

**COLUMBIA COUNTY
BOARD OF ADJUSTMENT
November 20, 2018 MEETING AGENDA
SCHOOL BOARD ADMINISTRATIVE COMPLEX
372 WEST DUVAL STREET LAKE CITY, FL
6:00 P.M.**

Pledge to U.S. Flag

Invocation

Public Comments

Public Hearings

A request by Kris Robinson, agent for Bruce Wilson, owner, to wave the one-year waiting period established in Section 12.2.1(4) of the Land Development Regulations for SE 0583. (Pg. 1)

A request by Tori Humphries of North Florida Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception for a Truck Stop and Automobile Service Station use within a Commercial, Highway Interchange ("CHI") Zone District. Tax Parcel Numbers 03-6s-17-09588-000 & 03-6s-17-09588-001 (Pg. 4)

Staff Matters

Approval of the September 27, 2018 Board of Adjustment Minutes (Pg. 84)

Adjournment

NOTE: All persons are advised that if they decide to appeal any decision made at the above referenced public hearings, they may need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.



OFFICE OF THE COUNTY PLANNER

AGENDA ITEM REQUEST FORM

Today's Date: November 13, 2018

Meeting Date: November 20, 2018

Name: Brandon Stubbs

Department: Building And Zoning

County Planner's Signature:

A handwritten signature in blue ink, appearing to read "B. Stubbs", is written over a horizontal line.

1. Nature and purpose of agenda item:

Kris Robinson has filed a request on behalf of Bruce Wilson to waive the one-year waiting period established in Section 12.2.1(4) of the Land Development Regulations to allow Mr. Wilson to file a modified special exception application for a campground without cabins. Mr. Wilson filed an appeal to the Board of County Commissioners for SE 0583; however, during review of the appeal, it became apparent that Mr. Wilson's appeal was more a modification of the original application. See attached email from Kris Robinson requesting the waiver from the one-year waiting period.

From: [Kris B. Robinson](#)
To: [Brandon Stubbs](#)
Cc: [Joel Foreman](#)
Subject: Bruce Wilson (SE 0583)
Date: Monday, October 22, 2018 2:29:28 PM
Attachments: [image001.png](#)
[image002.png](#)

Brandon and Joel,

Please let this serve as Mr. Wilson's request for a waiver of the one-year waiting period regarding SE 0583. As justification, Mr. Wilson submits that his current request is essentially a downward modification from what was requested in his original application. Mr. Wilson took the concerns of the Board of Adjustment very seriously and, as a result of those concerns, has since removed the cabins. Going forward Mr. Wilson would greatly appreciate the opportunity to request a special exception which would allow him to utilize his property in a productive manner, in harmony with the river and surrounding property, while also alleviating the concerns of the Board.

I would like to sincerely thank both of you gentlemen for your assistance.

Respectfully,

Kris B. Robinson
Robinson, Kennon & Kendron, P.A.
PO Box 1178 Lake City, FL 32056-1178
(386) 755-1334 (office)
(386) 755-1336 (facsimile)
www.rkkattorneys.com



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OFFICE OF THE COUNTY PLANNER

AGENDA ITEM REQUEST FORM

Today's Date: November 13, 2018

Meeting Date: November 20, 2018

Name: Brandon Stubbs

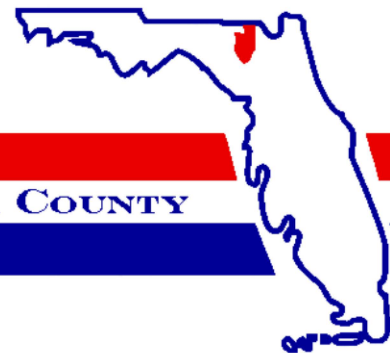
Department: Building And Zoning

County Planner's Signature: _____

A handwritten signature in blue ink, appearing to read "B. Stubbs", is written over a horizontal line.

1. Nature and purpose of agenda item:

A request by Tori Humphries of North Florida Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception for a Truck Stop and Automobile Service Station use within a Commercial, Highway Interchange ("CHI") Zone District. Tax Parcel Numbers 03-6s-17-09588-000 & 03-6s-17-09588-001



BOARD OF COUNTY COMMISSIONERS • COLUMBIA COUNTY

Board of Adjustment Hearing Date: November 20, 2018
Quasi-Judicial Hearing

SUBJECT: **SE 0590** – A request for a Special Exception pursuant to Section 4.15.5(1) of the Land Development Regulations (“LDRs”) to allow for a Truck Stop and Automobile Service Station use in a Commercial, Highway Interchange (“CHI”) Zone District on an approximate 26.08-acre subject property.

APPLICANT/AGENT: Tori Humphries of North Florida Professional Service

PROPERTY OWNER(S): Truck Stop 75, LLC

LOCATION: North of Ellisville Mini-Storage and Vacant Agricultural Lands; South of Interstate Highway 75 (“I-75”), Palm Garden Inn, and Love’s Travel Stop; East of U.S. Highway 441, S&S Foods, Wendy’s, B&B Foods, SW Howell St, Web’s Antique Mall, and Country Skillet; West of Vacant Agricultural Lands; Columbia County, Florida.

PARCEL ID NUMBER(S): 03-6s-17-09588-000 & 03-6s-17-09588-001

ACREAGE: ±26.08-acres

EXISTING FLUM Highway Interchange

EXISTING ZONING Commercial, Highway Interchange (“CHI”)

PROJECT PLANNER: Brandon M. Stubbs

CONDITIONS:

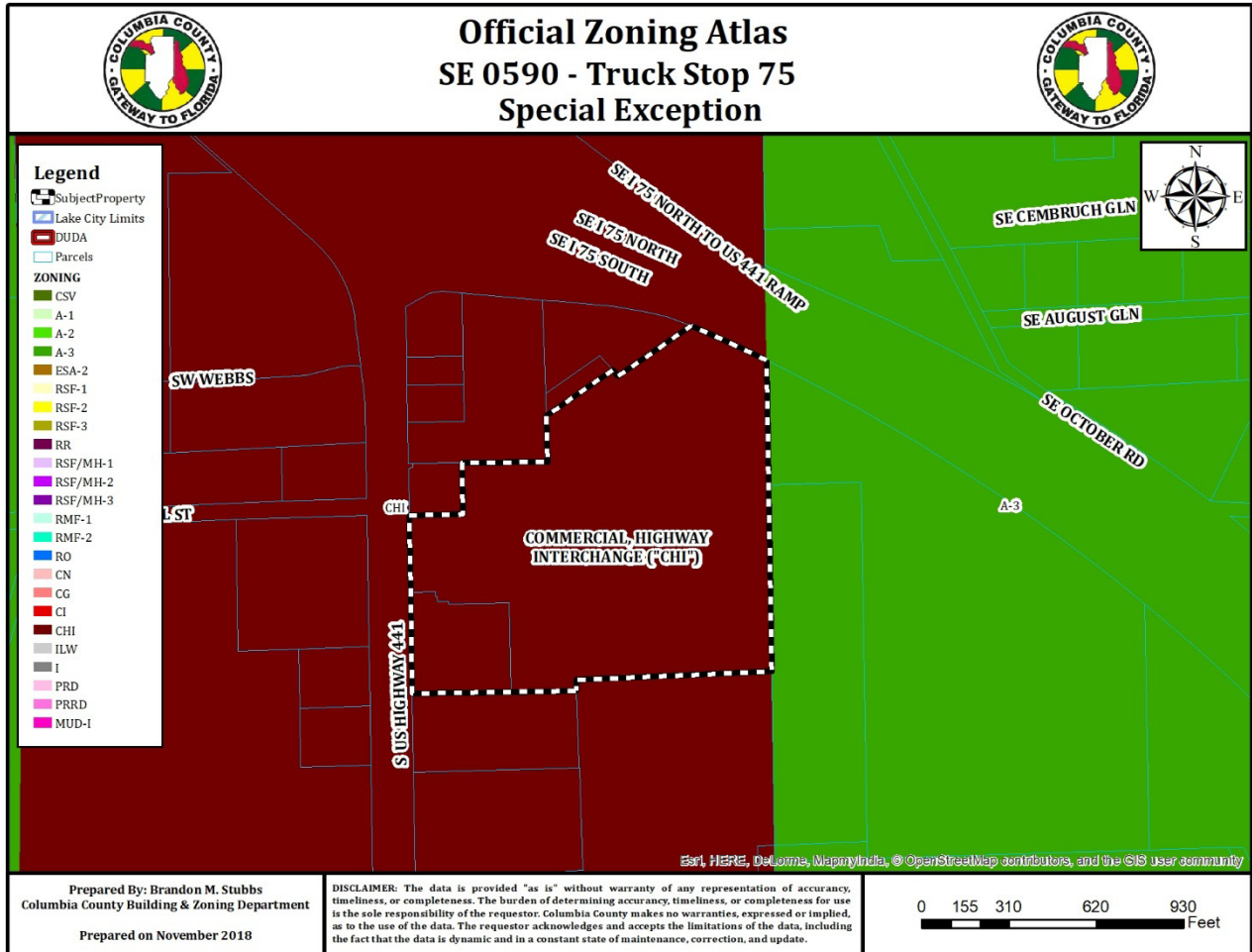
- 1) The applicant must provide a detailed fire prevention plan demonstrating compliance with the required ISO fire flows and Chapter 18 of the Florida Fire Prevention Code.
- 2) The applicant must provide documentation demonstrating compliance with Section 4.22.4 “Ellisville Overlay District” regulations.

BOARD MEETS THE FIRST THURSDAY AT 5:30 P.M.
AND THIRD THURSDAY AT 5:30 P.M.

SUMMARY

The subject property obtained Special Exception (SE 0587) approval for a truck stop and automobile service station use on August 23, 2018. The applicant desires to demolish the old truck service center and build a new truck service center. Further, the applicant proposes additional vehicular parking, semi-truck parking, and additional landscaping.

Map 1. Official Zoning Atlas with Subject Property



The Commercial, Highway Interchange ("CHI") Zone District is described as follows in Section 4.15.1 of the Land Development Regulations ("LDRs"):

"The "CHI" Commercial, Highway Interchange category includes one zone district: CHI. This specialized district is intended for areas where adequate lot depth is available to provide development for vehicular-related uses primarily serving the traveling public. Uses in such district are subject to criteria and standards intended to preserve the character of the district and to minimize adverse impacts with abutting and nearby uses. This district shall only be applied to interstate highway interchange areas."

ZONING DISTRICT COMPARISON

Zoning District:	Commercial, Highway Interchange ("CHI")
Max. Gross Density:	N/A
Minimum Lot Area	<p>Floor area of 10,000 sq. ft. or greater.</p> <ul style="list-style-type: none"> • Minimum site area: One acre. • Minimum lot width: 200 feet. <p>Floor area of 5,000 square feet but less than 10,000 square feet.</p> <ul style="list-style-type: none"> • Minimum site area: 20,000 square feet. • Minimum lot width: 125 feet. <p>Floor area of less than 5,000 square feet.</p> <ul style="list-style-type: none"> • Minimum site area: 10,000 square feet. • Minimum lot width: 100 feet.
Floor Area Ratio:	0.25
Typical Uses*:	Automotive Service and Self-Service Stations; Rental of Automotive Vehicles, Trailers, and Trucks; Restaurants; Motels; Retail Commercial Outlets; Churches and other Houses of Worship; Facilities for Storage and Distribution or Products, including Wholesale Activities; Warehousing (Including Yards); Business and Professional Offices
<p><i>* The typical uses identified above is not intended to be a complete list of permitted uses, may be subject to use-specific standards which may not be met by the subject property, and may not reflect the actual requirements to which potential development may be subject.</i></p>	

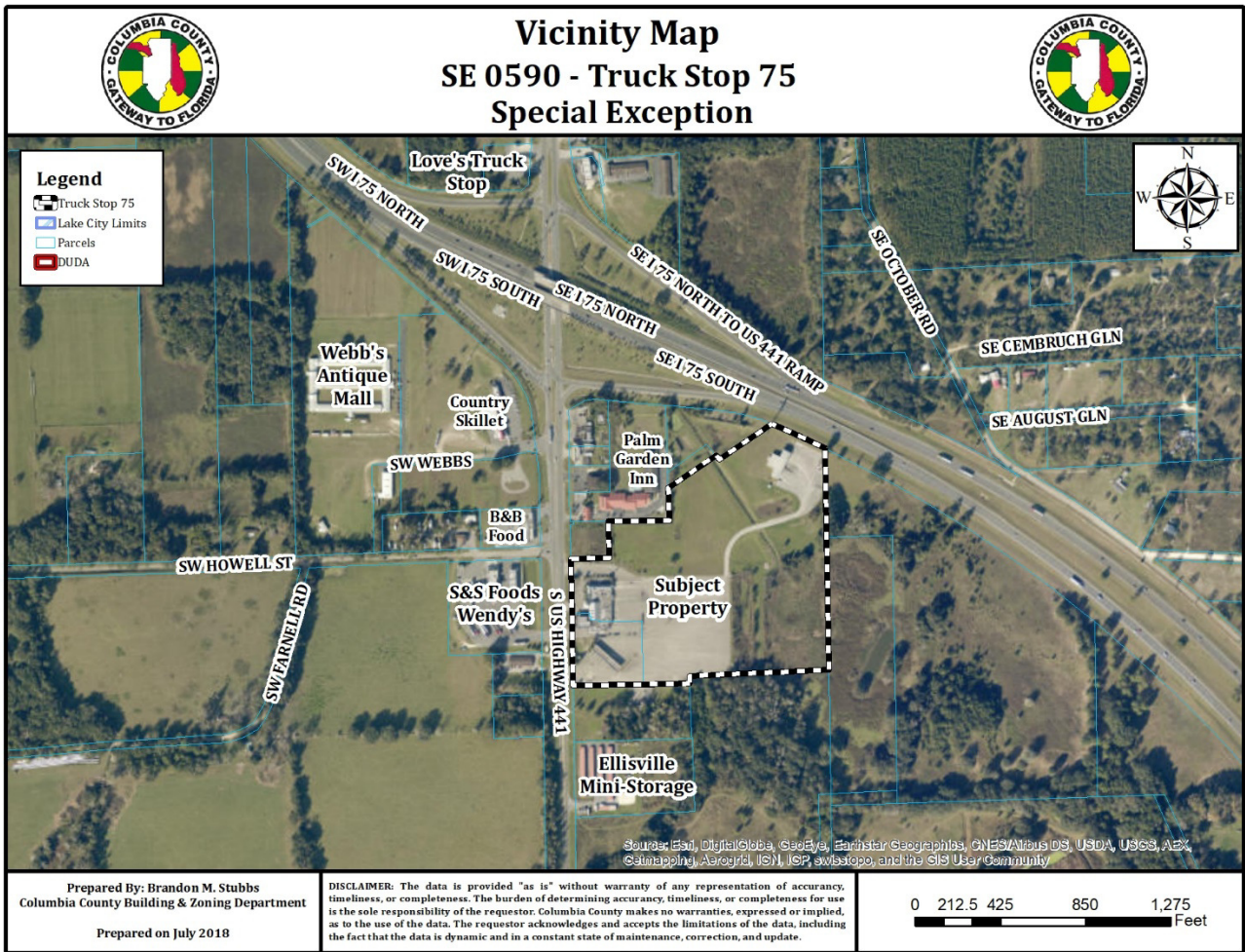
SURROUNDING USES

The existing uses, Future Land Use Map ("FLUM") Designations, and zone districts of the surrounding area are identified in Table 1. Map 2 provides an overview of the vicinity of the subject property.

