLY SHOULD BE 34"-38"
- 7) RAILINGS SHALL NOT PERMIT PASSAGE OF A 4" SPHERE
- 8) STAIRS HAVE A MIN OF (3) 2X12 STRINGERS. STRINGERS ARE TO BE NOTCHED OVER A 2X6 PT BOTTOM PLATE AT THE FOOT OF THE STAIRS, FASTENED WITH 1/4" TAPCONS
- 9) STRINGERS AT THE HEAD OF THE STAIRS WILL BE ATTACHED WITH SIMPSON L66U210 HANGERS

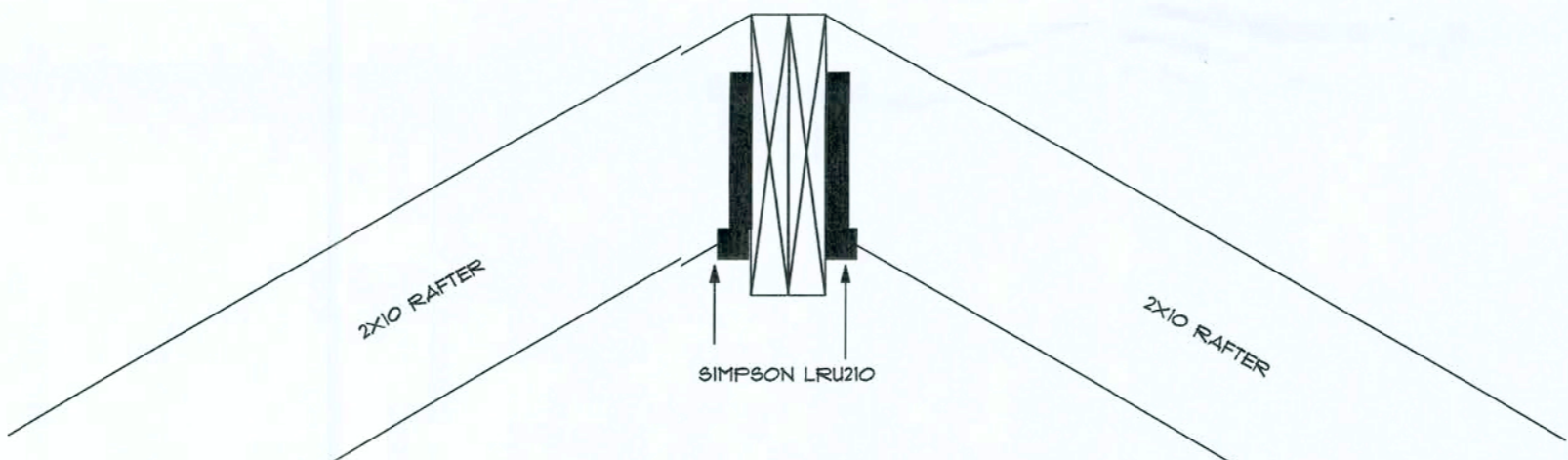


TYPICAL STAIR

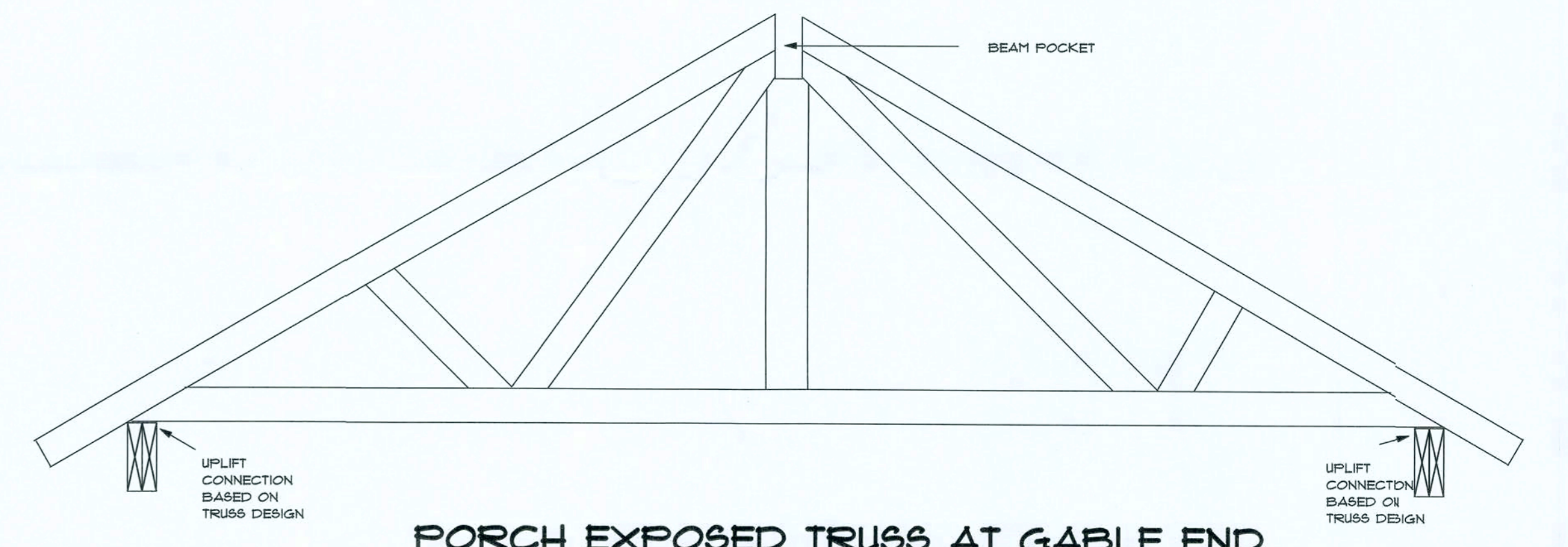


SHEARWALL

