

CR # 247

Columbia County New Building Permit Application

For Office Use Only Application # 1906-91 Date Received 6/25 By AW Permit # 38386
 Zoning Official CH Date 7-5-19 Flood Zone X Land Use AG Zoning A-3
 FEMA Map # N/A Elevation N/A MFE N/A River N/A Plans Examiner TC Date 7-5-19
 Comments Non-Habitable Storage Bldg. Front 30' Sides 25' Rear 25'
 NOC EH Deed or PA Site Plan State Road Info Well Letter 911 Sheet Parent Parcel # _____
 Dev Permit # _____ In Floodway Letter of Auth. from Contractor F W Comp. letter
 Owner Builder Disclosure Statement Land Owner Affidavit Ellisville Water App Fee Paid Sub VF Form

Septic Permit No. K19-057 In Box OR City Water Fax _____

Applicant (Who will sign/pickup the permit) Kevin Wilks Phone 401-578-8483

Address 940 Marcis Ter, Lake City, FL 32024

Owners Name Kevin and Marie Wilks Phone SAME AS ABOVE

911 Address SAME AS ABOVE

Contractors Name Kevin Wilks Phone 401-578-8483

Address 820 Reeves Dr, Mt. Airy, NC 27030

Contractor Email kmwilks@yahoo.com ***Include to get updates on this job.

Fee Simple Owner Name & Address _____

Bonding Co. Name & Address _____

Architect/Engineer Name & Address Wayne Moore, PE 1009 E. Avenue S, N Augusta, SC 29841

Mortgage Lenders Name & Address _____

Circle the correct power company FL Power & Light Clay Elec. Suwannee Valley Elec. Duke Energy

Property ID Number 14-45-15-00370-005 Estimated Construction Cost \$23,288.00

Subdivision Name _____ Lot _____ Block _____ Unit _____ Phase _____

* Driving Directions from a Major Road 90-W to Pinemount TL to JAFUS TL to Brim, TR to Marcis TL to Address 940..

Construction of 42x31x16 METAL STORAGE BLDG Accessory Structure _____ Commercial OR Residential

Proposed Use/Occupancy Storage / Utility - ACCESSORY Number of Existing Dwellings on Property _____

Is the Building Fire Sprinkled? NO If Yes, blueprints included _____ Or Explain _____

Circle Proposed Culvert Permit or Culvert Waiver or D.O.T. Permit or Have an Existing Drive

Actual Distance of Structure from Property Lines - Front _____ Side _____ Side _____ Rear _____

Number of Stories _____ Heated Floor Area 0 Total Floor Area 1302 Acreage 10

Zoning Applications applied for (Site & Development Plan, Special Exception, etc.) 42X31

Jw sent email 7.9.19

\$ 213.02

Columbia County Building Permit Application

CODE: Florida Building Code 2017 and the 2014 National Electrical Code.

Application is hereby made to obtain a permit to do work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work be performed to meet the standards of all laws regulating construction in this jurisdiction.

TIME LIMITATIONS OF APPLICATION : An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless pursued in good faith or a permit has been issued.

TIME LIMITATIONS OF PERMITS: Every permit issued shall become invalid unless the work authorized by such permit is commenced within 180 days after its issuance, or if the work authorized by such permit is suspended or abandoned for a period of 180 days after the time work is commenced. A valid permit receives an approved inspection every 180 days. Work shall be considered not suspended, abandoned or invalid when the permit has received an approved inspection within 180 days of the previous approved inspection.

FLORIDA'S CONSTRUCTION LIEN LAW: Protect Yourself and Your Investment: According to Florida Law, those who work on your property or provide materials, and are not paid-in-full, have a right to enforce their claim for payment against your property. This claim is known as a construction lien. If your contractor fails to pay subcontractors or material suppliers or neglects to make other legally required payments, the people who are owed money may look to your property for payment, even if you have paid your contractor in full. This means if a lien is filed against your property, it could be sold against your will to pay for labor, materials or other services which your contractor may have failed to pay.

NOTICE OF RESPONSIBILITY TO CONTRACTOR AND AGENT: YOU ARE HEREBY NOTIFIED as the recipient of a building permit from Columbia County, Florida, you will be held responsible to the County for any damage to sidewalks and/or road curbs and gutters, concrete features and structures, together with damage to drainage facilities, removal of sod, major changes to lot grades that result in ponding of water, or other damage to roadway and other public infrastructure facilities caused by you or your contractor, subcontractors, agents or representatives in the construction and/or improvement of the building and lot for which this permit is issued. No certificate of occupancy will be issued until all corrective work to these public infrastructures and facilities has been corrected.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.

OWNERS CERTIFICATION: I CERTIFY THAT ALL THE FOREGOING INFORMATION IS ACCURATE AND THAT ALL WORK WILL BE DONE IN COMPLIANCE WITH ALL APPLICABLE LAWS REGULATING CONSTRUCTION AND ZONING.

NOTICE TO OWNER: There are some properties that may have deed restrictions recorded upon them. These restrictions may limit or prohibit the work applied for in your building permit. You must verify if your property is encumbered by any restrictions or face possible litigation and or fines.

Kevin M. Wilks Kevin M Wilks ****Property owners must sign here before any permit will be issued.**
Print Owners Name Owners Signature

****If this is an Owner Builder Permit Application then, ONLY the owner can sign the building permit when it is issued.**

CONTRACTORS AFFIDAVIT: By my signature I understand and agree that I have informed and provided this written statement to the owner of all the above written responsibilities in Columbia County for obtaining this Building Permit including all application and permit time limitations.

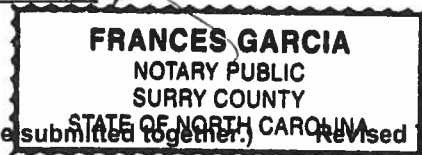
Francis Garcia Contractor's License Number CBC1260497
Contractor's Signature Columbia County
Competency Card Number _____

Affirmed under penalty of perjury to by the Contractor and subscribed before me this 4th day of June 2019.

Personally known or Produced Identification _____

Francis Garcia
State of Florida Notary Signature (For the Contractor)

SEAL:



Columbia County Property Appraiser

Jeff Hampton

2018 Tax Roll Year

updated: 5/9/2019

Parcel: << **14-4S-15-00370-005** >>

[Aerial Viewer](#) [Pictometry](#) [Google Maps](#)

Owner & Property Info

Result: 3 of 6

| | | | |
|--------------|---|--------------|----------|
| Owner | WILKS KEVIN MICHAEL & MARIE ARLENE WILKS 204 MONEY HILL ROAD CHEPACHET, RI 02814 | | |
| Site | 940 MARCIS TER, LAKE CITY | | |
| Description* | BEG NE COR OF SE1/4 OF SE1/4, W 493.35 FT, S 882.99, E 493.35 FT TO E LINE OF SAID SE1/4 OF SE1/4, N 882.99 FT TP POB. QC 1207-1612, QC 1213- 525, WD 1210-981, WD 1361-1816 WD 1361-1818, WD 1362-921, | | |
| Area | 10 AC | S/T/R | 14-4S-15 |
| Use Code** | VACANT (000000) | Tax District | 3 |

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values

| 2018 Certified Values | | 2019 Working Values | |
|-----------------------|---|---------------------|---|
| Mkt Land (1) | \$42,830 | Mkt Land (1) | \$42,830 |
| Ag Land (0) | \$0 | Ag Land (0) | \$0 |
| Building (0) | \$0 | Building (0) | \$0 |
| XFOB (0) | \$0 | XFOB (0) | \$0 |
| Just | \$42,830 | Just | \$42,830 |
| Class | \$0 | Class | \$0 |
| Appraised | \$42,830 | Appraised | \$42,830 |
| SOH Cap [?] | \$0 | SOH Cap [?] | \$0 |
| Assessed | \$42,830 | Assessed | \$42,830 |
| Exempt | \$0 | Exempt | \$0 |
| Total Taxable | county:\$25,770 city:\$25,770 other:\$25,770 school:\$42,830 | Total Taxable | county:\$42,830 city:\$42,830 other:\$42,830 school:\$42,830 |

Sales History

| Sale Date | Sale Price | Book/Page | Deed | V/I | Quality (Codes) | RCode |
|------------|------------|-----------|------|-----|-----------------|-------|
| 6/4/2018 | \$0 | 1362/0921 | WD | V | U | 11 |
| 6/4/2018 | \$26,500 | 1361/1818 | WD | V | Q | 03 |
| 6/4/2018 | \$26,500 | 1361/1816 | WD | V | Q | 03 |
| 4/1/2011 | \$0 | 1213/0525 | QC | V | U | 11 |
| 2/15/2011 | \$100 | 1210/0981 | WD | V | U | 11 |
| 12/29/2010 | \$100 | 1207/1612 | QC | V | U | 98 |
| 7/18/2005 | \$112,500 | 1053/2887 | WD | V | U | 07 |

Building Characteristics

| Bldg Sketch | Bldg Item | Bldg Desc* | Year Blt | Base SF | Actual SF | Bldg Value |
|-------------|-----------|------------|----------|---------|-----------|------------|
| NONE | | | | | | |

NOTICE OF COMMENCEMENT

Tax Parcel Identification Number:

14-4S-15-00370-005

Clerk's Office Stamp

Inst: 201912014476 Date: 06/25/2019 Time: 9:46AM
Page 1 of 1 B: 1387 P: 1137, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy Clerk

THE UNDERSIGNED hereby gives notice that improvements will be made to certain real property, and in accordance with Section 713.13 of the Florida Statutes, the following information is provided in this NOTICE OF COMMENCEMENT.

- 1. Description of property (legal description)
a) Street (job) Address: 940 Marcis Ter., Lake City, FL
2. General description of improvements: 42x31x16 detached Accessory Structure
3. Owner Information or Lessee information if the Lessee contracted for the improvements:
a) Name and address: Kevin and Marie Wilks - 204 Money Hill Rd. Chepachet, RI 02814
b) Name and address of fee simple titleholder (if other than owner)
c) Interest in property Storage
4. Contractor Information
a) Name and address: Steel Buildings + Structures, Inc 820 Reeves Dr, Mt. Airy, NC
b) Telephone No.: 877-279-8276
5. Surety Information (if applicable, a copy of the payment bond is attached):
a) Name and address:
b) Amount of Bond:
c) Telephone No.:
6. Lender
a) Name and address:
b) Phone No.
7. Person within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section 713.13(1)(a)7., Florida Statutes:
a) Name and address:
b) Telephone No.:
8. In addition to himself or herself, Owner designates the following person to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes:
a) Name: OF
b) Telephone No.:
9. Expiration date of Notice of Commencement (the expiration date will be 1 year from the date of recording unless a different date is specified):

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY; A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

STATE OF FLORIDA
COUNTY OF COLUMBIA

10. Kevin M Wilks
Signature of Owner or Lessee, or Owner's or Lessee's Authorized Office/Director/Partner/Manager
Kevin M Wilks
Printed Name and Signatory's Title/Office