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	I-75/Palm Garden Inn/ Love's Truck Stop	Highway Interchange	Commercial, Highway Interchange ("CHI")
South	Ellisville Mini-Storage/Vacant Agricultural Lands	Highway Interchange/ Agriculture	Commercial, Highway Interchange ("CHI")/Agriculture- 3 ("A-3")
East	Vacant Agricultural Lands	Agriculture	Agriculture-3 ("A-3")
West	U.S. Highway 441/S&S Food Store/B&B Food Store/SW Howell St/Web's Antique Mall/Country Skillet	Highway Interchange/ Agriculture	Commercial, Highway Interchange ("CHI")

Map 2. Vicinity Map



CONSISTENCY WITH THE COMPREHENSIVE PLAN

Below is a chart of the FLUM Designation and zoning designation consistent with said proposed FLUM Designation.

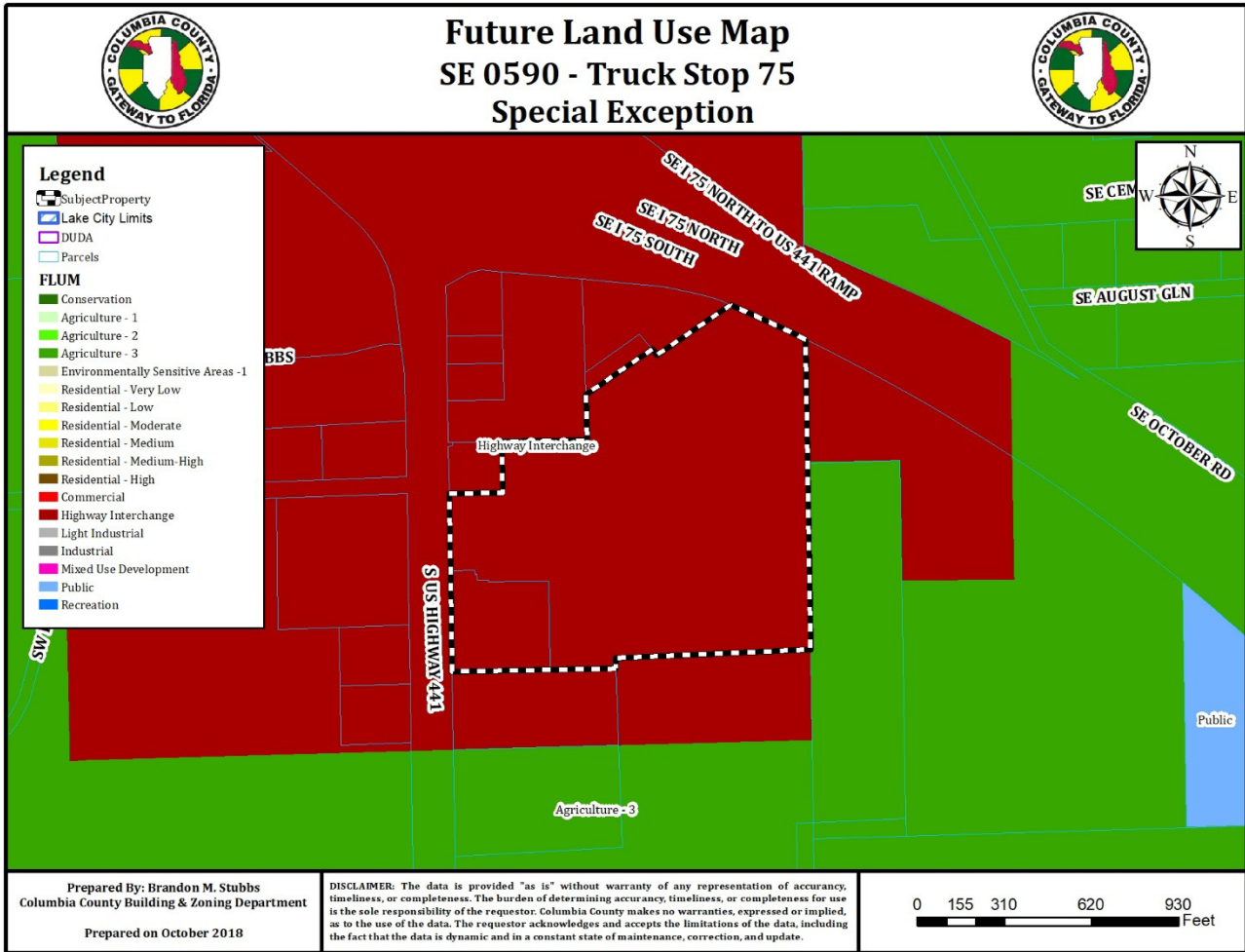
Table 2. Zoning Consistency with Underlying Future Land Use Map Designation

Existing FLUM Designation	Existing Zoning Designation	Consistent
Highway Interchange	Commercial, Highway Interchange ("CHI")	✓

The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed Site Specific Amendment to the Official Zoning Atlas:

- Future Land Use Element
- Transportation Element
- Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element
- Capital Improvements Element

Map 3. Future Land Use Map Designation



Staff has reviewed the application for a Site Specific Amendment to the Official Zoning Atlas for consistency with the Comprehensive Plan and finds the application consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein.

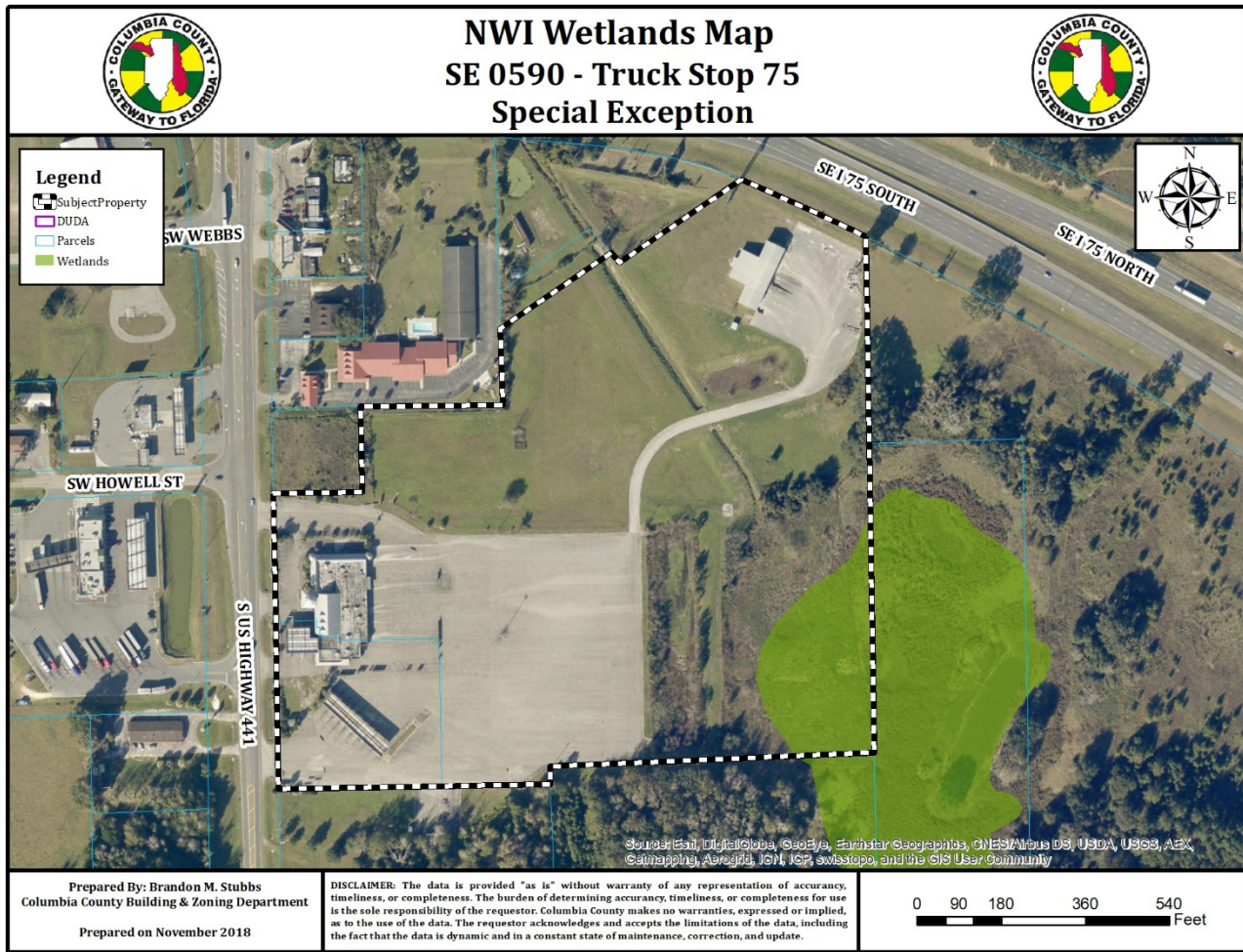
ENVIRONMENTAL CONDITIONS ANALYSIS

Wetlands

According to Illustration A-VI of the Comprehensive Plan, entitled Wetlands Areas, which is based upon the National Wetlands Inventory, dated 1987, and the National Wetlands Reconnaissance Survey, dated 1981, there are wetlands located on the subject property.

Evaluation: Given there is no proposed development within the wetland or wetland setback, there are no issues related to wetland protection.

Map 4. Wetlands Map



Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Columbia County, Florida, dated October 1984. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered, but are separate factors in predicting runoff). There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

There are three (3) soil types found on the subject property:

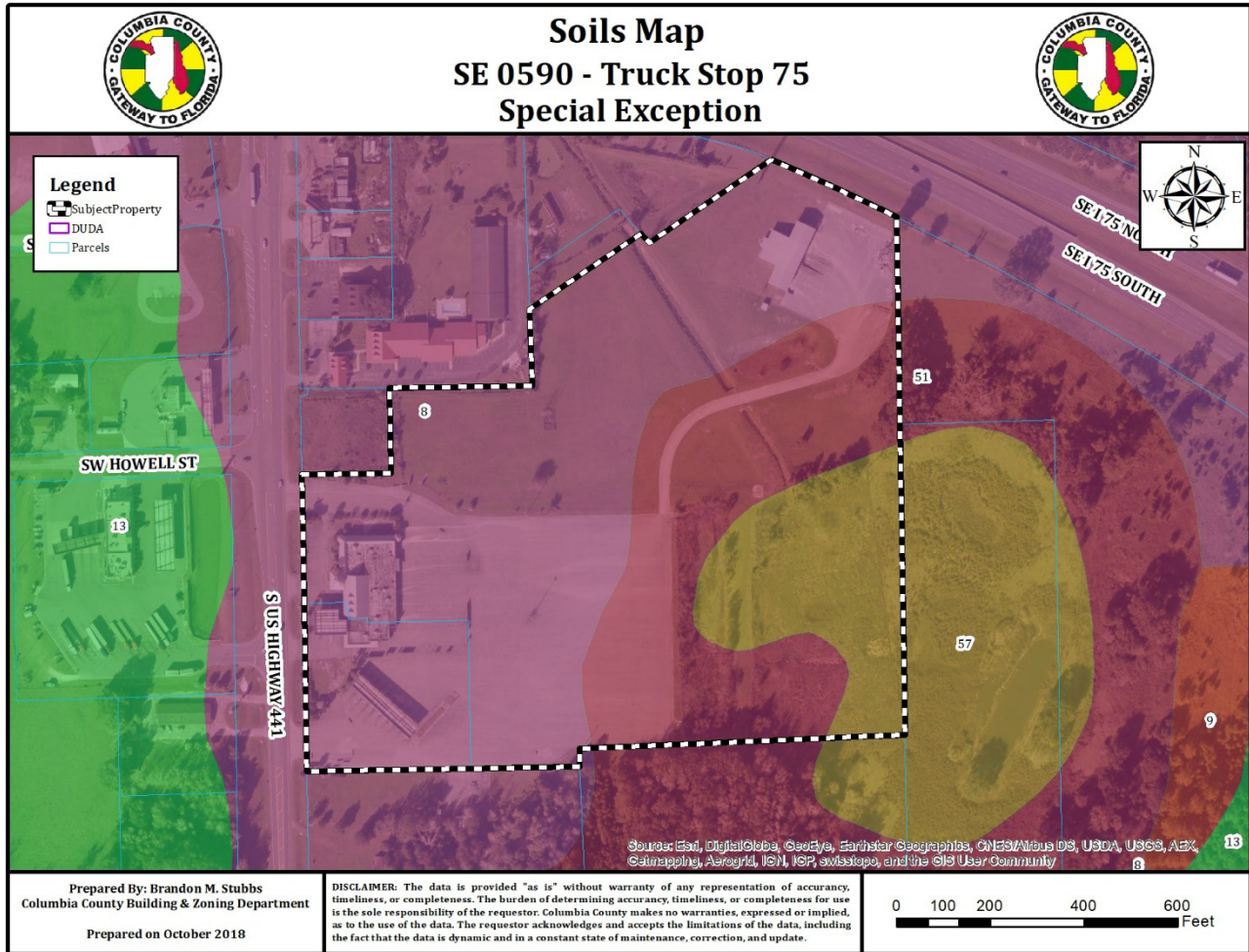
- 1) Blanton fine sand soils (0 to 5 percent slopes) are moderately well drained, nearly level to gently sloping soils on broad ridges and undulating side slopes. The surface and subsurface layers are comprised of fine sand to a depth of 52 inches. The subsoil layer is comprised of fine sandy loam to a depth of 80 inches. Blanton fine sand soils (0 to 5 percent slopes) have slight limitations for building site development and moderate limitations for septic tank absorption fields.
- 2) Plummer fine sand soils are poorly drained, nearly level soils in broad flat areas and adjoining drainageways and ponds. The surface and subsurface layers are comprised of fine sand to a depth of

56 inches. The subsoil layer is comprised of fine sandy loam to a depth of 80 inches or more. Plummer fine sand soils have severe limitations for building site development and septic tank absorption fields.

- 3) Surrency fine sand soils are poorly drained, nearly level soils in depressions, near shallow ponds and along drainageways. The surface and subsurface layers are comprised of fine sand to a depth of 30 inches. The subsoil layer is comprised of sandy clay loam to a depth of 80 inches or more. Surrency fine sand soils have severe limitations for building site development and for septic tank absorption fields.