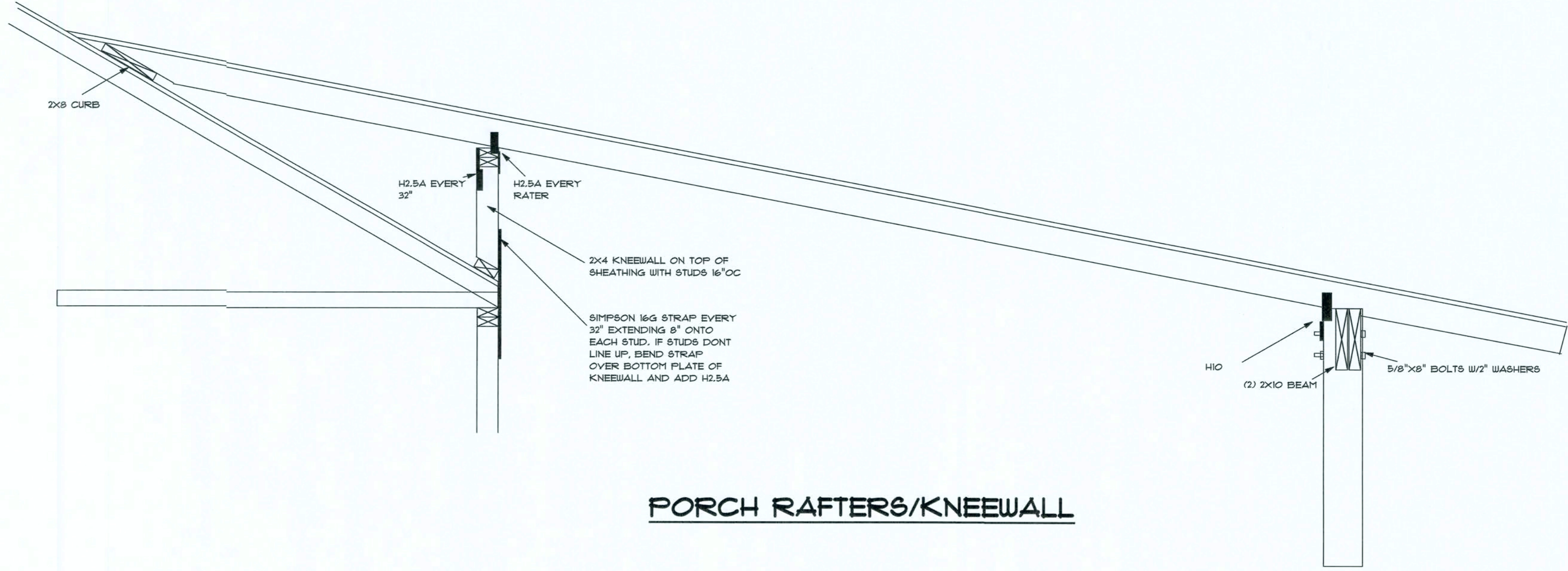
- 1) SIMPSON HTB IN EVERY CORNER ATTACHED WITH 5/8" X 6" LAG BOLTS
- 2) BUILD OUT WALLS AS NECESSARY TO CENTER OPENINGS ON INNER WALL. THE 4X6 POSTS ARE SPACED ON THE PLANS TO ACCOMMODATE THIS, BUT THE BUILD-OUTS WILL NOT ALL BE THE SAME SINCE THE 4X6 POST SPACING IS BASED ON THE CONCRETE COLUMN SPACING BELOW AND NOT THE INTERIOR WALL DIMENSION.
- 3) SHEATHING JOINTS SHALL BE A MINIMUM OF 12" FROM CORNERS OF THE POSTS.