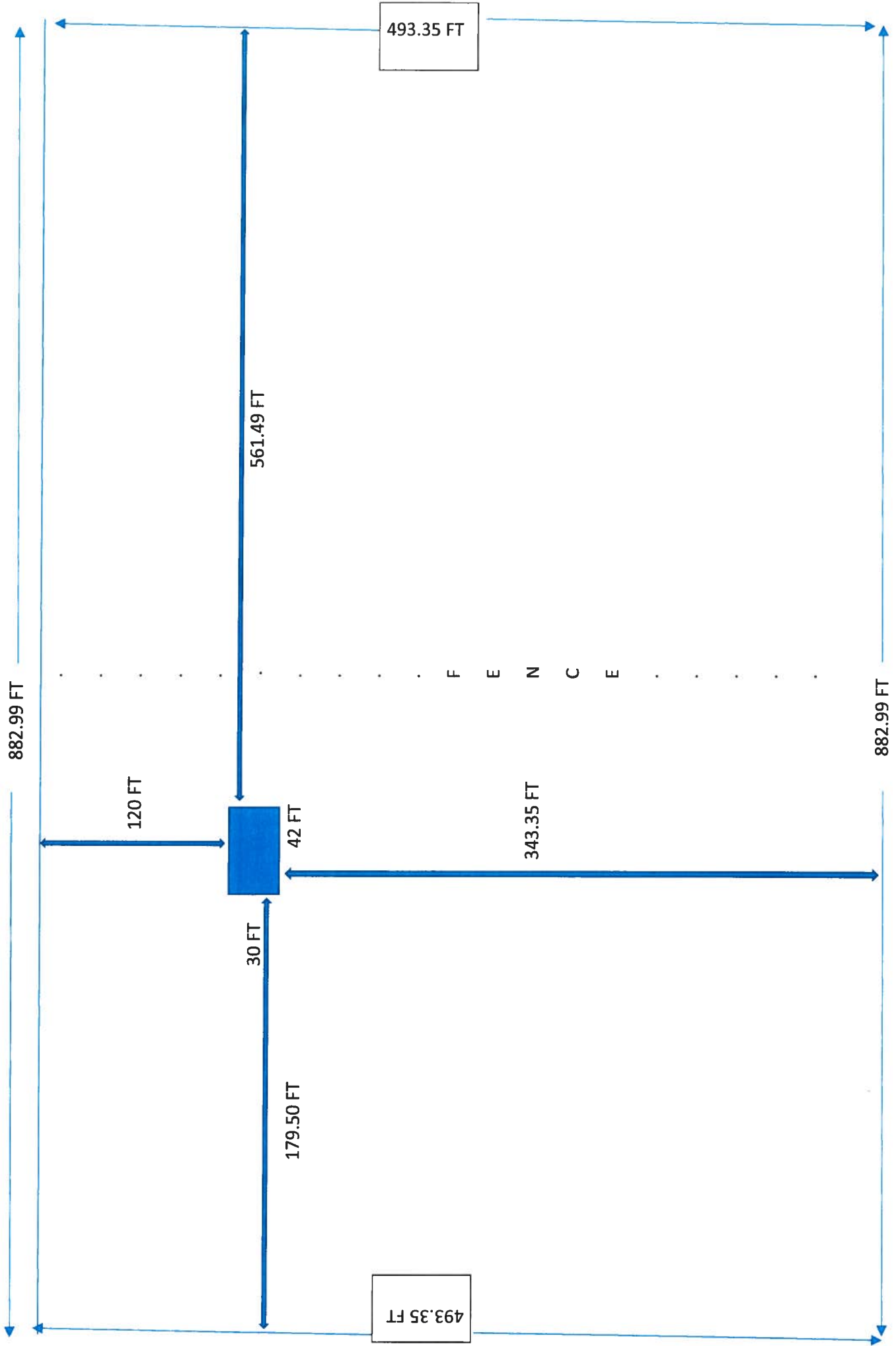
The foregoing instrument was acknowledged before me, a Florida Notary, this 25 day of JUNE, 2019, by:
KEVIN WILKS as OWNER for KEVIN WILKS
(Name of Person) (Type of Authority) (name of party on behalf of whom instrument was executed)

Personally Known OR Produced Identification Type Drivers License

Notary Signature Ada Karen Steiskal

Notary Stamp of IDA KAREN STEISKAL
MY COMMISSION # GG 004548
EXPIRES: June 21, 2020
Bonded Thru Notary Public Underwriters

WILKS, KEVIN & MARIE
940 SW MARCIS TERRACE, LAKE CITY FL





STRUCTURAL DESIGN **ENCLOSED BUILDING**

**MAXIMUM 30'-0" WIDE X 20'-0" EAVE HEIGHT- BOX EAVE
FRAME**

14 December 2018

Revision 7

M&A Project No. 16062S/16155S/16207S/17155S/17200S/18068S/18156S/18290S

Prepared for:

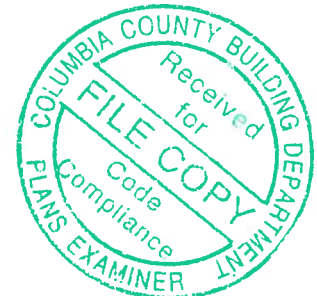
**Steel Buildings and Structures, Inc.
P.O. Box 1287
Mt. Airy, NC 27030**

Prepared by:

**Moore and Associates Engineering
and Consulting, Inc.**

**1009 East Avenue
North Augusta, SC 29841**

**401 S. Main St., Suite 200
Mount Airy, NC 27030**



MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING

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MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.



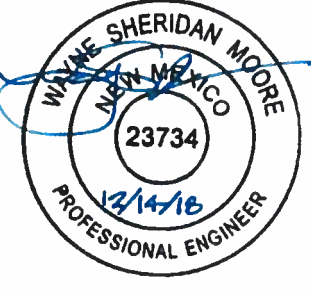
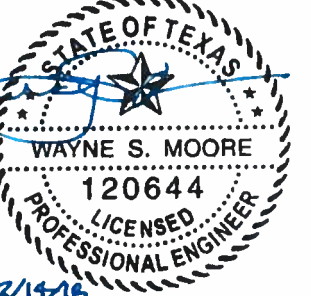
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CHECKED BY: FJH

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

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PROJECT NO: VSN
CLIENT: SSSI

DATE: 12-14-18
SHT. 1
SCALE: NTS
JOB NO: 180695/180205
DVG. NO: SK-3
REV: 7

| | | | |
|---|--|--|--|
|  | Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 49744, Expiration Date <u>6/8/20</u> | | |
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|--|------------------|--|---------------|----------------------|
| MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC. | DRAWN BY: AT | STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030 | | |
| | CHECKED BY: PDH | 30'-0" x 20'-0" ENCLOSED STRUCTURE | | |
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| | CLIENT: SSSI | SHT. 1A | DWG. NO: SK-3 | REV: 7 |

DRAWING INDEX

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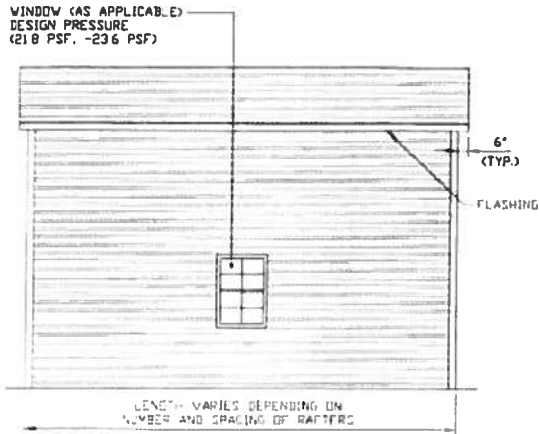
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|---|-----------------|--|---------------|-----------------------|---------------|
| MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC. | DRAWN BY: AT | STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030 | | | |
| | CHECKED BY: PDH | 30'-0" x 20'-0" ENCLOSED STRUCTURE | | | |
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| | CLIENT: SISI | SHT. 2 | DWG. NO: SK-3 | REV: 7 | |

INSTALLATION NOTES AND SPECIFICATIONS

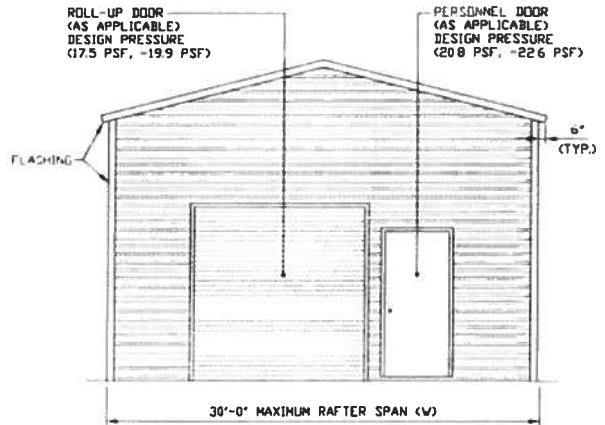
1. DESIGN IS FOR MAXIMUM 30'-0" WIDE x 20'-0" EAVE HEIGHT ENCLOSED STRUCTURES.
2. DESIGN WAS DONE IN ACCORDANCE WITH THE 2017 FLORIDA BUILDING CODE (FBC) 6TH EDITION, 2018 NORTH CAROLINA BUILDING CODE, 2006 INTERNATIONAL BUILDING CODE (IBC), 2009 IBC, 2012 IBC AND 2015 IBC.
3. DESIGN LOADS ARE AS FOLLOWS:
 - A) DEAD LOAD = 1.5 PSF
 - B) LIVE LOAD = 12 PSF
 - C) GROUND SNOW LOAD = 30 PSF ($\leq 26'-0"$), 35 PSF ($26'-0" < W \leq 30'-0"$)
(UNBALANCED SNOW LOADS DUE TO DRIFTING HAVE NOT BEEN EVALUATED.)
4. 3-SECOND GUST ULTIMATE WIND SPEED (V_{ULT}) 105 TO 145 MPH (NOMINAL WIND SPEED 82 TO 112 MPH) MAXIMUM RAFTER/COLUMN AND END COLUMN SPACING = 5.0 FEET (UNLESS NOTED OTHERWISE).
5. END WALL COLUMNS (POST) ARE EQUIVALENT TO SIDE WALL POSTS UNLESS NOTED OTHERWISE.
6. RISK CATEGORY I.
7. WIND EXPOSURE CATEGORY B.
8. SPECIFICATIONS APPLICABLE TO 29 GAUGE METAL PANELS FASTENED DIRECTLY TO 2 1/2" x 2 1/2" - 14 GAUGE TUBE STEEL (TS) FRAMING MEMBERS (UNLESS NOTED OTHERWISE).
9. AVERAGE FASTENER SPACING ON-CENTERS ALONG RAFTERS OR HAT CHANNELS, AND COLUMNS (INTERIOR OR END) = 8 INCHES.
10. FASTENERS CONSIST OF 1/4"x3/4" SELF-DRILLING FASTENER (SDF), USE CONTROL SEAL WASHER WITH EXTERIOR FASTENERS. SPECIFICATIONS APPLICABLE ONLY FOR MEAN ROOF HEIGHT OF 20 FEET OR LESS, AND ROOF SLOPES OF 14" (3:12 PITCH) OR LESS SPACING REQUIREMENTS FOR OTHER ROOF HEIGHTS AND/OR SLOPES MAY VARY.
11. GROUND ANCHORS SHALL BE INSTALLED THROUGH BASE RAIL WITHIN 6' OF EACH COLUMN.
12. GROUND ANCHORS CONSIST OF #4 REBAR W/ WELDED NUT x 36" LONG IN SUITABLE SOIL CONDITIONS. OPTIONAL ANCHORAGE MAY BE USED IN SUITABLE SOILS AND MUST BE USED IN UNSUITABLE SOILS AS NOTED.
13. WIND FORCES GOVERN OVER SEISMIC FORCES. SEISMIC PARAMETERS ANALYZED ARE:
 - SOIL SITE CLASS = D
 - RISK CATEGORY I/II/III
 - $R = 3.25$ $I_E = 1.0$
 - $S_{DS} = 2.039$ $V = C_s W$
 - $S_{DI} = 1.258$
14. WINDOW AND DOOR DESIGN PRESSURES ARE APPLICABLE TO THE STATE OF FLORIDA ONLY.