Evaluation: The soil type predominantly found on the subject property is Blanton Fine Sand Soils. Blanton Fine Sand poses moderate limitations for septic tank absorption field and slight limitations for building sites. At this time, there are no issues related to soil suitability.

Map 5. Soils Map

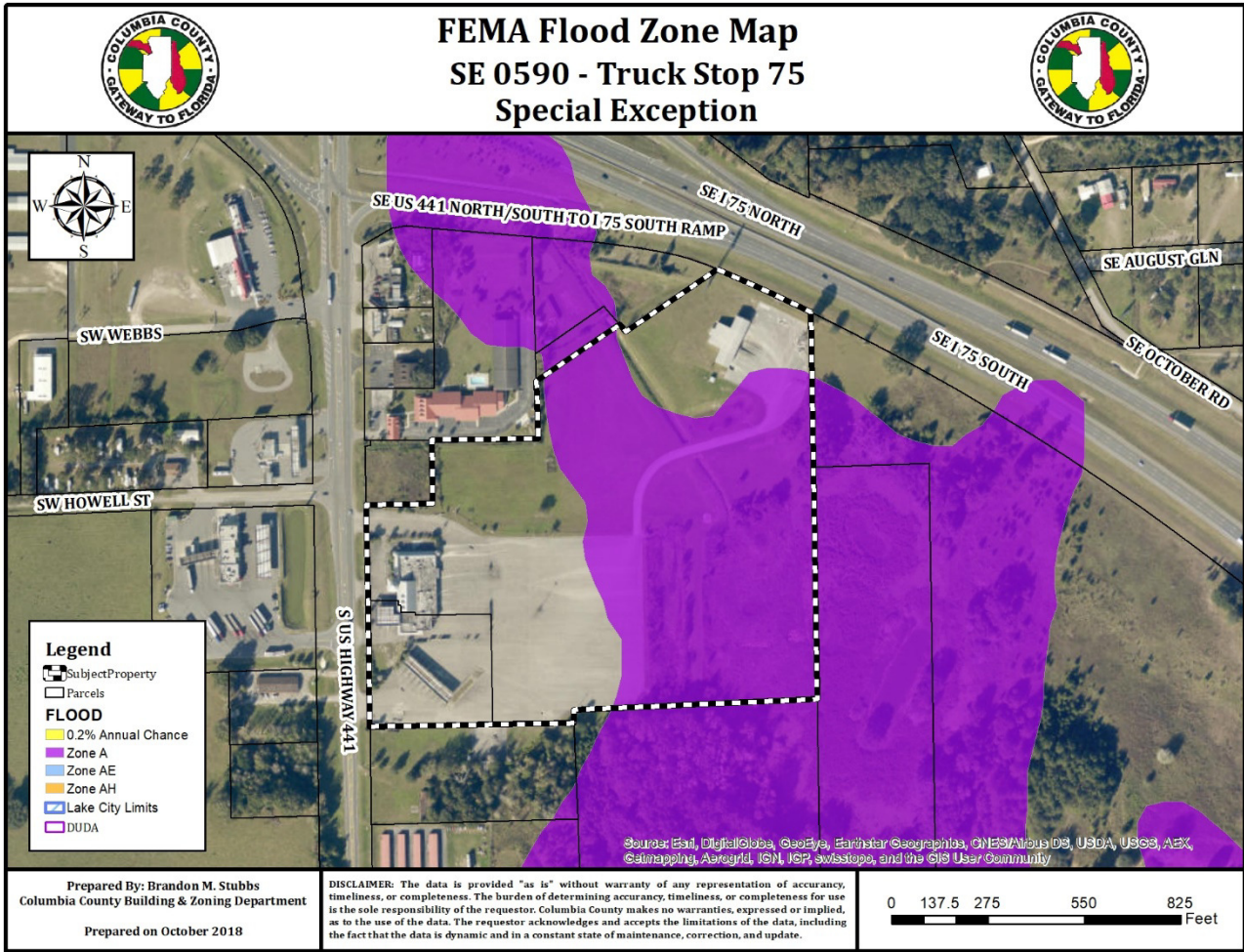


Flood Potential

Panel 0505C of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated February 4, 2009, indicates that the subject property is in Flood Zones "A" (areas determined to be in the 1 percent chance of flood) and "X" (areas determined to be outside of the 500-year floodplain).

Evaluation: Being the area of subject property subject to development is located in Flood Zone "X", there is no concern of flood on the subject property.

Map 6. FEMA FIRM Map (Flood Map)

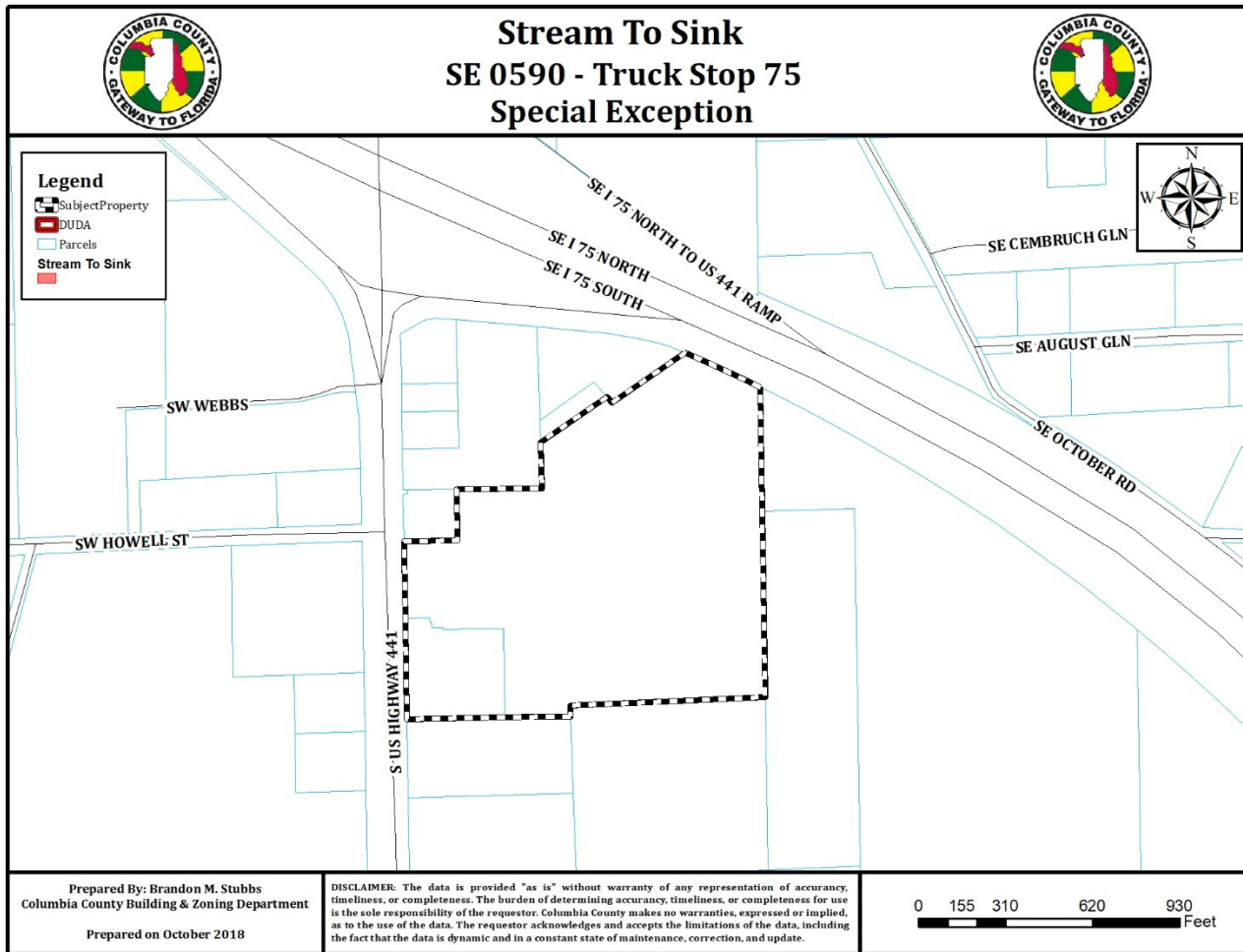


Stream to Sink

According to the Stream to Sink Watersheds, prepared by the Suwannee River Water Management District and adopted by the Board of County Commissioners, dated June 2, 2001, the subject property is not located within a stream to sink area.

Evaluation: Given the subject property is not located within a stream to sink watershed, there is no concern related to Stream to Sink Watersheds.

Map 7. Stream to Sink



Minerals

According to Illustration A-VII of the Comprehensive Plan, entitled Minerals, which is based upon Natural Resources, prepared by the Florida Department of Environmental Protection, 2012, the subject property is within an area known to contain clay sand.

Evaluation: There are no issues related to minerals.

Historic Resources

According to Illustration A-II of the Comprehensive Plan, entitled Historic Resources, which is based upon the Florida Division of Historical Resources, Master Site File, dated 2013, there are no known historic resources located on the subject property.

Evaluation: There are no issues related to historic Resources.

Aquifer Vulnerability

According to the Columbia County Floridan Aquifer System Protection Zone Map, prepared by the Advance GeoSpatial Inc., dated September 29, 2009, the subject property is located in a more vulnerable area.

Evaluation: While the subject property is located in a more vulnerable area, there is no issue related to aquifer vulnerability.

Vegetative Communities/Wildlife

According to Illustration V-I of the Data and Analysis Report, entitled Vegetative Communities, the subject property is located within a non-vegetative community.

Evaluation: There is no known wildlife habitats associated with a non-vegetative community; therefore, there is no issue related to vegetative communities or wildlife.

COMPLIANCE WITH THE COMPREHENSIVE PLAN AND LAND DEVELOPMENT REGULATIONS

The Future Land Use Element of the Comprehensive Plan and Section 12.2.1 of the Land Development Regulations (“LDRs”) establish standards with which all Special Exception applications must be found to be compliant. Staff’s evaluation of the application’s compliance with the applicable standards of the Future Land Use Element of the Comprehensive Plan and Section 12.2.1 of the LDRs is provided below.

- 1) Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

Evaluation and Findings: The applicant has submitted a site plan with the request for a Special Exception that provides means of ingress and egress to the property and proposed structures. There are no issues related to ingress and egress, pedestrian safety, traffic flow and control, or fire access. The applicant shall be required to obtain a permit from the Florida Department of Transportation for access.

- 2) Off-street parking and loading areas, where required, with particular attention to the items in [subsection] (1) above and the economic, noise, glare, or odor effects of the special exception on adjoining properties and properties generally in the district.

Evaluation and Findings: The applicant has met the requirements for off-street parking and loading.

- 3) Refuse and service areas, with particular reference to the items in [subsections] (1) and (2) above.

Evaluation and Findings: The site plan indicates enclosed refuse and service areas; therefore, no issue related to refuse and service areas exits.

- 4) Utilities, with reference to locations, availability, and compatibility.

Evaluation and Findings: The subject property shall be served sanitary sewer and potable water via the county’s community potable water and sanitary sewer system. There are no issues related to utilities.

- 5) Screening and buffering with reference to type, dimensions, and character.

Evaluation and Findings: No buffers are required in accordance with the LDRs.

- 6) Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effects, and compatibility and harmony with properties in the district.

Evaluation and Findings: The applicant is not proposing any advertising signage at this time.

- 7) Required yards and other open space.

Evaluation and Findings: The site plan indicates that the required setback and open space standards have been met.

- 8) Considerations relating to general compatibility with adjacent properties and other property in the district including, but not limited to:

- a) Whether the proposed use would be in conformance with the county's comprehensive plan and would have an adverse effect on the comprehensive plan;

Evaluation and Findings: The proposed use is consistent with the Columbia County Comprehensive Plan. See Comprehensive Plan consistency report in previous section of this report.

- b) Whether the proposed use is compatible with the established land use pattern;

Evaluation and Findings: The Ellisville I-75/US Highway 441 Interchange area predominately consists of automobile service stations and has an existing truck stop. It is not anticipated the proposed use would be incompatible with adjacent uses.

- c) Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;

Evaluation and Findings: The proposed use is not anticipated to increase or overtax the load on public facilities.

- d) Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood;

Evaluation and Findings: Given the proposed use is consistent with the existing uses in the area, it is not anticipated that the proposed use would be advantageous to the community or neighborhood.

- e) Whether the proposed use will adversely influence living conditions in the neighborhood;

Evaluation and Findings: It is not anticipated that the proposed use will adversely influence the living conditions of the neighborhood.

- f) Whether the proposed use will create or excessively increase traffic congestion or otherwise affect public safety;

Evaluation and Findings: The proposed use should not create any impacts to public facilities, including traffic.

- g) Whether the proposed use will create a drainage problem;

Evaluation and Findings: The applicant shall be required to obtain a Suwannee River Water Management District Permit; therefore, the proposed use should not create a drainage problem.

- h) Whether the proposed use will seriously reduce light and air to adjacent areas;

Evaluation and Findings: The proposed amendment will not seriously reduce light or air to adjacent areas.

- i) Whether the proposed use will adversely affect property values in the adjacent area;

Evaluation and Findings: It is not anticipated that the proposed use will affect property values of the adjacent area.

- j) Whether the proposed use will be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and

Evaluation and Findings: It is not anticipated that the proposed use would be a deterrent to the improvement or development of adjacent properties.

- k) Whether the proposed use is out of scale with the needs of the neighborhood or the community.

Evaluation and Findings: It is not anticipated that the proposed use is out of scale with the needs of the neighborhood or the county.

PUBLIC FACILITIES IMPACT

Given the proposed application is for the demolition and reconstruction of the truck service center, the impacts from the proposed development are de minimus.