PORCH GABLE RIDGE



PORCH EXPOSED TRUSS AT GABLE END



PORCH RAFTERS/KNEEWALL



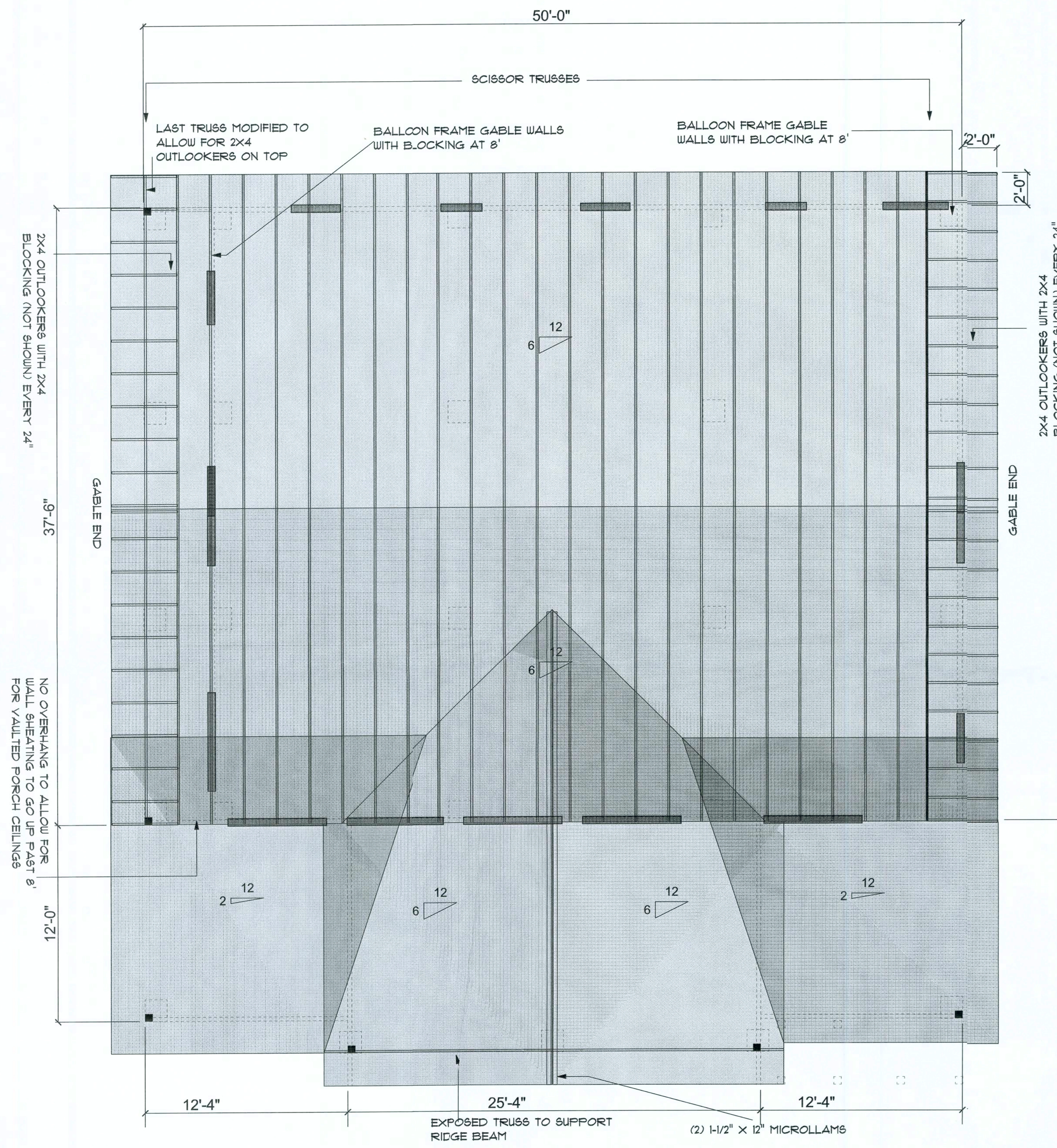
APPROVED: **ERIC MONVILLE**
 CHECKED BY:
 SCALE: 3/16" = 1'-0"
 DRAWN BY:
 DATE: Monday, June 5, 2017