| | | | | |
|---|------------------|--|---------------|-----------------------|
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| | CLIENT: SISI | SHT. 3 | DVG. NO: SK-3 | REV: 7 |

BOX EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

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CHECKED BY: PJM

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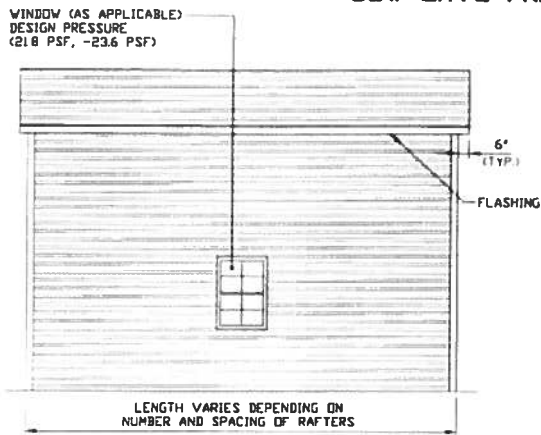
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CLIENT: SISI

DATE: 12-14-18
SHT. 3A

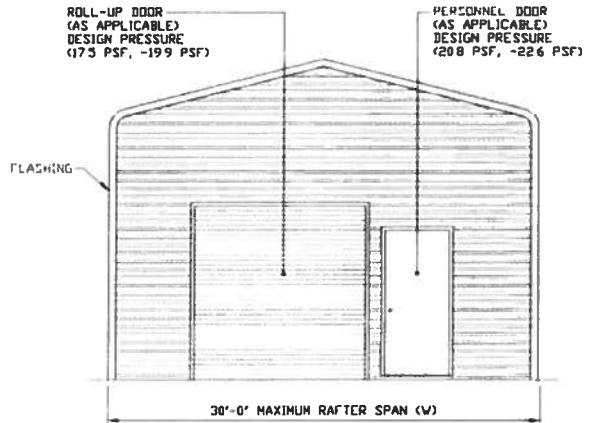
SCALE: NTS
DWG. NO: SK-3

JOB NO: 180695/180905
REV: 7

BOW EAVE FRAME RAFTER STRUCTURE



TYPICAL SIDE ELEVATION
SCALE: NTS



TYPICAL END ELEVATION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: WSH

CLIENT: SISI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-19

SCALE: NTS

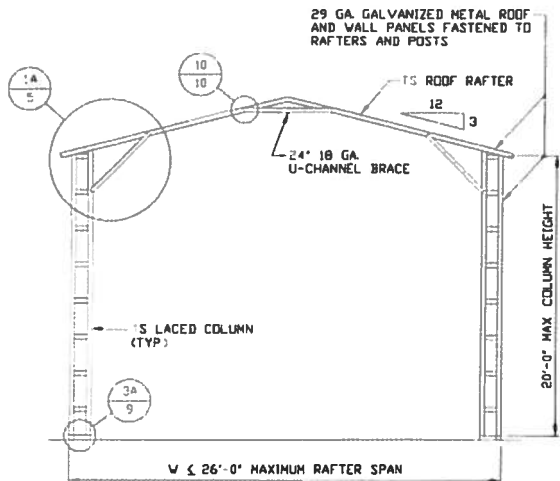
JOB NO: 180685/180685/180685

SHT. 30

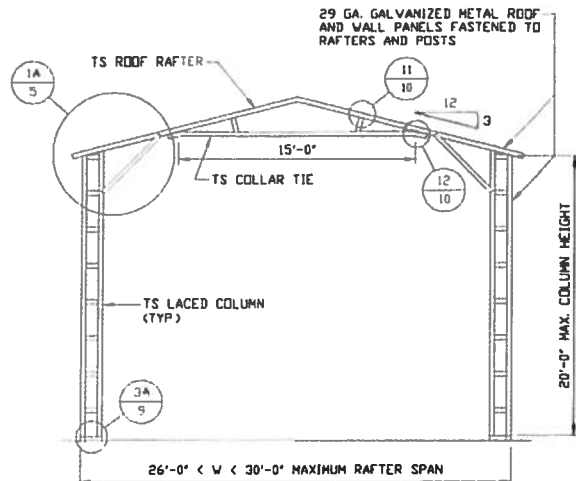
DWG. NO: SK-3

REV: 7

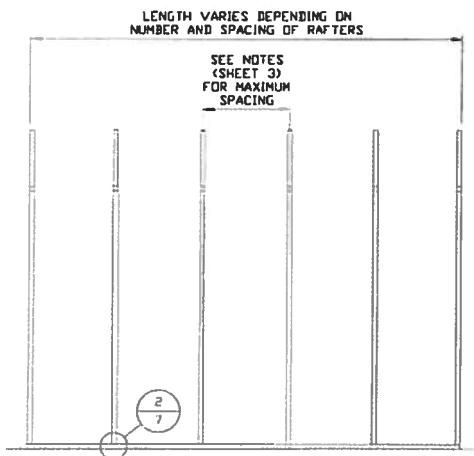
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT
CHECKED BY: PDH

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

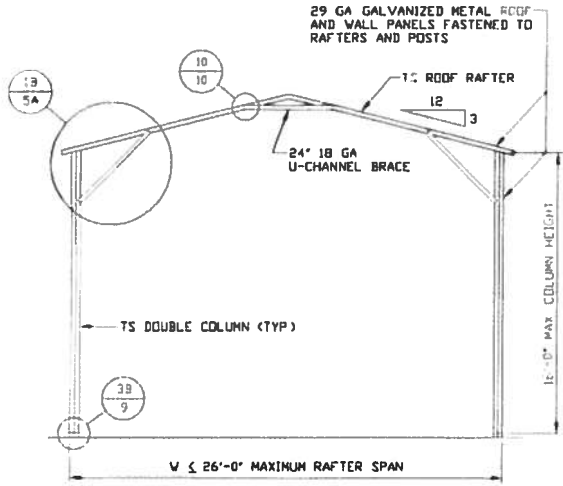
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PROJECT MGR: VSN
CLIENT: SRSI

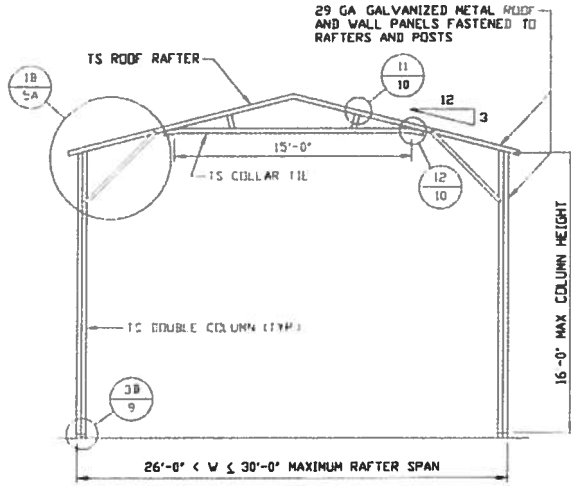
DATE: 12-14-18
SHT. 4

SCALE: NTS
DWG. NO: SK-3

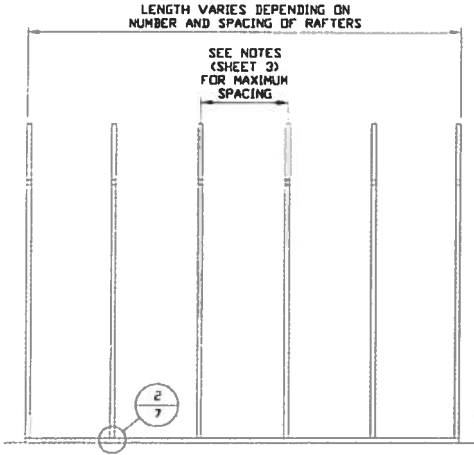
JOB NO: 180625/180905
REV: 7



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS

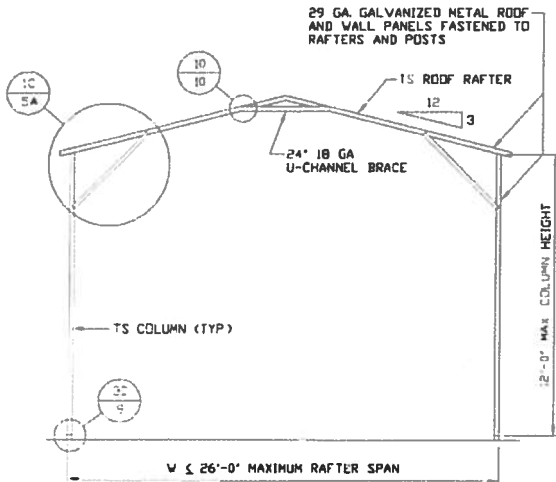


TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS

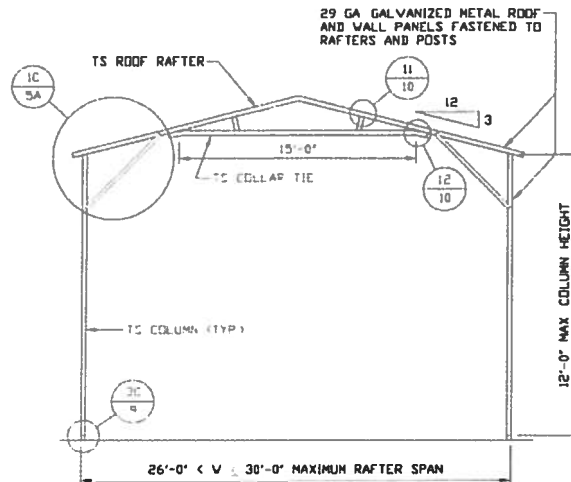


TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

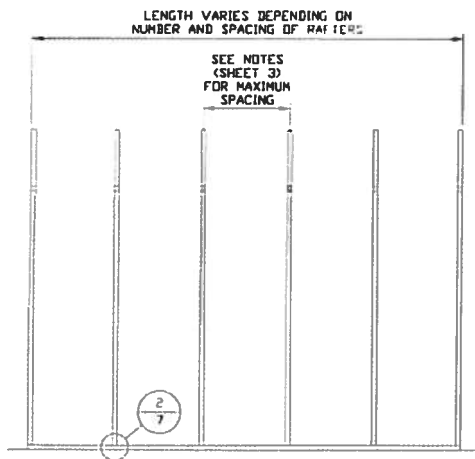
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|--|-----------------|----------------|--|-----------------------|
| MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC. | DRAWN BY: AT | | STEEL BUILDINGS AND STRUCTURES, INC. P.O. BOX 1287, MOUNT AIRY, NC 27030 30'-0" x 20'-0" ENCLOSED STRUCTURE | |
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| | CLIENT: SRSI | SHT. 4A | DWG. NO SK-3 | REV: 7 |



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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CLIENT: SPSI

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MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