RESOLUTION NO. BA SE 0590

A RESOLUTION OF THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, GRANTING A SPECIAL EXCEPTION WITH APPROPRIATE CONDITIONS AND SAFEGUARDS AS AUTHORIZED UNDER SECTION 4.15.5(1) OF THE LAND DEVELOPMENT REGULATIONS TO ALLOW FOR A TRUCK STOP AND AUTOMOBILE SERVICE STATION USE WITHIN THE COMMERCIAL, HIGHWAY INTERCHANGE (“CHI”) ZONE DISTRICT ON CERTAIN LANDS WITHIN THE UNINCORPORATED AREA OF COLUMBIA COUNTY, FLORIDA; PROVIDING FOR REVOCATION OF THE SPECIAL EXCEPTION; REPEALING ALL RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Columbia County Land Development Regulations, hereinafter referred to as the Land Development Regulations, empowers the Board of Adjustment of Columbia County, Florida, hereinafter referred to as the Board of Adjustment, to grant, to grant with appropriate conditions and safeguards or to deny special exceptions as authorized under Section 3.2 of the Land Development Regulations;

WHEREAS, a petition for a special exception, as described below, has been filed with the County;

WHEREAS, pursuant to the Land Development Regulations, the Board of Adjustment held the required public hearing, with public notice having been provided, on said petition for a special exception, as described below, and considered all comments received during said public hearing and the Concurrency Management Assessment concerning said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has found that they are empowered under Section 3.2 of the Land Development Regulations to grant, to grant with appropriate conditions and safeguards or to deny said petition for a special exception, as described below;

WHEREAS, the Board of Adjustment has determined and found that the granting with appropriate conditions and safeguards of said petition for special exception, as described below, would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or general welfare;

WHEREAS, the Board of Adjustment has determined and found that the special exception is generally compatible with adjacent properties, other property in the district and natural resources; and

WHEREAS, the Board of Adjustment has determined and found that:

- (a) The proposed use would be in conformance with the Comprehensive Plan and would not have an undue adverse effect on the Comprehensive Plan;
- (b) The proposed use is compatible with the established land use pattern;
- (c) The proposed use will not materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets;
- (d) The proposed use will not have an undue adverse influence on living conditions in the neighborhood;
- (e) The proposed use will not create or excessively increase traffic congestion or otherwise affect public safety;
- (f) The proposed use will not create a drainage problem;
- (g) The proposed use will not seriously reduce light and air to adjacent areas;
- (h) The proposed use will not adversely affect property values in the adjacent areas;

- (i) The proposed use will not be a deterrent to the improvement or development of adjacent property in accord with existing regulations; and
- (j) The proposed use is not out of scale with the needs of the neighborhood or the community.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, THAT:

Section 1. Pursuant to a petition SE 0590, a petition by Tori Humphries of North Florida Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception be granted as provided for in Section 4.15.5(1) of the Land Development Regulations to allow for a Truck Stop and Automobile Service Station use within the Commercial, Highway Interchange ("CHI") Zone District. The special exception has been filed in accordance with a site plan dated October 16, 2018 and submitted as part of a petition dated October 16, 2018, to be located on property described, as follows:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3 AND THE POINT OF BEGINNING; THENCE SOUTH 87°31'51" WEST ALONG THE SOUTH LINE OF SAID NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 00°59'23" EAST A DISTANCE OF 38.34 FEET; THENCE SOUTH 89°03'59" WEST A DISTANCE OF 232.64 FEET; THENCE NORTH 00°56'04" WEST A DISTANCE OF 315.89 FEET; THENCE SOUTH 89°07'16" WEST A DISTANCE OF 215.40 FEET; THENCE NORTH 01°04'29" WEST A DISTANCE OF 7.86 FEET; THENCE SOUTH 89°11'12" WEST A DISTANCE OF 40.55 FEET; THENCE NORTH 00°59'34" WEST A DISTANCE OF 19.66 FEET; THENCE SOUTH 89°07'16" WEST A DISTANCE OF 6.50 FEET; THENCE NORTH 00°59'34" WEST A DISTANCE OF 15.69 FEET; THENCE SOUTH 88°14'20" WEST A DISTANCE OF 87.38 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441; THENCE NORTH 00°56'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 274.68 FEET; THENCE NORTH 89°05'42" EAST A DISTANCE OF 189.88 FEET; THENCE NORTH 00°53'50" WEST A DISTANCE OF 190.13 FEET; THENCE NORTH 89°02'31" EAST A DISTANCE OF 310.07 FEET; THENCE NORTH 00°58'38" WEST A DISTANCE OF 160.55 FEET; THENCE NORTH 55°24'08" EAST A DISTANCE OF 582.14 FEET TO A POINT ON THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75; THENCE SOUTH 66°00'13" EAST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75 A DISTANCE OF 94.41 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 6769.49 FEET AND A CENTRAL ANGLE OF 01°56'59"; THENCE SOUTHEASTERLY ALONG THE ARC, BEING ALSO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, A DISTANCE OF 230.36 FEET TO A POINT ON THE EAST LINE OF SECTION 3; THENCE SOUTH 00°53'00" EAST ALONG SAID EAST LINE OF SECTION 3 A DISTANCE OF 441.31 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST ¼ OF SECTION 3; THENCE CONTINUE SOUTH 00°53'00" EAST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 667.35 FEET TO THE POINT OF BEGINNING. LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE BOARD OF COUNTY COMMISSIONERS BY DEED RECORDED AUGUST 7, 2013 IN OFFICIAL RECORDS BOOK 1259, PAGE 1301 OF COLUMBIA COUNTY RECORDS.

ALSO

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3; THENCE SOUTH 87°31'51" WEST ALONG THE SOUTH LINE OF SAID NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 00°59'23" EAST A DISTANCE OF 38.34 FEET; THENCE

SOUTH 89°03'59" WEST A DISTANCE OF 232.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°03'59" WEST A DISTANCE OF 349.87 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441; THENCE NORTH 00°56'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 358.14 FEET; THENCE NORTH 88°14'20" EAST A DISTANCE OF 87.38 FEET; THENCE SOUTH 00°59'34" EAST A DISTANCE OF 15.69 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 6.50 FEET; THENCE SOUTH 00°59'34" EAST A DISTANCE OF 19.66 FEET; THENCE NORTH 89°11'12" EAST A DISTANCE OF 40.55 FEET; THENCE SOUTH 01°04'29" EAST A DISTANCE OF 7.86 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 215.40 FEET; THENCE SOUTH 00°56'04" EAST A DISTANCE OF 315.89 FEET TO THE POINT OF BEGINNING.

Containing 26.08 acres, more or less.

Tax Parcel 03-6s-17-09588-000 & 03-6s-17-09588-001

Section 2. The Planning and Zoning Board, hereby approves the above referenced special exception subject to any conditions and safeguards, if any, hereinafter attached in Exhibit "A". If compliance with any of the conditions of special exception causes substantial deviation in the approved site plan, the applicant shall be required to submit a new special exception application and receive Planning & Zoning Board approval in accordance with the Land Development Regulations.

Section 3. A site plan, as described above, is herewith incorporated into this resolution by reference, shall govern the development and use of the above described property. Any deviation from the site plan shall be deemed a violation of the Land Development Regulations.

Section 4. The use of land approved by this special exception shall be in place, or a valid permit shall be in force for the construction of such land use within twelve (12) months of the effective date of this resolution. If such land use is not in place or if a valid permit for the construction of such land use is not in effect, within twelve (12) months of the effective date of this resolution, this resolution granting with appropriate conditions and safeguards such special exception is thereby revoked and of no force and effect.

Section 5. If the use of land approved by this special exception ceases for any reason for a period of more than six (6) consecutive months, this resolution shall be thereby revoked and of no force and effect.

Section 6. All resolutions or portions of resolutions in conflict with this resolution are hereby repealed to the extent of such conflict.

Section 7. This resolution shall become effective upon adoption.

PASSED AND DULY ADOPTED, in special session with a quorum present and voting, by the Board of Adjustment this 20th day of November 2018.

Attest:

BOARD OF ADJUSTMENT OF
COLUMBIA COUNTY, FLORIDA

Brandon M. Stubbs, Secretary to the
Board of Adjustment

Robert F. Jordan, Chairman

EXHIBIT "A"
CONDITIONS OF APPROVAL OF SE 0590

- 1) The applicant must provide a detailed fire prevention plan demonstrating compliance with the required ISO fire flows and Chapter 18 of the Florida Fire Prevention Code.
- 2) The applicant must provide documentation demonstrating compliance with Section 4.22.4 "Ellisville Overlay District" regulations.



Columbia County Gateway to Florida

FOR PLANNING USE ONLY
Application # SE <u>0590</u>
Application Fee \$750.00
Receipt No. <u>4971</u>
Filing at <u>October 16, 2018</u>
Completeness at <u>October 31, 2018</u>

Special Exception Application

A. PROJECT INFORMATION

- Project Name: Truck Stop 75, LLC
- Address of Subject Property: 14197 US Highway 441, Lake City, FL 32024
- Parcel ID Number(s): 03-6S-17-09588-000
- Future Land Use Map Designation: Highway Interchange
- Zoning Designation: CHI - Commercial Highway Interchange
- Acreage: 26.08 AC
- Existing Use of Property: Convenience Store/Restaurant/Truck Stop
- Proposed use of Property: Convenience Store/Restaurant/Truck Stop/Automobile Service Station
- Section of the Land Development Regulations ("LDRs") for which a Special Exception is requested (Provide a Detailed Description): 4.15.5 #2 - Truck stops and automobile service stations, the owners would like to reopen the existing property as an automobile service station. One of the prior uses of the property was a service station.

B. APPLICANT INFORMATION

- Applicant Status Owner (title holder) Agent
- Name of Applicant(s): Tori Humphries Title: Project Manager
 Company name (if applicable): North Florida Professional Services, Inc.
 Mailing Address: PO Box 3823
 City: Lake City State: FL Zip: 32056
 Telephone: (386) 752-4675 Fax: () Email: thumphries@nfps.net

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

- If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Sardorbek Isametdinov, Truck Stop 75, LLC
 Mailing Address: 4302 W Broward Blvd., Suite 500
 City: Plantation State: FL Zip: 33317
 Telephone: (386) 758-0072 Fax: () Email: flgatewaytruckstop@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: NO
If yes, is the contract/option contingent or absolute: Contingent Absolute
- 2. Has a previous application been made on all or part of the subject property:
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. CPA _____
Rezoning Amendment: Yes _____ No _____
Rezoning Amendment Application No. Z _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. Z _____
Variance: Yes _____ No _____
Variance Application No. V _____
Special Exception: Yes 08/23/18 Board Hearing No _____
Special Exception Application No. SE 0587

D. ATTACHMENT/SUBMITTA REQUIREMENTS

- 1. Analysis of Section 12.2.1.(3)(h) of the Land Development Regulations (“LDRs”):
 - a. Whether the proposed use would be in conformance with the county's comprehensive plan and would have an adverse effect on the comprehensive plan.
 - b. Whether the proposed use is compatible with the established land use pattern.
 - c. Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets.
 - d. Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood.
 - e. Whether the proposed use will adversely influence living conditions in the neighborhood.
 - f. Whether the proposed use will create or excessively increase traffic congestion or otherwise affect public safety.
 - g. Whether the proposed use will create a drainage problem.
 - h. Whether the proposed use will seriously reduce light and air to adjacent areas.
 - i. Whether the proposed use will adversely affect property values in the adjacent area.
 - j. Whether the proposed use will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
 - k. Whether the proposed use is out of scale with the needs of the neighborhood or the community

2. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

3. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percentage of property covered by structures.
 - l. Location of trash receptacles.

4. Stormwater Management Plan – Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.

5. Fire Department Access and Water Supply Plan : The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

6. Currency Impact Analysis: Currency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

7. Comprehensive Plan Consistency Analysis: A analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
8. Legal Description with Tax Parcel Number (In Microsoft Word Format).
9. Proof of Ownership (i.e. deed).
10. Agent Authorization Form (signed and notarized).
11. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
12. Fee. The application fee for a Special Exception Application is \$750. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All twelve (12) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Board of Adjustment.

A total of ten (10) copies of proposed Special Exception Application and support material, and a PDF copy on a CD, are required at the time of submittal. See Columbia County submittal requirements for more detail.

Before a Special Exception shall be granted, the Board of Adjustment shall make a specific finding that it is empowered under Article 4 of the Land Development Regulations to grant the Special Exception described in the petition, and that the granting of the Special Exception will not adversely affect the public interest. Before a Special Exception shall be granted, the Board of Adjustment shall further make a determination that the specific rules governing the individual Special Exception, if any, have been met by the petitioner and that, further, satisfactory provisions and arrangements have been made.

In granting a Special Exception to the provisions of Article 4 of the Land Development Regulations, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with such regulations, including but not limited to, reasonable time limits within which the action for which the Special Exception requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the Special Exception is granted, shall be deemed a violation of the Land Development Regulations.

The Board of Adjustment requires that the applicant or representative be present at the public hearing to address and answer any questions the Board may have during the public hearing. The application may be continued to future dates if the applicant or representative is not present at the hearing.

The Columbia County Land Development Regulations require that a sign must be posted on the property ten (10) days prior to the Board to Adjustment hearing date. Once a sign has been posted, it is the property owner's responsibility to notify the Planning and Zoning Department if the sign has been moved, removed from the property, torn down, defaced or otherwise disturbed so the property can be reposted. If the property is not properly posted until all public hearings before the Board of Adjustment are completed, the Board reserves the right to continue such public hearing until such time as the property can be property posted for the required period of time.

There is a thirty (30) day appeal period after the date of the decision. No additional permitting will be issued until that thirty (30) day period has expired.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR REPRESENTATIVE MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT, OTHERWISE THE REQUEST MAYBE CONTINUED TO A FUTURE HEARING DATE.

Tori Humphries, NFPS

Applicant/Agent Name (Type or Print)

Tori Humphries

Applicant/Agent Signature

10/8/18

Date



October 8, 2018

RE: Truck Stop 75, LLC - Special Exception Attachment/Submittals

1. Analysis of Section 12.2.1(3)(h) of the Land Development Regulations (“LDRs”)
 - a. Whether the proposed use would be in conformance with the county’s comprehensive plan and would not have an adverse effect on the comprehensive plan.
The proposed commercial development is in conformance with the County’s Comp Plan.
 - b. Whether the proposed use is compatible with the established use pattern.
The proposed use is compatible with the current land use pattern, (Commercial Highway Interchange). There are current businesses located at the US Highway 41 and I-75 interchange with the same proposed use.
 - c. Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities and streets.
The proposed use would not alter the population density patterns as the type of use matches the current business use in the area.
 - d. Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood.
The proposed use is the same as the current use conditions at the intersection of US Highway 41 and I-75.
 - e. Whether the proposed use will adversely influence living conditions in the neighborhood.
The proposed use will not adversely affect the living conditions in the surrounding neighborhood as it is similar to the current businesses in the area.
 - f. Whether the proposed use will create or excessively increase traffic congestion or otherwise affect public safety.
The proposed use traffic pattern allows for movement within the proposed site with connections to the State Highway system.
 - g. Whether the proposed use will create a drainage problem.
The proposed use has an existing Suwannee River Water Management District ERP permit, ERP-023-204613-2. The existing stormwater ponds were previously constructed onsite.
 - h. Whether the proposed use will seriously reduce light and air to adjacent areas.
There will be no reduction in light or air for the adjacent areas. The proposed facility will replace an existing structure and be placed in a different location on the subject property.
 - i. Whether the proposed use will adversely affect property values in the adjacent area.
The proposed use will not adversely affect property values and was a previously operating business on the subject property.
 - j. Whether the proposed use will be a deterrent to the improvement or development of adjacent property in accord with the existing regulations.
The proposed use is similar to the surrounding development at the intersection of US Highway 41 and I-75.
 - k. Whether the proposed use is out of scale with the needs of the neighborhood or the community.

The proposed use is consistent with the current businesses at the intersection of US Highway 41 and I-75.