HERITAGE BUILDERS
 4915 NW 73rd St
 Atchua, FL 32615
 941-408-5244
 eric@heritage-designbuild.com
 heritagebuildersconstruction.com

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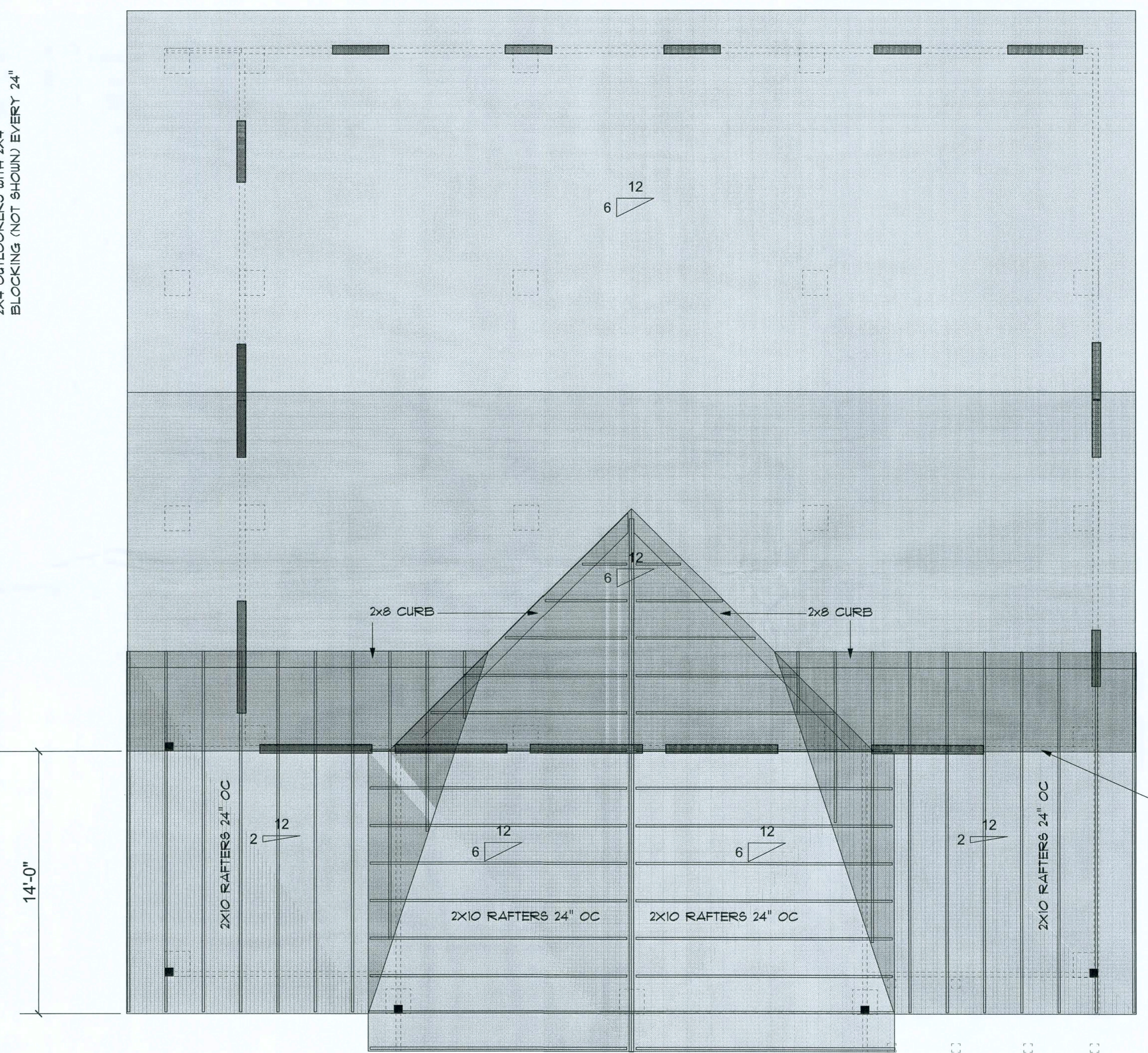
Ronsonet River House

TRUSS PLAN

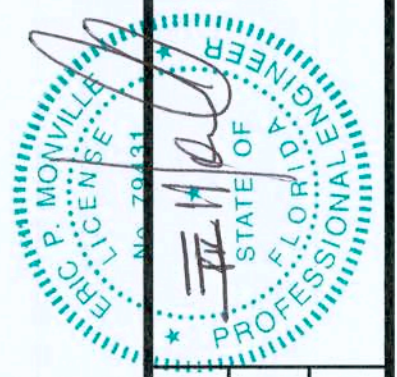


THIS ROOF PLAN WAS DRAWN AS A REFERENCE FOR THE TRUSS ENGINEER. IT IS TO HAVE GABLE TO GABLE SCISSOR TRUSSES WITH A 6/12 PITCH. THE INTERIOR VAULT WILL BE AT THE CENTERLINE OF THE STRUCTURE. IT HAS A 2' OVERHANG ON 3 SIDES. THE PORCH SIDE HAS NO OVERHANG TO ALLOW FOR WALL SHEATHING TO EXTEND ABOVE WALL. THE LEFT SIDE HAS A MODIFIED TRUSS TO ALLOW FOR OUTLOOKERS. THE BACK PORCH IS TO BE CONVENTIONALLY FRAMED,

CONVENTIONAL FRAMING



THE BACK PORCH ROOFS ARE TO BE CONVENTIONALLY FRAMED WITH 2X10 RAFTERS AT 24" O.C. WITH BLOCKING EVERY 24".



APPROVED: [Signature]
 CHECKED BY:

SCALE: 1/4" = 1'-0"
 DRAWN BY: ERIC MONVILLE
 DATE: Monday, June 5, 2017

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