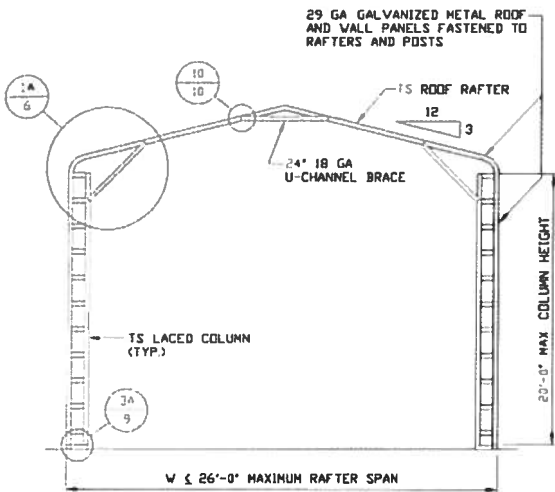
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JOB NO: 180126/180127/180128

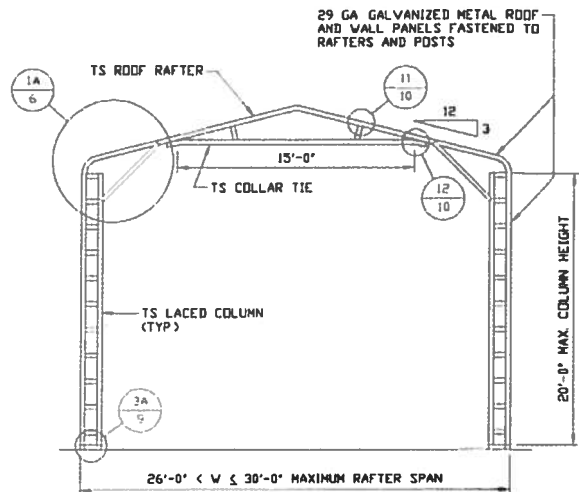
SHT. 4B

REV: 7

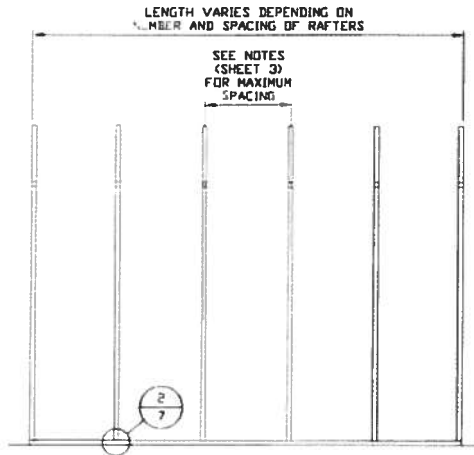
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

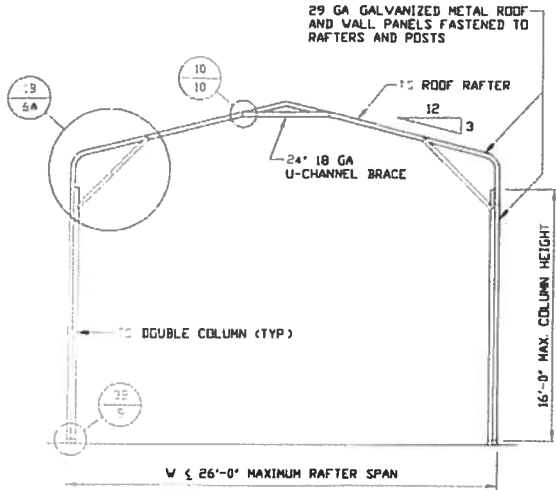
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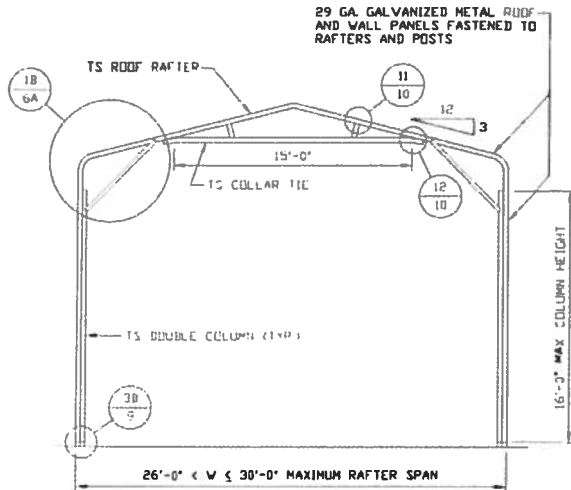
STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-19
SCALE: NTS
DWG. NO.: SK-3
JOB NO.: 18955/189205
REV.: 7

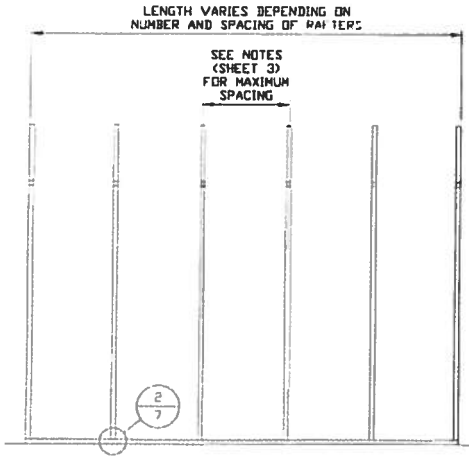
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TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

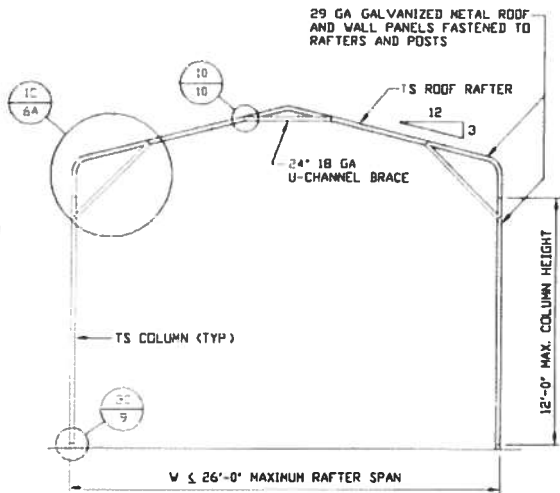
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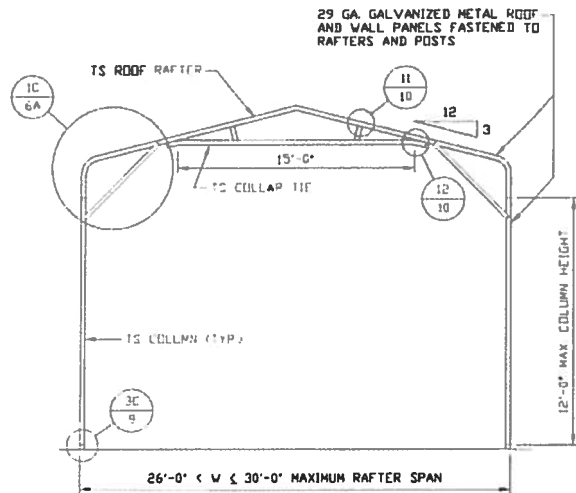
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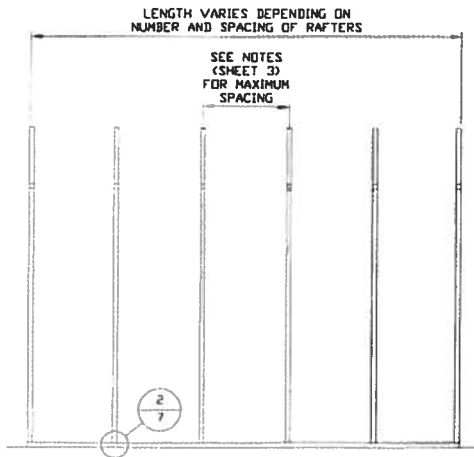
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CLIENT: SOST **SHT. 4D** **DWG NO SK-3** **REV: 7**



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN FRAME SECTION
SCALE: NTS



TYPICAL RAFTER/COLUMN SIDE FRAMING SECTION
SCALE: NTS

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P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

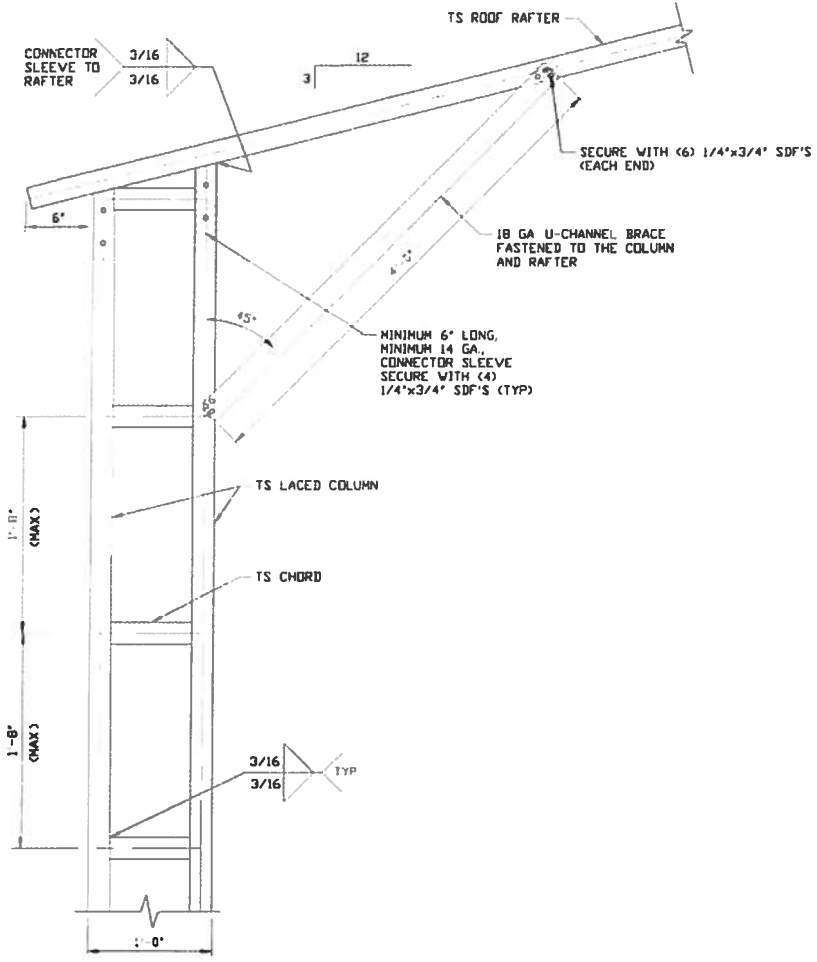
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PROJECT NGR: VSH
CLIENT: SEST