**CONCURRENCY
WORKSHEET**

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Service Station - Open more than 16 hours	325	0.00	0.00
Total		Total	0

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. **The # of bathrooms/showers will not be affected by the development of the service center.**

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Service Station - Open more than 16 hours	325	0.00	0.00
Total		Total	0

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. **The # of bathrooms/showers will not be affected by the development of the service center.**

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Total Floor Area*	Total (Lbs Per Day)
Tire Service Center	5.50	11.25	61.88

*Per thousand square feet (i.e. 11,250 sq ft / 1,000 = 11.25)

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Expected Units	Total ADT	Total PM Peak
848	Tire Store*	24.87	0.41	11.25	279.79	4.61
				Pre-Total	280	5
Internal Capture Rate 13% (per a previous study performed at the intersection with I-75)					36	1
Pass-by Capture Rate 46% (per a previous study performed at the intersection with I-75)					129	2
				Total	115	2

*per thousand square feet (i.e. (New Building (11,250 sq ft)/ 1,000 = 11.25)

Traffic System Category	US 441 Segment 10	US 441 Segment 11	I 75 Segment 18 North	I 75 Segment 18 South
Projected Daily Trips	4	10	52	49
Projected PM Peak Hour Trips	0	0	1	1



Comprehensive Plan Consistency Analysis

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE COUNTY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

Objective I.1 The county shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The proposed commercial use is consistent with the types of uses allowed by the Highway Interchange category. The property is located on US Highway 41 in an urban development area and is surrounded by other urban developments similar to what is proposed on the commercial site.

Policy I.1.1 The county shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the county shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The proposed commercial site is located on US Highway 41 a State Highway and there are public facilities available to support the high density and intensity. The proposed use was the same as its prior use prior to the closing of the business. The existing building will be demolished and moved to a different location on the subject property.

Policy I.1.2 The county's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The subject property is located within an area that currently has Commercial Highway Interchange designations to the north, south and the west. There are also public facilities provided to sufficiently serve the proposed commercial development.

Policy I.1.3 The county's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: The subject property is located at the intersection of US Highway 41 and I-75. This section of US Highway 41 is a multi-lane road with commercial development located on both sides. The subject property was previously developed and operated previously with the same business use.

Policy I.1.4 The county shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The subject property is located at the intersection of US Highway 41 and I-75 and will have no adverse impacts on the existing land uses.

Policy I.1.5 The county shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: The commercial development on the subject property was previously designed and built in accordance with the design standards of the County and regulating agencies with jurisdiction.

Policy I.1.6 The county's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the county. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed commercial development currently meets the County LDR's for Commercial land use with 0.25 floor area ratio.

Parcel Identification No: 03-6S-17-09588-001

This Instrument Prepared By
and Return to:

BJ REEVES, TERRA DOC PREP
TOWN & COUNTRY TITLE GUARANTY OF HOLLYWOOD, INC.
1779 N. UNIVERSITY DRIVE, SUITE 202
PEMBROKE PINES, FLORIDA 33024
Our File No.: 18-0357M

QUITCLAIM DEED

This Quitclaim Deed, made this 30 day of April, 2018, between S.M. MAAPS, INC., A FLORIDA CORPORATION, whose address is 7717 NW 20 LANE, GAINESVILLE, FL 32605, Grantor, and TRUCK STOP 75 LLC, A FLORIDA LIMITED LIABILITY COMPANY, whose address is 4302 W. BROWARD BLVD, SUITE 500, PLANTATION, FL 33317, Grantee.

Witnesseth, that the Grantor, for and in consideration of the sum of -----TEN & NO/100 (\$10.00)-----
-----DOLLARS, and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt of which is hereby acknowledged, has granted, bargained and quitclaimed to the said Grantee and Grantee' heirs and assigns forever, the following described land, situate, lying and being in the County of COLUMBIA, State of Florida, to-wit:

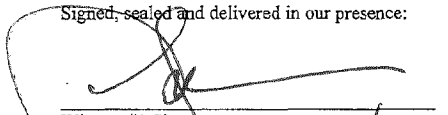
SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Subject to easements, restrictions and reservations of record and to taxes for the year 2007 and thereafter.

To Have and to Hold the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of Grantor, either in law or equity, for the use, benefit and profit of the said Grantee forever.

In Witness Whereof, the Grantor has herunto set it hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:



Witness #1 Signature
Joseph M. Mintz

Witness #1 Printed Name
Waterbury

Witness #2 Signature
Waterbury

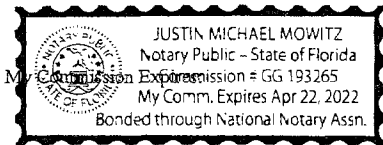
Witness #2 Printed Name

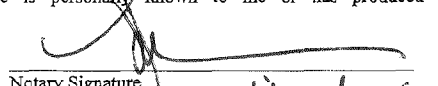
S.M. MAAPS, INC., A FLORIDA CORPORATION
By: 
MICHEL P. MOUKHTARA, PRESIDENT

STATE OF FLORIDA
COUNTY OF Alachua

The foregoing instrument was acknowledged before me this 30th day of April, 2018, by MICHEL P. MOUKHTARA, PRESIDENT of S.M. MAAPS, INC., A FLORIDA CORPORATION, A FLORIDA CORPORATION on behalf of the corporation. He/She is personally known to me or has produced FCR as identification.

SEAL





Notary Signature
Justin M. Mowitz

Printed Notary Name

File # 18-0357M

EXHIBIT "A"

BEGIN at the Northeast corner of the Southeast 1/4 of Section 3, Township 6 South, Range 17 East, Columbia County, Florida and run S.00°53'37"E. along the East line of said Section 3 a distance of 667.20 feet to the Southeast corner of the North 1/2 of the Northeast 1/4 of the Southeast 1/4; thence S.87°33'16"W. along the South line of said North 1/2 of the Northeast 1/4 of the Southeast 1/4 a distance of 694.11 feet; thence S.00°56'01"E. 38.27 feet; thence S.89°03'59"W. 580.80 feet to a point on the Easterly Right-of-Way line of U.S. Highway No. 41 & 441 (State Rd. No. 25); thence N.00°56'01"W. along said Easterly Right-of-Way line 633.12 feet to the Southwest corner of a parcel of land described in O.R. Book 762, Page 704; thence N.89°03'59"E. along the South line of said parcel of land 190.00 feet; thence N.01°16'54"W. along the East line of said parcel of land 176.82 feet; thence N.89°06'44"E. 310.39 feet; thence N.00°55'45"W. 160.39 feet; thence N.55°25'56"E. 582.12 feet to a point on the Southerly Limited Access Right-of-Way line of Interstate Highway No.75; thence S.66°02'02"E. along said Southerly Limited Access Right-of-Way line 94.22 feet to the point of curve of a curve concave to the South having a radius of 6769.49 feet and a central angle of 01°56'35", said curve also having a Chord bearing and distance of S.65°03'45"E. 229.56 feet; thence Easterly along the arc of said curve, being also said Southerly Limited Access Right-of-Way line of Interstate Highway No. 75 a distance of 229.57 feet to a point on the East line of Section 3, Township 6 South, Range 17 East; thence S.00°53'37"E. along said East line 442.31 feet to the POINT OF BEGINNING.

LEGAL DESCRIPTION FOR QUIT CLAIM DEED

THIS INSTRUMENT PREPARED BY AND RETURN TO:

BJ REEVES, ESQ.

TERRA DOC PREP

1779 N. UNIVERSITY DRIVE, SUITE 202

PEMBROKE PINES, FLORIDA 33024

Property Appraisers Parcel Identification (Folio) Numbers: **03-6S-17-09588-000**

Florida Documentary Stamps in the amount of **\$25,822.30** have been paid hereon.

SPACE ABOVE THIS LINE FOR RECORDING DATA

WARRANTY DEED

THIS WARRANTY DEED, made the 30 day of April 2018 by **HOLIDAY PLAZA, INC., A FLORIDA CORPORATION** whose address is **7717 NW 20 LANE, GAINESVILLE, FLORIDA 32605**, herein called the grantor, to **TRUCK STOP 75 LLC, A FLORIDA LIMITED LIABILITY COMPANY** whose post office address is **4302 W. BROWARD BLVD, SUITE 500, PLANTATION, FL 33317**, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in COLUMBIA County, State of Florida, viz.:

SEE EXHIBIT 'A' ATTACHED FOR LEGAL DESCRIPTION

Subject to easements, restrictions and reservations of record and taxes for the year 2018 and thereafter.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.


TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2017.

18-03704

WARRANTY DEED
PAGE 2

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.
Signed, sealed and delivered in the presence of:

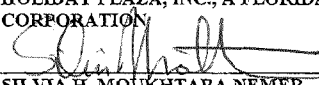


Witness #1 Signature
Justin M. Mintz

Witness #1 Printed Name
Waterbury

Witness #2 Signature
Waterbury

Witness #2 Printed Name

HOLIDAY PLAZA, INC., A FLORIDA CORPORATION
By: 

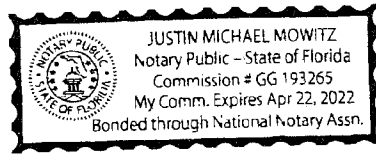
SILVIA H. MOUKHTARA NEMER,
PRESIDENT

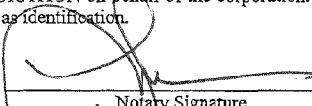
STATE OF Florida
COUNTY OF Alachua

The foregoing instrument was acknowledged before me this 30 day of April 2018 by SILVIA H. MOUKHTARA NEMER, PRESIDENT of HOLIDAY PLAZA, INC., A FLORIDA CORPORATION on behalf of the corporation. He/She is personally known to me or has produced _____ as identification.

SEAL

My Commission Expires:





Notary Signature
Justin M. Mintz

Printed Notary Signature

EXHIBIT "A" LEGAL DESCRIPTION

COMMENCE at the Southeast corner of Section 3, Township 6 South, Range 17 East, Columbia County, Florida and run North 00°53'00" West along the East line of Section 3 a distance of 2001.34 feet to the Southeast corner of the North 1/2 of the Northeast 1/4 of the Southeast 1/4 of Section 3 and the POINT OF BEGINNING; thence South 87°31'51" West along the South line of said North 1/2 of the Northeast 1/4 of the Southeast 1/4 of Section 3 a distance of 693.94 feet; thence South 00°59'23" East a distance of 38.34 feet; thence South 89°03'59" West a distance of 232.64 feet; thence North 00°56'04" West a distance of 315.89 feet; thence South 89°07'16" West a distance of 215.40 feet; thence North 01°04'29" West a distance of 7.86 feet; thence South 89°11'12" West a distance of 40.55 feet; thence North 00°59'34" West a distance of 19.66 feet; thence South 89°07'16" West a distance of 6.50 feet; thence North 00°59'34" West a distance of 15.69 feet; thence South 88°14'20" West a distance of 87.38 feet to a point on the East Right-of-Way line of U.S. Highway 41 & 441; thence North 00°56'04" West along said East Right-of-Way line of U.S. Highway 41 & 441 a distance of 274.68 feet; thence North 89°05'42" East a distance of 189.88 feet; thence North 00°53'50" West a distance of 190.13 feet; thence North 89°02'31" East a distance of 310.07 feet; thence North 00°58'38" West a distance of 160.55 feet; thence North 55°24'08" East a distance of 582.14 feet to a point on the Southerly Limited Access Right-of-Way line of Interstate 75; thence South 66°00'13" East along said Southerly Limited Access Right-of-Way line of Interstate 75 a distance of 94.41 feet to the point of curve of a curve concave to the Southwest having a radius of 6769.49 feet and a central angle of 01°56'59"; thence Southeasterly along the arc, being also the Southerly Limited Access Right-of-Way line of Interstate 75, a distance of 230.36 feet to a point on the East line of Section 3; thence South 00°53'00" East along said East line of Section 3 a distance of 441.31 feet to the Northeast corner of the Southeast 1/4 of Section 3; thence continue South 00°53'00" East along the East line of Section 3 a distance of 667.35 feet to the POINT OF BEGINNING. LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE BOARD OF COUNTY COMMISSIONERS BY DEED RECORDED AUGUST 7, 2013 IN OFFICIAL RECORDS BOOK 1259, PAGE 1301 OF COLUMBIA COUNTY RECORDS.



[Department of State](#) [Division of Corporations](#) [Search Records](#) [Detail By Document Number /](#)

Detail by Entity Name

Florida Limited Liability Company
TRUCK STOP 75 LLC m

Filing Information

Document Number L18000028759
FEI/EIN Number NONE
Date Filed 02/01/2018
Effective Date m 01/31/2018
State FL
Status m ACTIVE
Last Event LC AMENDMENT
Event Date Filed m 07/02/2018
Event Effective Date NONE

Principal Address

14197 S US HIGHWAY 441
LAKE CITY, FL 32024

Changed: 07/10/2018

Mailing Address

14197 S US HIGHWAY 441
LAKE CITY, FL 32024

Changed: 07/10/2018

Registered Agent Name & Address

ASKEROV, CHINGIZ A
4302 W BROWARD BLVD
SUITE 800
PLANTATION, FL 33317

Authorized Person(s) Detail

Name & Address

Title CEO

ASKEROV, CHINGIZ
4302 W BROWARD BLVD SUITE 500
PLANTATION, FL 33317

Title MGRm

C

ISAMETDI , SARD BEK
4302W BR ARD BLVD SUITE 500
PLA TATI , FL 33317

Title F

ISAMETDI O SARD BEK
4302W BR ARD BLVD
SUITE 500
PLA TATI , FL 33317

Annual Reports

No Annual Reports Filed

Document Images

[07/02/2018 -- L Amendment](#)

[View image in PDF format](#)

[02/01/2018 -- Florida Limited Liability](#)

C

July 12, 2018

Subject: Authorized Agent

Dear Sir or Madam:

This letter authorizes **Tori Humphries with North Florida Professional Services, Inc.** to sign on behalf of Truck Stop 75 LLC as "Authorized Agent" in any and all Permitting matters, with regards to Columbia County Parcel No. 03-6S-17-09588-000.

Respectfully,

Sardorbek Isametdinov
Truck Stop 75, LLC

STATE OF FLORIDA
COUNTY OF Columbia

SWORN AND SUBSCRIBED BEFORE ME
THIS 12th DAY OF July, 2018
BY Sardorbek Isametdinov
WHO IS/ARE PERSONALLY KNOWN TO ME OR HAS/HAVE
PRODUCED FL Drivers License
AS IDENTIFICATION.



Notary Public, Commission No. 923416

(Name of Notary typed, printed, or stamped.)

Columbia County Tax Collector

generated on 7/13/2018 10:35:37 AM EDT

Tax Record

Last Update: 7/13/2018 10:35:38 AM EDT



Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R09588-000	REAL ESTATE	2017			
Mailing Address HOLIDAY PLAZA INC 7717 NW 20TH LN GAINESVILLE FL 32605		Property Address 14197 US HIGHWAY 441 S LAKE CITY GEO Number 036S17-09588-000			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	003				
Legal Description (click for full description)					
03-6S-17 2620/2620 26.08 Acres COMM AT SE COR OF SEC, RUN N 2001.34 FT FOR POB, RUN WEST 693.94 FT, S 38.34 FT, WEST 232.64 FT, N 315.89 FT, WEST 215.40 FT, N 7.86 FT, W 40.55 FT, N 19.66 FT, W 6.50 FT, N 15.69 FT, W 87.38 FT TO E R/W OF US HWY 441, N ALONG R/W See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	8.0150	1,109,992	0	\$1,109,992	\$8,896.59
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	1,109,992	0	\$1,109,992	\$830.27
LOCAL	4.3200	1,109,992	0	\$1,109,992	\$4,795.17
CAPITAL OUTLAY	1.5000	1,109,992	0	\$1,109,992	\$1,664.99
SUWANNEE RIVER WATER MGT DIST	0.4027	1,109,992	0	\$1,109,992	\$446.99
LAKE SHORE HOSPITAL AUTHORITY	0.9620	1,109,992	0	\$1,109,992	\$1,067.81
Total Millage		15.9477	Total Taxes		\$17,701.82
Non-Ad Valorem Assessments					
Code	Levying Authority	Amount			
FFIR	FIRE ASSESSMENTS	\$3,160.93			
Total Assessments		\$3,160.93			
Taxes & Assessments		\$20,862.75			
If Paid By		Amount Due			

	\$0.00
--	---------------

Date Paid	Transaction	Receipt	Item	Amount Paid
11/21/2017	PAYMENT	9920565.0001	2017	\$20,028.24

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES



October 31, 2018

Brandon Stubbs
County Planner/LDR Admin.
Columbia County
135 NE Hernando Avenue
Lake City, FL 32055

Subject: Request for Additional Information for SE 0590 – Truck Stop 75 – Repair Facility,
Columbia County

Brandon:

This letter is in response to the above Special Exception Permit and the requests for additional information emails. Please see the requested information below:

Chad Williams:

1. Stormwater Calculations – **Attached is the SRWMD permit, ERP96-0070 for the project along with a copy of the previously approved calculations. Please refer to Sheet #5 of the construction plans and the note that references the impervious areas.**
2. Utility demand calculations and permit application if the plan is to connect to County Utility – **The proposed building will replace the existing building that is located in the northeast corner of the property. The existing building will be removed. There will be no additional usage required over and above what was previously used. A permit application will be submitted once building plans are completed and a building permit is applied for.**
3. FDOT access/drainage permit conditions – **NFPS has spoken to Troy Register at FDOT. A permit submittal has not been made. There are currently no access/drainage permit conditions.**

Josh Wehinger:

4. Fire Department Access and Water Supply Plan – **Please see the attached Fire Department Access and Water Supply Plan.**
5. ISO fire flow calculations and hydrant flow date – **Attached are the fire flow calculations. The following is the information provided by Robert Domingue, Columbia County Utilities Superintendent: Hydrant located at 14197 S US 441 and is located directly in front of the existing building.**

Flow Hydrant #1689	
Static	65 psi
Residual	50 psi
Pitot	34
Orifice	2.5"
GPM	880

If you have questions or need additional information, please do not hesitate to contact me.

Best Regards,

A handwritten signature in blue ink, appearing to read 'R.P. Bishop, Jr.', with a stylized flourish at the end.

R.P. (Phil) Bishop, Jr., PE

Ellisville Truck Stop

FIRE & RESCUE			Page 1/3
ISO Fire Flow Worksheet			
Needed Fire Flow Work Sheet (ISO formulas)			NFF = (Ci)(Oi)(Xi+Pi) C=18F(Ai)^0.5
Address:			
Project Name:	Truck Stop 75	Occupancy Type:	Tire Center
Construction Type:	Ordinary	Number of Stories:	1

STEP 1

Take the area, which is 100% sq. ft. of the first floor plus the following percentage of the total area of the other floors.

First Floor Area in Sq. Ft **11250** Sq. Ft. @ 100%

Additional Floors

Enter total area in sq. ft for all other floors **0**

Total Area Entire Building **11250**

STEP 2

F = Coefficient related to the class of construction as determined by using the construction type found in SBCCI

Construction Type	Class	F Value
Frame	1	1.5
Joist Masonry	2	1
Non-combustible	3	0.8
Heavy Timber	4	0.8
Modified fire resistance	5	0.6
Fire resistive	6	0.6

Construction Class **2**

Square Root of the Area x F x 18 **2000** = C Value

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

STEP 3	Multiply result of rounded off GPM by the Occupancy Factor (Oi)	Occupancy Factor
	Noncombustible (C-1) = No active fuel loads such as storage of asbestos, clay, glass, marble, stone, or metal products.	0.75
	Limited - Combustible (C-2) = Limited fuel loads such as airports, apartments, art studios, auto repair, auto showroom, aviaries, banks, barber shops, beauty shops, churches, clubs, cold storage warehouses, day care center, educational occupancies, gas stations, green houses, health clubs, hospitals, jails, libraries, medical labs, motels, museums, nursing homes, offices, radio stations, recreation centers, and rooming houses.	0.85
	Combustible (C-3) = Moderate fuel loads such as auto part stores, auto repair training center, bakery, bookstores, bowling centers, casinos, commercial laundries, contractor equipment storage, dry cleaners with no flammable fluids, leather processing, municipal storage buildings, nursery sales stores, pavilions, pet shops, photographic supplies, printers, restaurants, shoe repair, supermarkets, theaters, vacant buildings, and most wholesale & retail sales occupancies.	1.0
	Free-Burning (C-4) = Active fuel loads such as aircraft hangers, cabinet making, combustible metals, dry cleaners using flammable fluids, feed stores, furniture stores, kennels, lumber, packaging and crating, paper products manufacturing, petroleum bulk distribution centers, tire manufacturers, tire recapping or retreading, wax products, and wood working shops.	1.15
	Rapid-Burning (C-5) = Contents that burn with great intensity, spontaneously ignite, have flammable or explosive vapors, or large quantities of dust such as ammunition, feed mills, fireworks, flammable compressed gases, flammable liquids, flour mills, highly flammable solids, matches, mattress factories, nitrocellulose-based products, rag storage, upholstery shops, & waste paper storage.	1.25
	Occupancy Class Selected (1 thru 5) 2	
	GPM x Oi 1700	

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

STEP 4

Now consider the exposure factor (Xi) - (Separation between buildings)

Distance (feet to the exposed building)	Xi	>3 stories
0-10	0.22	0.47
11-30	0.18	0.43
31-60	0.13	0.38
61-100	0.09	0.34

Distance, in feet, to the exposed building

Xi (from table)

Multiply GPM from step 4 by (1+Xi)

Total From Step 4

STEP 5

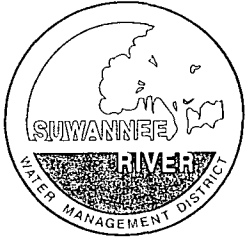
Approved Fire Sprinkler System? (Y or N)

Take fire flow from step 5 and multiply by sprinkler credit of 0.25

Sprinkler credit

Now subtract sprinkler credit from fire flow in step 4

NEEDED FIRE FLOW



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

March 26, 1996

Mr. Michael Moukhtara
RR 3, Box 176 A
Lake City, Florida 32024

Subject: ERP96-0070--L & G Auto and Truck Plaza--Columbia County

Dear Mr. Moukhtara:

Enclosed is your permit for the construction of a surfacewater management system for the above referenced project. This permit was issued for a period of two years and will expire on March 25, 1998.

Substantially affected persons are entitled to request an administrative hearing pursuant to ss.120.57(1), Florida Statutes (F.S.), and s.40B-1.511, Florida Administrative Code, if they object to the Suwannee River Water Management District's (District) actions. Failure to request a hearing within 14 days will constitute a waiver of your right to request such a hearing. In addition, the District will presume that permittee waives Chapter 120, F.S., rights to object or appeal the action upon commencement of construction authorized by the permit.

If you wish, we will visit with you on site to discuss the terms of the permit, review existing pre-construction conditions, and answer any questions you may have prior to beginning work. To schedule a pre-construction meeting, please contact me.

Be aware of the location of underground utilities before starting excavation.

If you have any questions regarding this, please contact Tammy Davis or me.

Sincerely,

A handwritten signature in cursive script that reads "John Hastings".

John Hastings, P.E.
Water Resources Engineer

JH/wam

Enclosure

cc: Donald F. Lee & Associates

LYNETTA USHER GRINER
Chairman
Fanning Springs, Florida

M. HOWELL WARING
Vice Chairman
Madison, Florida

SUZANNE COLSON
Secretary/Treasurer
Cedar Key, Florida

JOHN D. CARVER
Archer, Florida

BOYD W. CLOSE
Perry, Florida

ANN M. CROW
Wellborn, Florida

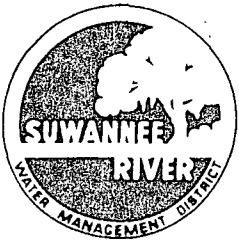
HERBERT G. DEMOTT
Monticello, Florida

MACEO HOWELL, JR.
Jennings, Florida

DR. EARL STARNES
Alachua, Florida

JERRY A. SCARBOROUGH
Executive Director
Live Oak, Florida

DAVID W. FISK
Asst. Executive Director
Gainesville, Florida



**SUWANNEE
RIVER
WATER
MANAGEMENT
DISTRICT**

ROUTE 3, BOX 64
LIVE OAK, FLORIDA 32060
TELEPHONE: (904) 362-1001
TELEPHONE: 800-226-1066
FAX (904) 362-1056

SURFACEWATER MANAGEMENT SYSTEM PERMIT

PERMITTEE:

MICHEL MOUKHTARA
RR 3 BOX 176 A
LAKE CITY, FL 32024

PERMIT NO.: ERP96-0070
DATE ISSUED: 03/25/1996
DATE EXPIRED: 03/25/1998
COUNTY: Columbia
TRS: -061703

PROJECT: L & G AUTO AND TRUCK PLAZA

APPROVED ENTITY TO WHOM OPERATION AND MAINTENANCE MAY BE TRANSFERRED
PURSUANT TO RULE 40B-4.1130

MICHEL MOUKHTARA
RR 3 BOX 176 A
LAKE CITY, FL 32024

This permit is issued under the provisions of chapter 373, Florida Statutes, and chapter 40B-4, Florida Administrative Code. This permit authorizes the permittee to perform the work necessary to construct, operate, and maintain the surfacewater management system shown on the application and approved drawings, plans, calculations, designs, and other documents included in the application which are attached hereto and made part hereof by reference. Permittee is advised that substantial change in said drawings, plans, calculations, designs, and other documents requires modification of the permit pursuant to rule 40B-4.1110 prior to making substantial change.

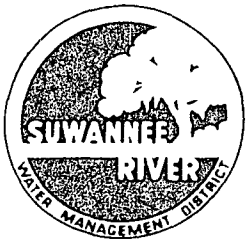
THE PERMITTED ACTIVITY IS SPECIFICALLY DESCRIBED AS FOLLOWS:

Construction and operation of surfacewater management system serving 17.10 acres of impervious surface on a total project area of 35.0 acres in a manner consistent with the application package submitted by Donald F. Lee Associates certified on 9/9/91.

LIMITING CONDITIONS MADE PART OF THIS PERMIT ARE AS FOLLOWS:

1. The permittee shall perform all construction authorized in a manner so as to minimize adverse impacts to fish, wildlife, natural environmental values, and water quality. The permittee shall institute necessary measures during construction including riprap, reinforcement, or compaction of any fill material placed around newly installed structures, to minimize erosion, turbidity, nutrient loading, and sedimentation in the receiving waters.
2. Water quality data representative of the water discharge from the





**SUWANNEE
RIVER
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DISTRICT**

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LIVE OAK, FLORIDA 32060
TELEPHONE: (904) 362-1001
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FAX (904) 362-1056

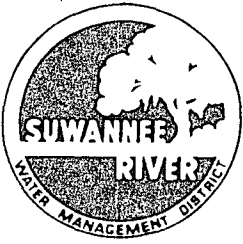
PERMIT NO.: ERP96-0070
PROJECT: L & G AUTO AND TRUCK PLAZA
PAGE: 2

DATE ISSUED: 03/25/1996

permitted system including, but not limited to, the parameter in chapter 62-3, Florida Administrative Code, shall be submitted to the District as required. If water quality data are required, the permittee shall provide data as required on the volume and rate of discharge including the total volume discharged during the sampling period. All water quality data shall be in accordance with and reference the specific method of analysis in "Standard Methods for the Examination of Water and Wastewater" by the American Public Health Association or "Methods for Chemical Analysis of Water and Waters" by the U.S. Environmental Protection Agency.

3. The operational and maintenance phase of a surfacewater management permit will not become effective until the owner or his authorized agent certifies that all facilities have been constructed in accordance with the design permitted by the District. If required by the District, such as-built certification shall be made by an engineer or surveyor. Within 30 days after the completion of construction of the system, the permittee shall notify the District that the facilities are complete. If appropriate, the permittee shall request transfer of the permit to the responsible entity approved by the District for operation and maintenance. The District may inspect the system and, as necessary, require remedial measures as a condition of transfer of the permit or release for operation and maintenance of the system.
4. Off-site discharge during and after construction shall be made only through the facilities authorized by permit. Water discharged from the project shall be through structures suitable for regulating upstream stage if so required by the District. Such discharges may be subject to operating schedules established by the District.
5. The permit does not convey to the permittee any property right nor any rights or privileges other than those specified in the permit and chapter 40B-1, Florida Administrative Code.
6. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance, alteration, abandonment, or development in a Works of the District which is authorized by the permit.
7. The permit is issued based on the information submitted by the applicant which reasonably demonstrates that adverse off-site water resource impacts will not be caused by the permitted activity. It is the responsibility of the permittee to insure that such adverse impacts do not in fact occur either during or after construction.
8. It is the responsibility of the permittee to obtain all other





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FAX (904) 362-1056

PERMIT NO.: ERP96-0070
PROJECT: L & G AUTO AND TRUCK PLAZA
PAGE: 3

DATE ISSUED: 03/25/1996

clearances, permits, or authorizations required by any unit of local, state, or federal government.

9. The surfacewater management system shall be constructed prior to or concurrent with the development that the system is intended to serve and the system shall be completed within 30 days of substantial completion of the development which the system is intended to serve.
10. Except for General Permits After Notice or permits issued to a unit of government, or unless a different schedule is specified in the permit, the system shall be inspected at least once every third year after transfer of a permit to operation and maintenance by the permittee or his agent to ascertain that the system is being operated and maintained in a manner consistent with the permit. A report of inspection is to be sent to the District within 30 days of the inspection date. If required by chapter 471, Florida Statutes, such inspection and report shall be made by an engineer.
11. As-built certification shall be made by an engineer or surveyor.
12. Permittee shall allow reasonable access to District personnel or agents for the purpose of inspecting the system to insure compliance with the permit. Permittee shall allow the District, at its expense, to install equipment or devices to monitor performance of the system authorized by their permit.
13. The surfacewater management system shall be operated and maintained in a manner which is consistent with the conditions of the permit and chapter 40B-4.2040, Florida Administrative Code.
14. Permittee is responsible for the perpetual operation and maintenance of the system unless the operation and maintenance is transferred pursuant to chapter 40B-4.1130, Florida Administrative Code; or the permit is modified to authorize a new operation and maintenance entity pursuant to chapter 40B-4.1110, Florida Administrative Code.