DATE: 12-14-19
SHT. 4E

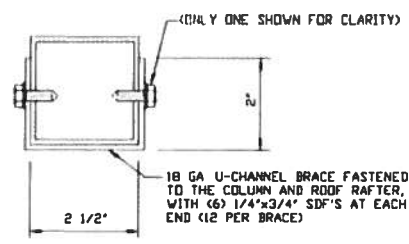
SCALE: NTS
DWG NO SK-3

JOB NO: 180583/180203
REV: 7



BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
 SCALE: NTS

1A



BRACE SECTION
 SCALE: NTS

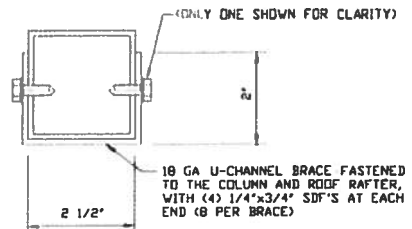
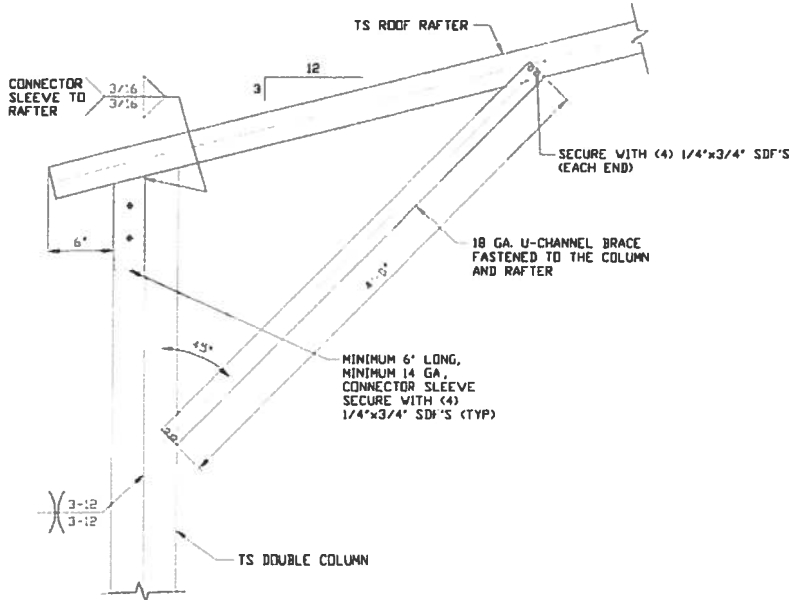
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PROJECT NGR: VSH
CLIENT: SSSI

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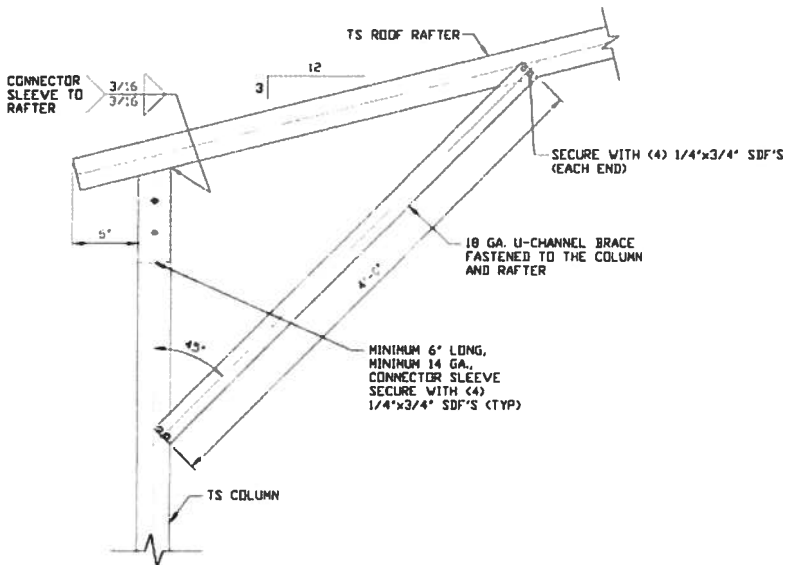
DATE: 12-14-10
SCALE: NTS
JOB NO: 100695/100905
SHT.: 5
DWG. NO: SK-3
REV.: 7



BRACE SECTION
SCALE: NTS

BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO <= 16'-0"

1B
SCALE: NTS



BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS <= 12'-0"

1C
SCALE: NTS

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PROJECT: NGR VSM

CLIENT: SSSI

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-10

SCALE: NTS

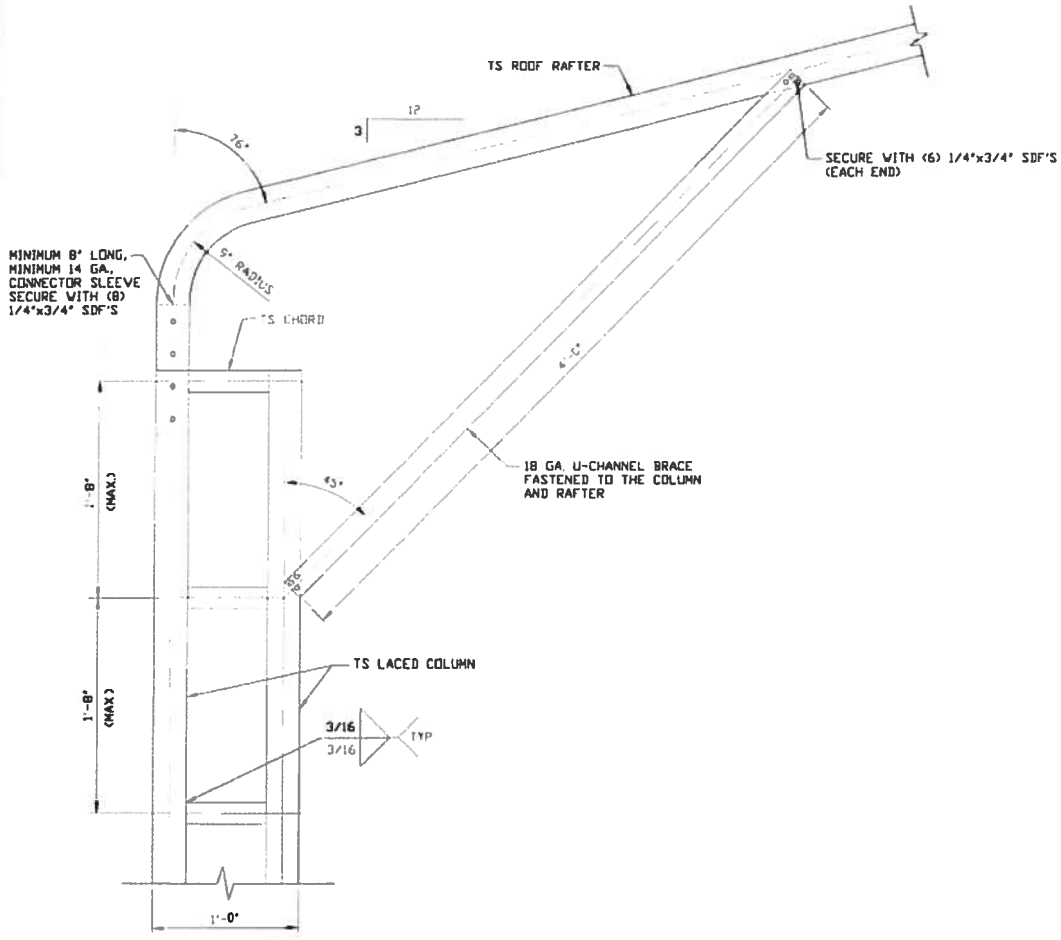
JOB NO. 10022/100205

SHT. 5A

IMG. NO. SK-3

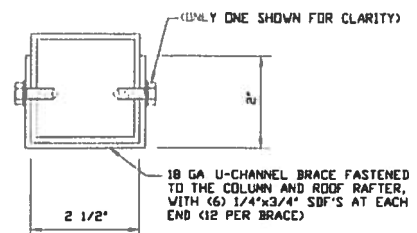
REV. 7

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BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS 16'-0" < TO ≤ 20'-0"
 SCALE: NTS

1A



BRACE SECTION
 SCALE: NTS

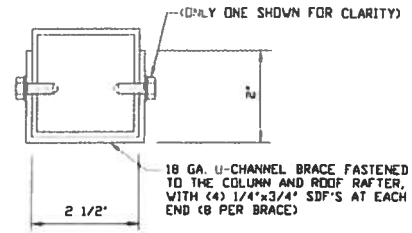
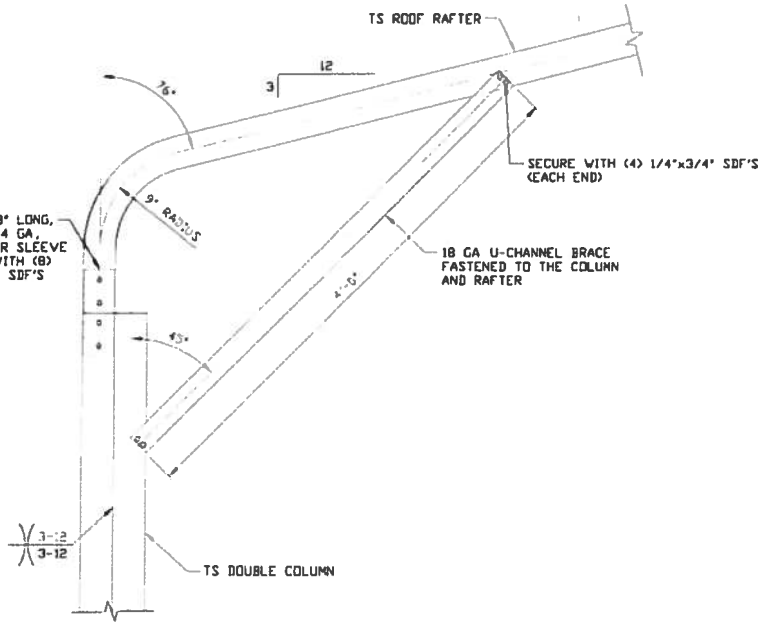
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CHECKED BY: PMH
PROJECT NO: VSN
CLIENT: SRSI

STEEL BUILDINGS AND STRUCTURES, INC.
 P.O. BOX 1287,
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 30'-0" x 20'-0" ENCLOSED STRUCTURE

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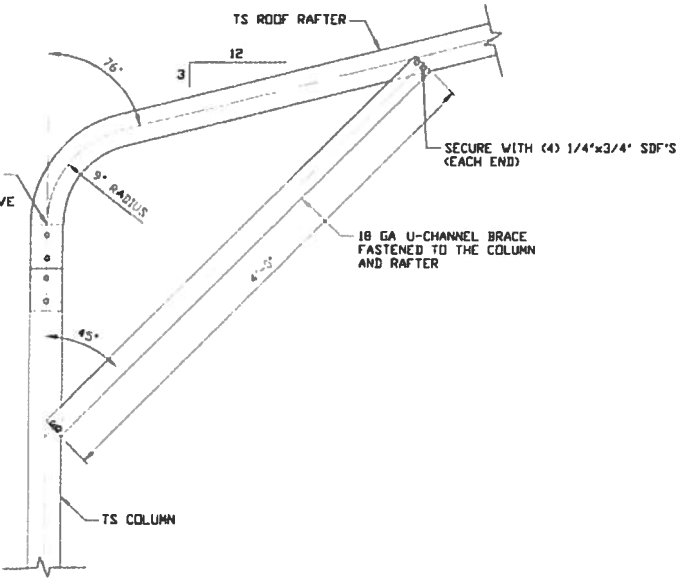
DATE: 12-14-18
SCALE: NTS
JOB NO: 180625/180625
SHT.: 6
DWG NO: SK-3
REV.: 7



BRACE SECTION
SCALE: NTS

1B

BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS 12'-0" < TO <= 16'-0"
SCALE: NTS



1C

BOX EAVE RAFTER/CORNER POST CONNECTION DETAIL
FOR HEIGHTS <= 12'-0"
SCALE: NTS

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CLIENT: SASI

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P.O. BOX 1287,
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30'-0"x20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 180625/180709