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PAGE: 4

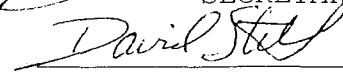
DATE ISSUED: 03/25/1996

SUWANNEE RIVER WATER MANAGEMENT
DISTRICT BY ITS GOVERNING BOARD

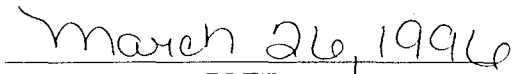
By



SECRETARY



DISTRICT CLERK



DATE

SEAL



L66 TRUCK STOP
MODIFICATION

#4-89-00075
COLUMBIA CO.

CMS

9/26/91

RJ 11

S&S plans - OK
S&S Calc - OK
O&M plan - OK
E.C. - OK

SITE DATA		(orig)
NEW impervious	= 6.9 AC	5.1
OLD impervious	= 10.2 AC	4.9
BASIN	= 1.9 AC	1.4
TOTAL SITE	= 35 AC	11.2

$$\bar{C}_{pre} = \frac{5.1(1.9) + 1.4(1) + 7.2(1.2)}{18.5} = .45$$

$$\bar{C}_{post} = \frac{17.1(1.9) + 1.4(1)}{18.5} = .91$$

FOR WHOLE SITE

QUALITY:

$$V_{req'd} = 1/2(43,560)(17.1)(.91) = 36,486 \text{ FT}^3$$

$$V_{prov'd} = 200,595 \text{ FT}^3 @ 58' \quad \checkmark \text{ OK}$$

$$P_T \text{ (TOTAL retention)} = 3.5''$$

FOR WHOLE SITE

$$perc = 1''/day = 1.16 \times 10^{-5} \text{ CPS FT}^2$$

Quantity:

STAGE	SURFACE AREA	STORAGE VOLUME	Percolation	Discharge
55	156,890	-	-	0
56	63,470	1.38	.1734	0
57	70,060	2.91	.841	0
58	76,840	4.60	.889	0
59	83,740	6.46	.969	24.0

Project discharges contained is on volume to natural applicants sensitive low partially property. Pond

VOLUME Discharges all within allowable

LOOKS OK TO ISSUE

of 10/3/91

CS

10/2/91

42,387 50 SHEETS 5 SQUARE
42,388 50 SHEETS 5 SQUARE
42,389 100 SHEETS 5 SQUARE
42,390 100 SHEETS 5 SQUARE
NATIONAL



 * SUWANNEE RIVER WATER *
 * MANAGEMENT DISTRICT *
 * *****

Copyright R & W Engineering, Inc. 1986, 1987

This Program uses the Suwannee River Water Management District's rainfall distributions, a total rainfall amount entered by the user, and the rational method to compute a runoff hydrograph. The hydrograph is routed through a retention/detention area using the Storage Indication Method.

PROJECT DESCRIPTION:

L&G Truck Stop
 #4-89-00075 - Columbia County
 10/2/91 cms

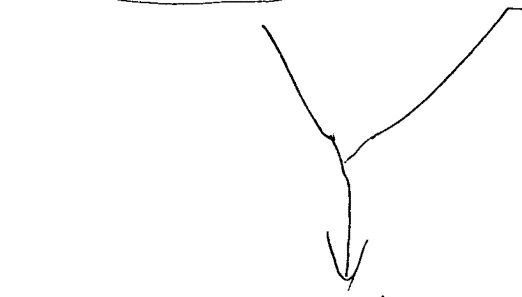
DRAINAGE AREA = 17.1 ACRES
 PRE-DEVELOPED RUNOFF COEFFICIENT = .45
 POST-DEVELOPED RUNOFF COEFFICIENT = .91

STAGE (FT)	STORAGE (AC FT)	STAGE (FT)	DISCHARGE (CFS)
55.00	0	58.00	0.00
56.00	1.38	59.00	24.00
57.00	2.91		
58.00	4.6		
59.00	6.46		

STAGE (FT)	PERCOLATION (CFS)
55.00	0.00
56.00	0.73
57.00	0.81
58.00	0.89
59.00	0.97

STORM DURATION (H)	FREQUENCY (YRS)	TOTAL RAINFALL (IN)	ALLOWABLE DISCHARGE (CFS)	PEAK SURFACE DISCHARGE (CFS)	ALLOWABLE DISCHARGE VOLUME (AC FT)	SURFACE DISCHARGE VOLUME (AC FT)	MAXIMUM STAGE	STORAGE USED (AC FT)
1h	100	4.2	69.49	OK 7.99	2.6932	OK 0.5686	58.33	5.2193
2h	100	5.1	49.06	OK 12.23	3.2704	OK 1.5252	58.51	5.5478
4h	100	6.08	24.33	OK 17.40	3.8988	OK 2.6653	58.73	5.9485

8h	100	7.36	23.79	OK 17.79	4.7196OK	3.5903	58.74	5.9788
24h	100	9.84	7.57	11.05	6.3099 OK	6.4378	58.46	5.4566
3d	100	12.4	4.77	6.63	7.9515 OK	6.9540	58.28	5.1139
7d	100	14	3.12	4.01	8.9775 OK	3.4297	58.17	4.9109
10d	100	16.1	4.34	6.74	10.3241 OK	4.8005	58.28	5.1226



low partially located on owners
 property, ∴ system is volume
 Sensitive → VOLUMES all OK

**SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET
SHEET 1 OF 4**

PROJECT NAME L & G TRUNK STOP TOTAL BASINS 1
(a data sheet must be provided for each basin)
 LOCATION Columbia County TWP 6S RNG 17E SEC 3
 AREAS: PROJECT 35 Acres; IMPERVIOUS 17.1 Acres; 49 %
 DEVELOPED (NEW) IMPERVIOUS AREA _____ acres, _____ %
 EXISTING (OLD) IMPERVIOUS AREA _____ acres, _____ %
 UNDEVELOPED (GREEN SPACE) AREA _____ acres, _____ %
 BASINS/SURFACEWATER SYSTEM _____ acres, _____ %
 OTHER _____ acres, _____ %

See Sheet 3

SURFACEWATER MANAGEMENT SYSTEM DESCRIPTION:

- _____ 1. TOTAL RETENTION WITH NO OFFSITE DISCHARGE
- _____ 2. RETENTION OF POST-DEVELOPED LESS PRE-DEVELOPED DISCHARGE
- _____ 3. DRY DETENTION OF POST-DEVELOPED DISCHARGE
- _____ 4. WET DETENTION OF POST-DEVELOPED DISCHARGE
- _____ 5. SYSTEM COMPRISED ENTIRELY OF GRASS SWALES
- X 6. OTHER (Specify) PARTIAL RETENTION

INDICATE INITIAL (1st) AND SECONDARY (2nd) RECEIVING WATER BODIES/DRAINAGE SYSTEMS FOR EACH RETENTION/DETENTION SYSTEM IN PROJECT:

1st WATER BODY: Natural Low OPERATOR Isolated
 2nd WATER BODY: _____ OPERATOR _____

IS FIRST WATER BODY: NATURAL () OR MAN-MADE () ?

	PRE-DEVELOPED DATA	POST-DEVELOPED DATA
RATIONAL COEFFICIENT	<u>0.39</u>	<u>0.91</u>
SCS CURVE NUMBER		
TIME OF CONCENTRATION	<u>< 10 min</u>	<u>< 10 min</u>

STORAGE FACILITY DATA:

AREA CONTRIBUTING TO THE STORAGE FACILITY: 118.9 (acres)
 PERMEABILITY RATE OF STORAGE AREA 0.5 HR (in/hr or cfs/sf) # Normal
 Source: (Please provide supporting documentation) _____
 CONTROL STRUCTURE DESCRIPTION: Inlet w/ Skimmer

IN ADDITION TO SHEET TWO OF THIS PROJECT DATA SHEET, ATTACHED ARE

2 PAGES OF SUPPORTING CALCULATIONS WHICH ARE DATED 9/6/91 AND NUMBERED SHEETS 3 THROUGH 4

PREPARED BY: E. J. Colson DATE: 9/6/91

RECEIVED
 SEP 13 1991

SUWANNEE RIVER WATER
 MGMT. DISTRICT

(SEAL)
E. J. Colson
9/9/91

**SURFACEWATER MANAGEMENT SYSTEM
PROJECT DATA SHEET
SHEET 2 OF 4**

BASIN NUMBER 1

TABLE 1 - STORAGE AREA PERFORMANCE DATA

ELEVATION (FEET)	SURFACE AREA (SQUARE FEET)	STORAGE VOLUME (CUBIC FEET)	PERCOLATION DISCHARGE (CFS)	CONTROL DISCHARGE (CFS)	TOTAL DISCHARGE (CFS)
* 55	56,890	—			
# * 56	63,410	60,150			
* 57	70,060	126,950			
* 58	76,840	200,595			
59	83,740	281,260			

Seasonal
H.W. El.
1991

* PROVIDE DATA FOR AT LEAST FOUR ELEVATIONS WITHIN THE STORAGE AREA

TABLE 2 - STORAGE RECOVERY DATA

TIME FROM PEAK STAGE (HOURS)	ELEVATION (FEET)	PERCOLATION DISCHARGE (CFS)	UNDERDRAIN DISCHARGE (CFS)	CONTROL DISCHARGE (CFS)	TOTAL DISCHARGE (CFS)

REQUIRED TREATMENT VOLUME FOR WATER QUALITY PURPOSES:
[SEE RULE 40B-4.2030 (8) (g) 1.2.3]

VOLUME NEEDED - 62,430 CF VOLUME PROVIDED - 200,595 CF

Please use the lines below to discuss in general terms the major elements of the project or project changes. Include such proposed land use(s), major surface water system element(s), their relationship(s), if any, to off-site systems (both upstream and downstream). This segment should be an overview in "layman's" terms. If the project or project changes have been conceptually approved, or are to be revisions or expansions to previously-permitted facilities, describe the relationship between what are presently proposing and what this district has acted upon. Attach additional sheets as necessary, but please keep the description brief.

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MGMT. DISTRICT



9/6/91
Sheet 3

L & G TRUCK STOP
IRWMD Permit # 4-89-00075

Proposed Modification for Additional Paving

SITE 35 Ac.

Original Impervious	5.1 Ac.
1990 Addition	5.1 Ac.
Present Proposal	6.9 Ac.
Total Impervious	17.1 Ac = 49%

Colvin
9/9/91

Isolated Low 840 Ac D.A.

Natural Low	Stage Storage	Volume
Elev.	Surface Area	(Ac ft above El. 56)
55	18 Ac.	—
56 (WL 8/91)	20.6 Ac	—
57	23.4 Ac	22 Ac Ft.
58	26.4 Ac	47 Ac Ft.
59	29.5 Ac.	75 Ac Ft.
60	33 Ac.	

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SUWANNEE RIVER WATER
MGMT. DISTRICT

Approximately one half of the natural low is on L & G. Property. A water level of El. 59-60 could be sustained without any problem.

For some reason the water level does not seem to exceed El. 56.0.

9/6/91
Sheet 4

Additional runoff volumes by L&G improvements (1990 and present proposal)

Additional Impervious = 12.0 Ac
Retention Area = 1.8 Ac. (C = 0.91)

ADDITIONAL VOLUMES

100 Yr	1 Hr	2	4	8	24
	4.2	5.1	6.05	7.36	9.54
Ac Ft	<u>4.4</u>	<u>5.3</u>	<u>7.1</u>	<u>7.7</u>	<u>10.3</u>
	4.3 ³	5.3 ³	6.3 ⁶	7.7 ⁰²	10.3 ²⁹
					12.4
					<u>16.8</u>

VOLUME IN RETENTION
E1. 56-58 = 3.2 Ac Ft.

INCREASE IN SURFACE ELEVATIONS
IN NATURAL LOW

Elevat Feet	1 HR	2	4	8	24	72
	<u>.05</u>	<u>0.10</u>	<u>0.2</u>	<u>0.25</u>	<u>0.33</u>	<u>0.60</u>

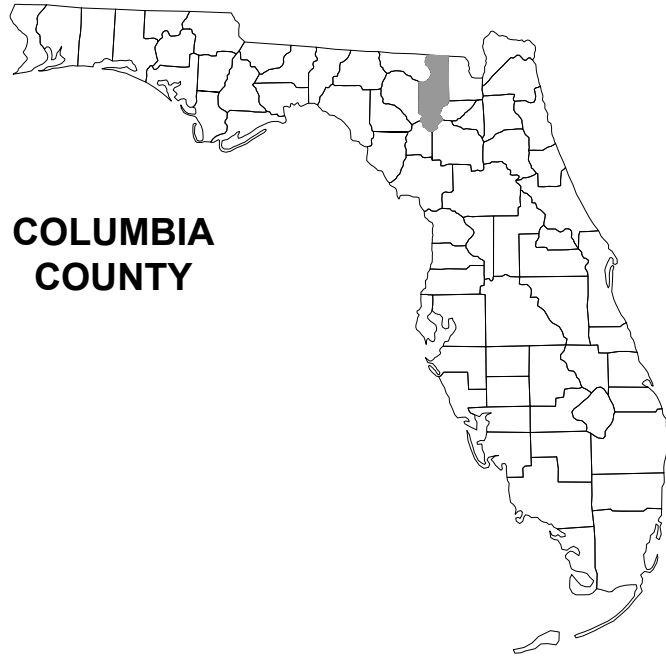
Increase in surface elevations will be insignificant.

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SUWANNEE RIVER LAKE DISTRICT
MGMT. DISTRICT

F. J. Colson, PE

Professional Engineer
9/9/91



**COLUMBIA
 COUNTY**

ELLISVILLE TRUCK STOP

COLUMBIA COUNTY, FL

SECTION 3, TOWNSHIP 6S, RANGE 17E



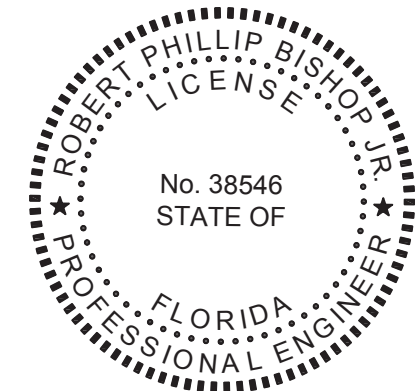
PROJECT LOCATION

PLANS PREPARED FOR:

**TRUCK STOP 75 LLC
 4302 W. BROWARD BLVD. SUITE 500
 PLANTATION, FL 33317**

SHEET LIST

COVER SHEET	1
GENERAL NOTES	2
DEMOLITION PLAN	3
OVERALL SITE PLAN	4
SITE PLAN	5
GRADING PLAN	6
UTILITY PLAN	7
LANDSCAPE PLAN	8
EROSION CONTROL NOTES	9
EROSION CONTROL PLAN	10
DETAILS 1	11
DETAILS 2	12
DETAILS 3	13
DETAILS 4	14
STORMWATER PLAN	15
FIRE DEPARTMENT ACCESS PLAN	16



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 Eng. Lic. 29011

COVER SHEET

REVISIONS:
 10/29/18

JOB NUMBER: L180628ETS
 DESIGNED BY: TH
 DRAFTED BY: FV
 CHECKED BY: TH
 ENGINEER OF RECORD:
 ROBERT PHILLIP BISHOP, JR.
 P.E. NO.: 38546

DATE: 06/18
 SHEET NO. 1

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND COLUMBIA COUNTY, FLORIDA OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.