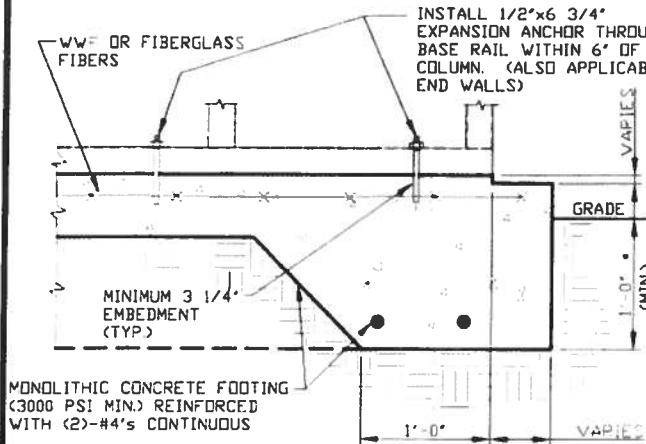
SHT. 6A

DWG NO SK-3

REV: 7

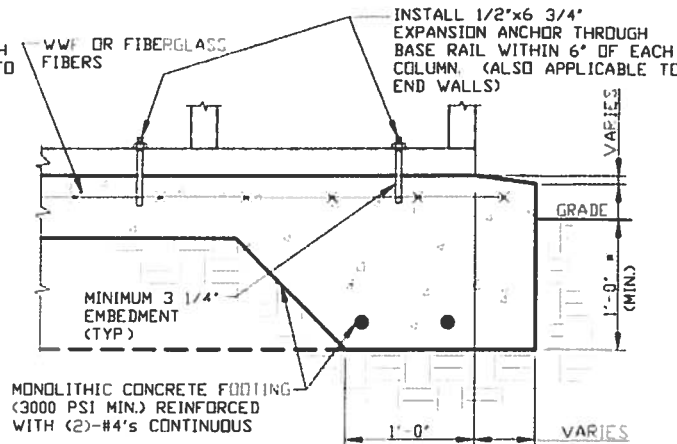
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BASE RAIL ANCHORAGE OPTIONS



2A

**CONCRETE MONOLITHIC SLAB
BASE RAIL ANCHORAGE**
SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.



2B

**CONCRETE SLAB BASE
RAIL ANCHORAGE**
SCALE: NTS
MINIMUM ANCHOR EDGE DISTANCE IS 4".
* COORDINATE WITH LOCAL CODES/ORD.

GENERAL NOTES

NOTE: CONCRETE MONOLITHIC SLAB DESIGN BASED ON MINIMUM SOIL BEARING CAPACITY OF 1,500 PSF

CONCRETE:

CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.

COVER OVER REINFORCING STEEL:

FOR FOUNDATIONS, MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE PER ACI-318;

3" IN FOUNDATIONS WHERE THE CONCRETE IS CAST AGAINST AND PERMANENTLY IN CONTACT WITH THE EARTH OR EXPOSED TO THE EARTH OR WEATHER, AND 1 1/2" ELSEWHERE.

REINFORCING STEEL:

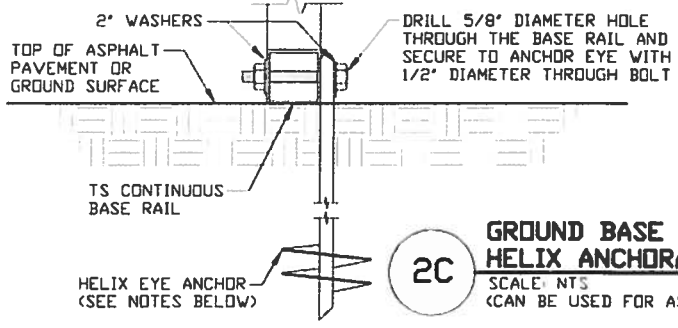
THE TURNDOWN REINFORCING STEEL SHALL BE ASTM A615 GRADE 60. THE SLAB REINFORCEMENT SHALL BE WELDED WIRE FABRIC MEETING ASTM A185 OR FIBERGLASS FIBER REINFORCEMENT.

REINFORCEMENT MAY BE BENT IN THE SHOP OR THE FIELD PROVIDED:

1. REINFORCEMENT IS BENT COLD.
2. THE DIAMETER OF THE BEND, MEASURED ON THE INSIDE OF THE BAR, IS NOT LESS THAN SIX-BAR DIAMETERS.
3. REINFORCEMENT PARTIALLY EMBEDDED IN CONCRETE SHALL NOT BE FIELD BENT.

HELIX ANCHOR NOTES:

1. FOR VERY DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL AND COBBLES, CALICHE, PRELOADED SILTS AND CLAYS, USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
2. FOR CORAL USE MINIMUM (2) 4" HELICES WITH MINIMUM 30" EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
3. FOR MEDIUM DENSE COARSE SANDS, SANDY GRAVELS, VERY STIFF SILTS, AND CLAYS USE MINIMUM (2) 4" HELICES WITH MINIMUM 30 INCH EMBEDMENT OR SINGLE 6" HELIX WITH MINIMUM 50" EMBEDMENT.
4. FOR LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS ALLUVIAL FILL, USE MINIMUM (2) 6" HELICES WITH MINIMUM 50" EMBEDMENT.
5. FOR VERY LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFFER CLAYS AND SILTS, ALLUVIAL FILL, USE MINIMUM (2) 8" HELICES WITH MINIMUM 60" EMBEDMENT.



2C

**GROUND BASE
HELIX ANCHORAGE**
SCALE: NTS
(CAN BE USED FOR ASPHALT)

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CLIENT: SSSI

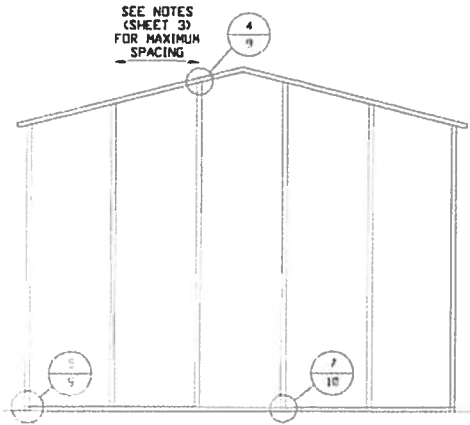
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P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18 SCALE: NTS JOB NO: 18065/180705

SHT. 7 DVG. NO. SK-3 REV. 7

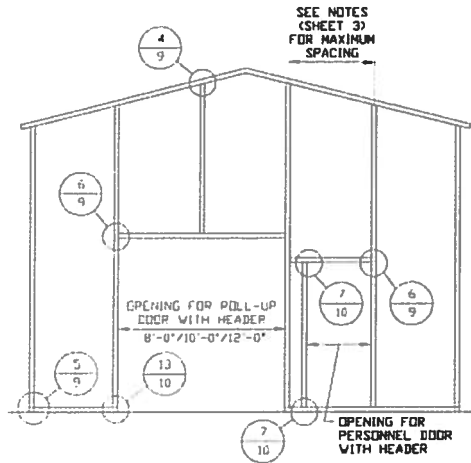
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



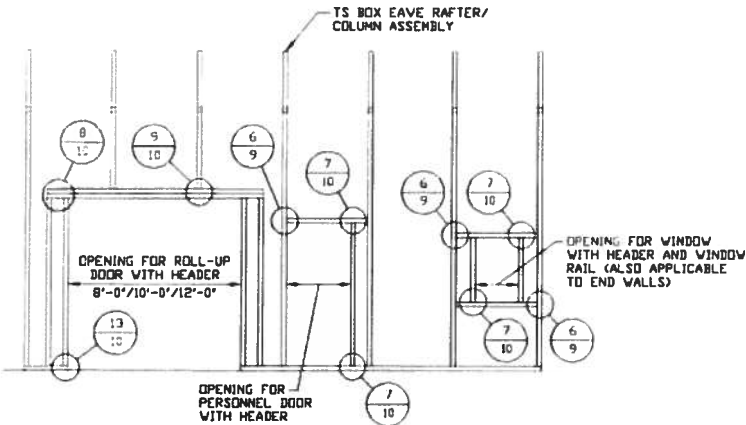
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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CLIENT: SSSI

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

JOB NO: 180625/180705

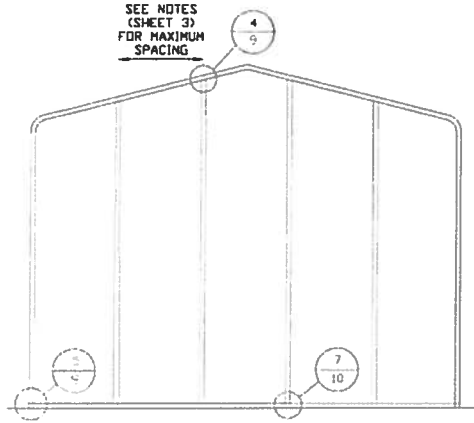
SHT. 8

DWG NO: SK-3

REV: 7

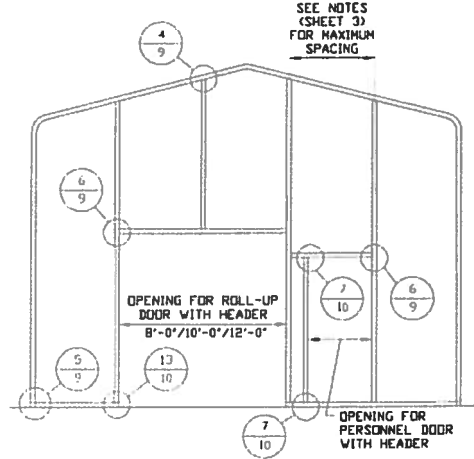
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BOX EAVE RAFTER END WALL AND SIDE WALL OPENINGS



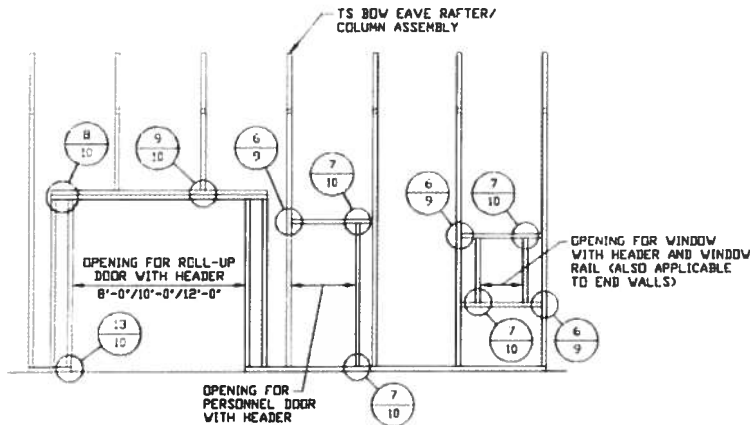
**TYPICAL BOX EAVE RAFTER
END WALL FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER END
WALL OPENINGS FRAMING SECTION**

SCALE: NTS



**TYPICAL BOX EAVE RAFTER
SIDE WALL OPENINGS FRAMING SECTION**

SCALE: NTS

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ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

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PROJECT MGR: VSM

CLIENT: SSSI

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30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-10

SCALE: NTS

JOB NO: 10062/100905

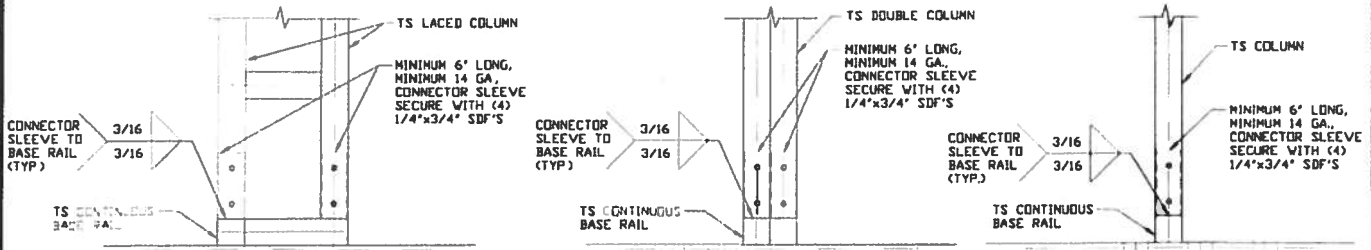
SHT. 0A

DWG NO SK-3

REV: 7

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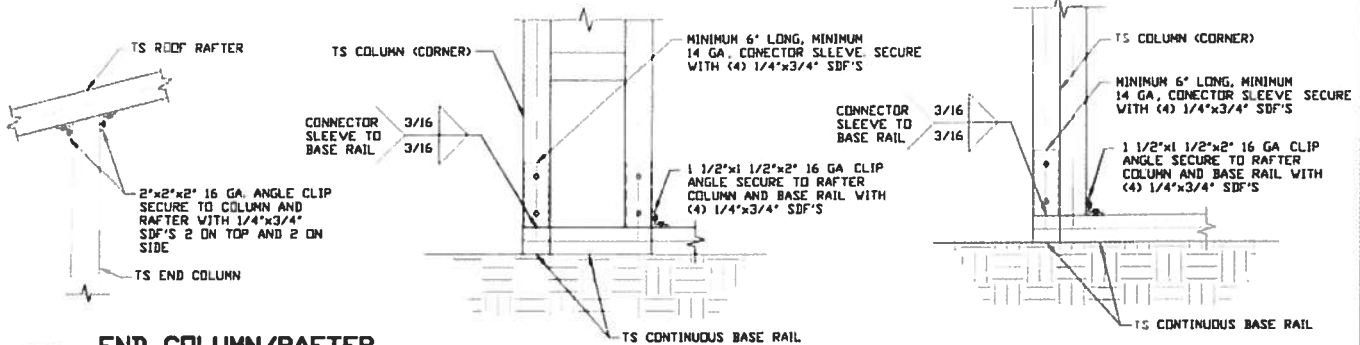
CONNECTION DETAILS



3A POST/BASE RAIL CONNECTION DETAIL
 SCALE: NTS

3B POST/BASE RAIL CONNECTION DETAIL
 SCALE: NTS

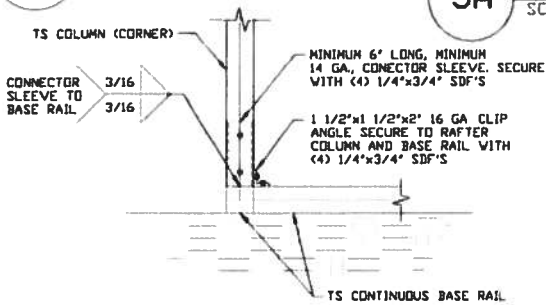
3C POST/BASE RAIL CONNECTION DETAIL
 SCALE: NTS



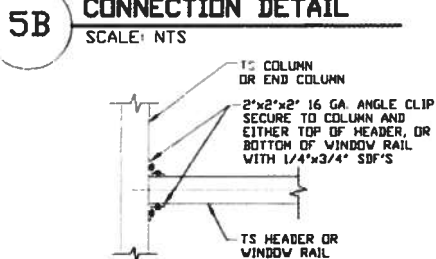
4 END COLUMN/RAFTER CONNECTION DETAIL
 SCALE: NTS

5A END COLUMN/BASE RAIL CONNECTION DETAIL
 SCALE: NTS

5B END COLUMN/BASE RAIL CONNECTION DETAIL
 SCALE: NTS



5B END COLUMN/BASE RAIL CONNECTION DETAIL
 SCALE: NTS



6 COLUMN OR WINDOW RAIL TO POST CONNECTION DETAIL
 SCALE: NTS

MOORE AND ASSOCIATES ENGINEERING AND CONSULTING, INC.

DRAWN BY: AT

CHECKED BY: PMH

PROJECT MGR: WSM

CLIENT: SEST

STEEL BUILDINGS AND STRUCTURES, INC.
 P.O. BOX 1287,
 MOUNT AIRY, NC 27030
 30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-18

SCALE: NTS

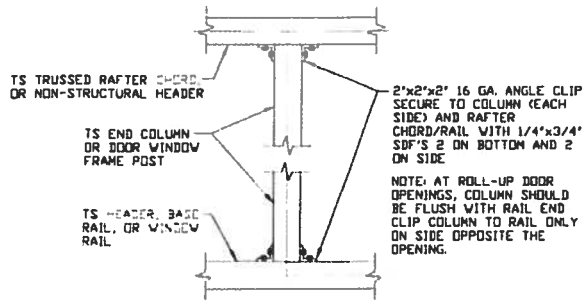
SHT. 9

DWG. NO. SK-3

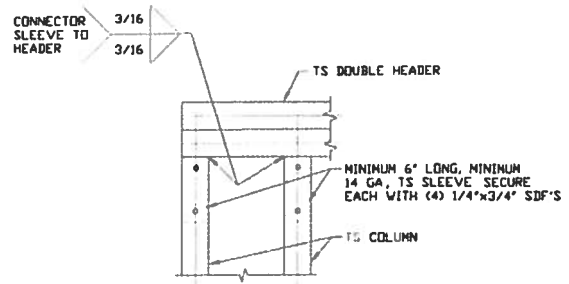
180626/
 ADD NO. 180626/180905
 REV. 7

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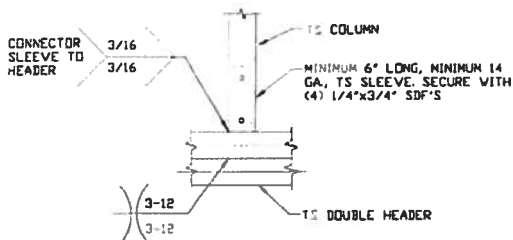
CONNECTION DETAILS



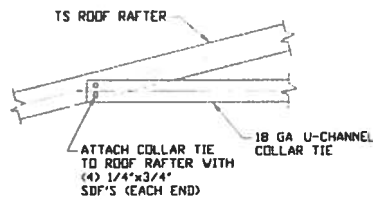
7 COLUMN TO HEADER, BASE RAIL, OR WINDOW RAIL CONNECTION DETAIL
SCALE: NTS



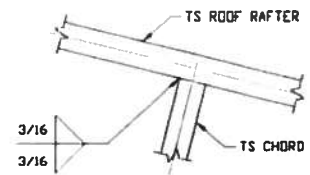
8 DOUBLE HEADER/COLUMN CONNECTION DETAIL
SCALE: NTS



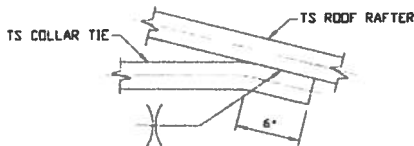
9 COLUMN/DOUBLE HEADER CONNECTION DETAIL
SCALE: NTS



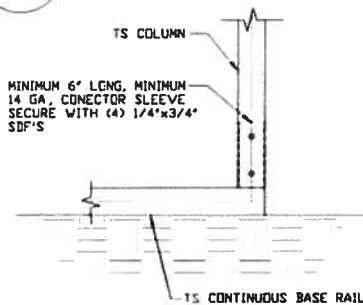
10 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



11 RAFTER TO CHORD CONNECTION DETAIL
SCALE: NTS



12 COLLAR TIE CONNECTION DETAIL
SCALE: NTS



13 COLUMN/BASE RAIL CONNECTION DETAIL
SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PMH

PROJECT MGR: VSM

CLIENT: SISI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-19

SCALE: NTS

SHT. 10

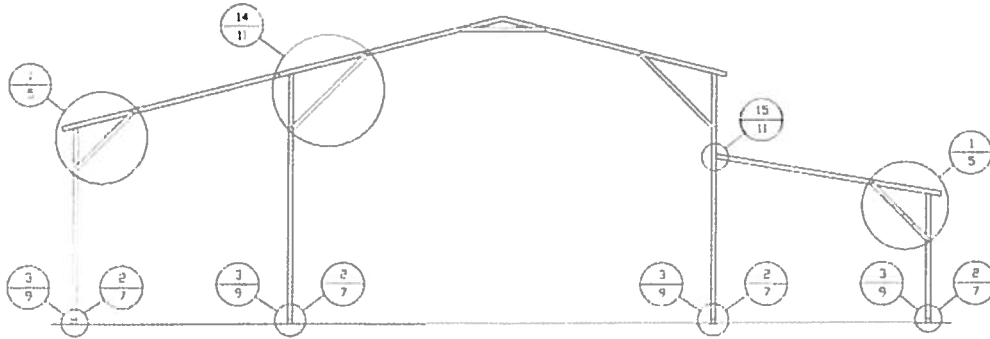
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100000/
11/22/19

REV. 7

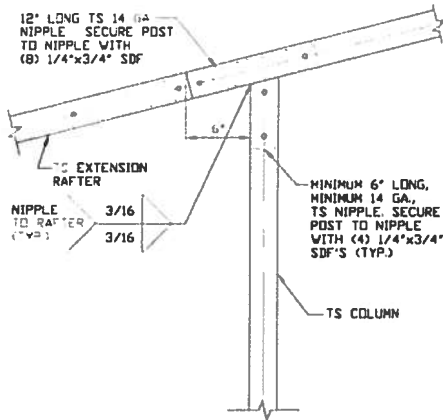
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BOX EAVE RAFTER LEAN-TO OPTIONS



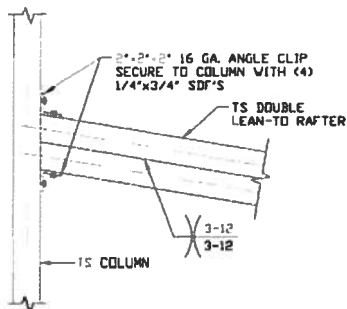
TYPICAL BOX EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION (BOTH OPTIONS SHOWN)

SCALE: NTS



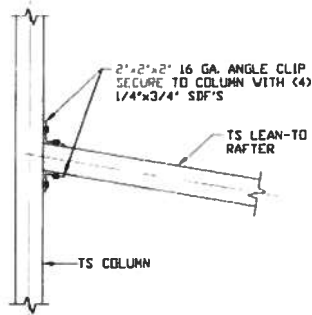
**14 SIDE EXTENSION RAFTER/
CORNER POST DETAIL**

SCALE: NTS



**15A LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

SCALE: NTS



**15B LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PJM

PROJECT MGR: VSM

CLIENT: SISI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-10

SCALE: NTS

JOB NO: 100663/100663

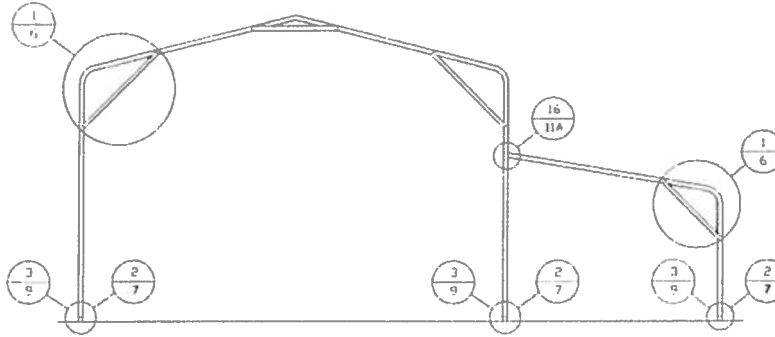
SHT. 11

DWG. NO: SK-3

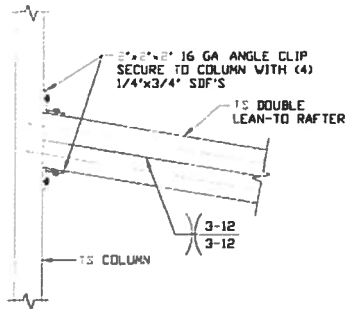
REV: 7

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BOW EAVE RAFTER LEAN-TO OPTIONS



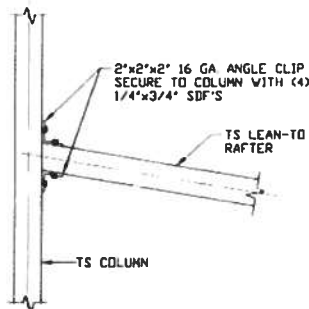
TYPICAL BOW EAVE RAFTER LEAN-TO OPTIONS FRAMING SECTION
SCALE: NTS



**LEAN-TO RAFTER TO
RAFTER POST CONNECTION
DETAIL FOR WIDTHS
12'-0" < TO ≤ 16'-0"**

16A

SCALE: NTS



**LEAN-TO RAFTER
TO RAFTER POST
CONNECTION DETAIL
FOR WIDTHS ≤ 12'-0"**

16B

SCALE: NTS

**MOORE AND ASSOCIATES
ENGINEERING AND CONSULTING, INC.**

DRAWN BY: AT

CHECKED BY: PDH

PROJECT MGR: VSM

CLIENT: SPSI

STEEL BUILDINGS AND STRUCTURES, INC.
P.O. BOX 1287,
MOUNT AIRY, NC 27030
30'-0" x 20'-0" ENCLOSED STRUCTURE

DATE: 12-14-19

SCALE: NTS

SHT. 11A

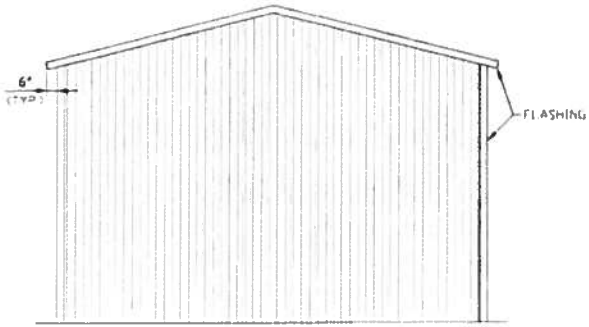
DWG. NO. SK-3

JOB NO. 18065/18278

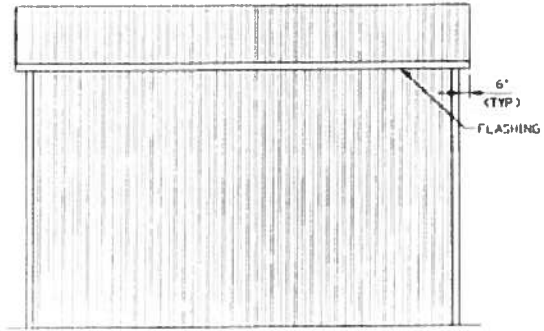
REV. 7

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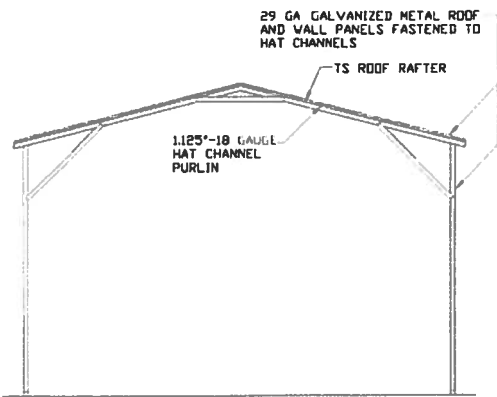
BOX EAVE RAFTER VERTICAL ROOF/SIDING OPTION



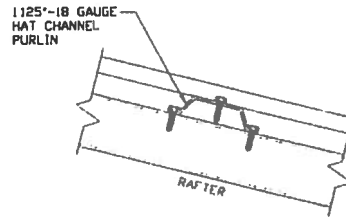
**TYPICAL END ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



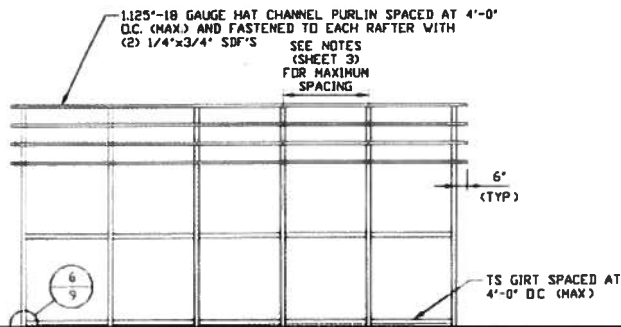
**TYPICAL SIDE ELEVATION
VERTICAL ROOF/SIDING**
SCALE: NTS



**TYPICAL SECTION
VERTICAL ROOF/SIDING OPTION**
SCALE: NTS



PANEL ATTACHMENT
(ALTERNATE FOR VERTICAL ROOF PANELS)
SCALE: NTS





STEEL BUILDINGS AND STRUCTURES, INC.

820 Reeves Drive Mount Airy, NC 27030
 P.O. BOX 1287 - MT. AIRY, NC 27030
 TOLL FREE: 877-272-8276
 LOCAL: 336-367-6800

Elilo Outdoor Buildings (386) 364-1364
 SBS DEALER
 DEALER PHONE
 ORDER DATE

BARN ORDER
 STYLE RAISED CENTER AISLE
 panels orientation
 VERTICAL

V2.2.3
 \$ 5/22/19

Customer Name: Kevin & Marie Wilks
 Address: SW Marcis Terrace
 City: same
 State: same
 Zip: same
 Country: USA
 Tax%: FI
 State: 32055
 Zip: 32055
 Primary: 401-578-8483

Unit Size: 42 x 31 x 16 x 30 x 12
 Roof Length: 30
 Base Length: 12
 Gauge: 12

| lean to width 12' | | | | main width 18' | | | | lean to width 12' | | | |
|-------------------|--------------------|------------|------------|----------------|----------------------|------------|------------|-------------------|--------------------|------------|------------|
| Qty. | Description | Unit Price | Extended | Qty. | Description | Unit Price | extended | Qty. | Description | Unit Price | Extended |
| 1 | 12x31 | \$ 1647.50 | \$ 1647.50 | 1 | 18x31 | \$ 2395.00 | \$ 2395.00 | 1 | 12x31 | \$ 1647.50 | \$ 1647.50 |
| 1 | 12 gauge | \$ 200 | \$ 200 | 1 | 12 gauge | 700 | \$ 700 | 1 | 12 gauge | 200 | \$ 200 |
| 1 | 4' or less center | \$ 230 | \$ 230 | 1 | 4' or less side legs | 1200 | \$ 1200 | 1 | 4' or less | \$ 230 | \$ 230 |
| 1 | 10' legs | \$ 180.00 | \$ 180.00 | 1 | 10' Truss legs | \$ 2160.00 | \$ 2160.00 | 1 | 10' legs | \$ 180.00 | \$ 180.00 |
| 1 | Included | \$ 0.00 | \$ 0.00 | 1 | Included | \$ 0.00 | \$ 0.00 | 1 | Included | \$ 0.00 | \$ 0.00 |
| 1 | @ 10' Vertical | \$ 712.50 | \$ 712.50 | 1 | @ 10' Vertical | \$ 1260.00 | \$ 1260.00 | 1 | @ 10' Vertical | \$ 712.50 | \$ 712.50 |
| 1 | end @ 10' Vert | \$ 1525.00 | \$ 1525.00 | 1 | End @ 10' Vert | \$ 1910.00 | \$ 1910.00 | 1 | End @ 10' Vert | \$ 1525.00 | \$ 1525.00 |
| 1 | end | \$ 1525.00 | \$ 1525.00 | 1 | End @ 10' Vert | \$ 1910.00 | \$ 1910.00 | 1 | End @ 10' Vert | \$ 1525.00 | \$ 1525.00 |
| 1 | 9x8 front | \$ 750.00 | \$ 750.00 | 1 | 12x12 roll up | \$ 1800.00 | \$ 1800.00 | 3 | 9x8 Roll Up | \$ 750.00 | \$ 2250.00 |
| 1 | Garage Door | \$ 0.00 | \$ 0.00 | 2 | 30' roof drop left | \$ 140.00 | \$ 280.00 | 2 | 30' roof drop left | \$ 140.00 | \$ 280.00 |
| 1 | Garage Door | \$ 275.00 | \$ 275.00 | 2 | 30' roof drop left | \$ 140.00 | \$ 280.00 | 2 | 30' roof drop left | \$ 140.00 | \$ 280.00 |
| 2 | Walk-in door | \$ 500.00 | \$ 1000.00 | 2 | SBS Discount | 12% | \$ 115.20 | 2 | 30' roof drop left | \$ 140.00 | \$ 280.00 |
| 2 | Windows | \$ 500.00 | \$ 1000.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 2 | Panels | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 2 | Panels | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | Extra bow(s) | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | Connection Fee | \$ 150.00 | \$ 150.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | mobile home anchor | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | Other (specify) | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | Other (specify) | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | Other (specify) | \$ 0.00 | \$ 0.00 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |
| 1 | Total | \$ 1795 | \$ 1795 | 1 | SBS Discount | 12% | \$ 115.20 | 1 | SBS Discount | 12% | \$ 115.20 |

BINDING PURCHASE CONTRACT

This purchase agreement (the "Agreement") is made by and between Steel Buildings and Structures, Inc. ("SBS"), a North Carolina Corporation and (the "Buyer"). Buyer agrees, after being fully educated about SBS's various products, including the fourteen (14) gauge, twelve (12) gauge, non-certified and certified units, to buy, and SBS agrees to sell, pursuant to the terms listed in this Agreement described above. Buyer has read and understands the terms of this agreement, including the terms and conditions contained at the bottom of this document, which terms are expressly incorporated herein by reference, as well as any and all relevant warranty information and agrees to be bound by same.

Buyer is aware that installation site must be level
 Buyer is responsible for all permits, site plans, and any other approvals before commencement of construction
 Customer: Kevin & Marie Wilks
 E-mail address: kmwilks@yahoo.com
 By: Elilo Outdoor Buildings-John
 FL APPROVAL #22561

Comments: Call/Notify customer 48 hours in Advance of Delivery ...
 Steel Buildings and Structures, Inc. has the right to correct any pricing and sales tax errors. Prices do not include site leveling, grading, and foundation preparation. Sites that are not level and not prepared may result in additional labor charges in order to prepare the site. Job site must be level within 4". We will contact you 1-5 days before installation.