2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SUWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DRINKING WATER FACILITY PERMIT, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOMESTIC WASTEWATER COLLECTION/TRANSMISSION SYSTEM PERMIT.

3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.

4. BOUNDARY INFORMATION SHOWN, WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY MARK D. DUREN & ASSOCIATES, FLORIDA CERTIFICATE NO. 4708.

5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.

6. THE SITE IS LOCATED IN SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

8. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.

9. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.

10. ALL UTILITY CONSTRUCTION SHALL MEET COLUMBIA COUNTY WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM CITY HALL OR PUBLIC WORKS.

11. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.

12. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS.

13. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.

14. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

15. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING

CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.

16. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. DESIGN STANDARDS (CURRENT EDITION), AWWA SPECIFICATIONS, FLORIDA BUILDING CODE (CURRENT EDITION), AND COLUMBIA COUNTY LAND DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.

17. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.

18. THE CONTRACTOR SHALL NOTIFY COLUMBIA COUNTY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.

19. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.

20. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS IN ADVANCE OF THE PRESSURE AND LEAKAGE TESTS.

21. NO FINAL TESTING OR PRESSURE TESTING WILL BE ACCEPTED UNLESS WITNESSED BY COLUMBIA COUNTY'S REPRESENTATIVE.

22. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT WRITTEN NOTIFICATION TO COLUMBIA COUNTY AND COUNTY ENGINEER.

23. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.

24. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.

25. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.

26. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.

SITE DATA TABLE ELLISVILLE TRUCK STOP				
PARCEL ID NUMBER	03-6S-17-09588-000			
ZONING	CHI			
LAND USE	HIGHWAY INTERCHANGE			
CITY COUNCIL DISTRICT NUMBER	3			
PHYSICAL ADDRESS	14197 US 441 LAKE CITY, FL 32024			
PROJECT PROPERTY BOUNDARY		SQ. FT.	ACRES	% OF SITE
TOTAL PROPERTY BOUNDARY AREA		1352630	31.05	100.00%
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)				% OF LOC
BOTH ON-SITE & OFF-SITE			0.00	100.00%
EXISTING IMPERVIOUS AREA ON-SITE				
EXISTING ASPHALT PAVEMENT	458697	10.53	33.91%	33.91%
EXISTING CONCRETE	320	0.01	0.02%	0.02%
EXISTING BUILDING	31619	0.73	2.34%	2.34%
EXISTING STORMWATER MANAGEMENT FACILITY	106216	2.44	7.85%	7.85%
TOTAL EXISTING IMPERVIOUS AREA ON-SITE	596852	13.70	44.13%	44.13%
EXISTING IMPERVIOUS AREA OFF-SITE				
EXISTING ASPHALT PAVEMENT		0.00	0.00%	0.00%
EXISTING CONCRETE		0.00	0.00%	0.00%
EXISTING BUILDING		0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY		0.00	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA OFF-SITE	0	0.00	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA ON-SITE & OFF-SITE	596852	13.70	44.13%	44.13%
PROPOSED IMPERVIOUS AREA ON-SITE				
EXISTING ASPHALT PAVEMENT TO REMAIN	458697	10.53	33.91%	33.91%
EXISTING CONCRETE TO REMAIN	320	0.01	0.02%	0.02%
EXISTING BUILDING TO REMAIN	23090	0.53	1.71%	1.71%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN	106216	2.44	7.85%	7.85%
PROPOSED ASPHALT PAVEMENT	228180	5.24	16.87%	16.87%
PROPOSED CONCRETE	0	0.00	0.00%	0.00%
PROPOSED BUILDING	11250	0.26	0.83%	0.83%
PROPOSED STORMWATER MANAGEMENT FACILITY	0	0.00	0.00%	0.00%
TOTAL PROPOSED IMPERVIOUS AREA ON-SITE	827753	19.00	61.20%	61.20%
TOTAL PROPOSED PERVIOUS AREA ON-SITE	524877	12.05	38.80%	38.80%
REQUIRED PARKING LANDSCAPE AREA	10% OF 176464 = 17646 SF			
PROPOSED PARKING LANDSCAPE AREA	17700 SF			
REQUIRED PARKING				
PROVIDED PARKING				

TREE AND SHRUBBERY REQUIREMENTS					
MAP SYMBOL	COMMON NAME	SCIENTIFIC NAME	NO.	SIZE	NOTES
	BOX WOOD	PENTANTHERA	68	3 GAL MIN.	
	GROUND COVER	--	--		1
	PROPOSED TREES	--	65	4' & 1.5 CALIPER	2
	EXISTING TREES		49		

NOTES:

- MULCH, FLOWERS, JUNIPER, JASMINE, AND SIMILAR NATIVE GROUND COVER.
- TREES SHALL BE A MINIMUM OF FOUR FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING.

LANDSCAPE REQUIREMENTS

OFFSTREET REQUIRED LANDSCAPE AREA
 10% OF 228,063 SF PARKING AREA = 22,878 SF
 OFFSTREET PROPOSED LANDSCAPE AREA = 22,900 SF
 # OF MIN. 4' TREES REQUIRED = 1 PER 200 SF OF REQUIRED LANDSCAPED AREA = 22,878 SF / 200 SF = 119 TREES

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 Eng. Lic. 29011

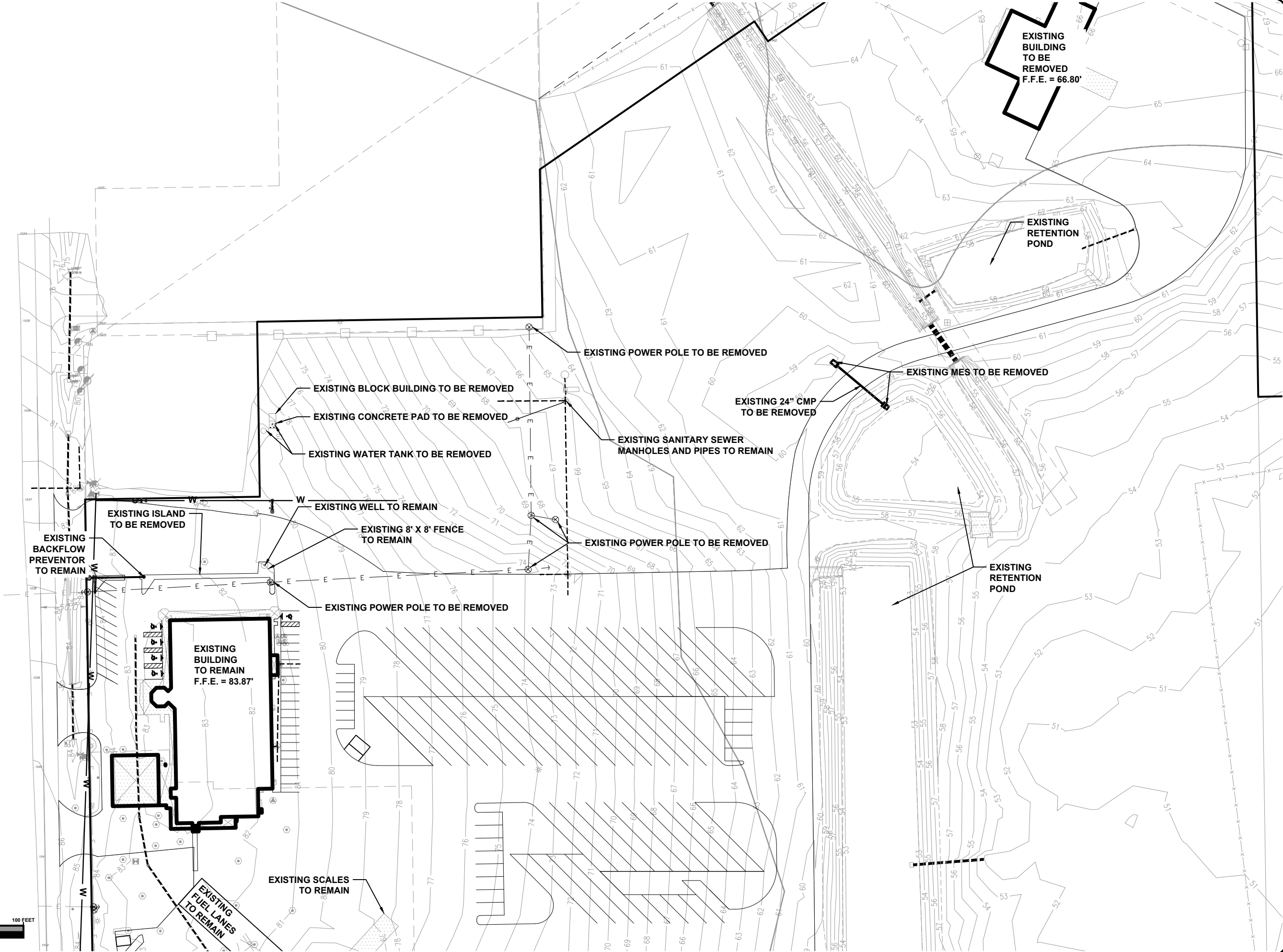
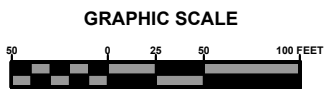


GENERAL NOTES
 ELLISVILLE TRUCK STOP
 COLUMBIA COUNTY, FL

REVISIONS:
 10/29/18
 JOB NUMBER: L180628ETS
 DESIGNED BY: FV
 DRAFTED BY: TH
 CHECKED BY: TH
 ENGINEER OF RECORD:
 ROBERT PHILLIP BISHOP, JR.
 P.E. NO.: 38546
 DATE: 06/18
 SHEET NO.
 2

File Location: X:\2018\180628ETS\H.CADD\cets\h\TRUCKSTOP\cetsgen01\trucks\top02 GEN
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File Location: X:\2018\180628\ETS\H.CADD\cETS01b\TRUCKSTOP\cETSdsn01b\TRUCKSTOP\DEMOLITION PLAN
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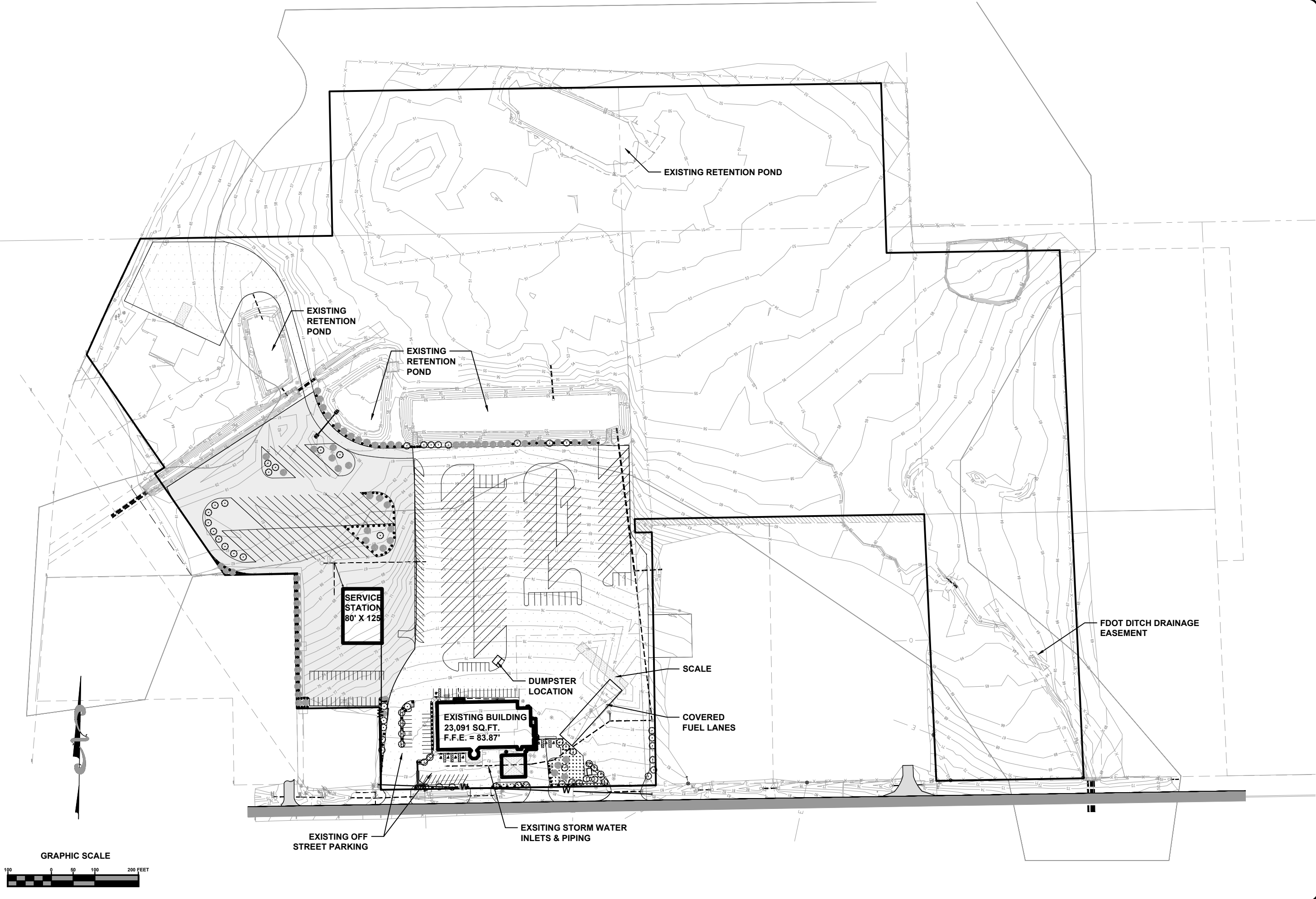
North Florida Professional Services, Inc.
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 Tallahassee, FL 32318
 Ph. 877-335-1525
 Eng. Lic. 29011



DEMOLITION PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

JOB NUMBER: L180628ETS DESIGNED BY: TH DRAFTED BY: FV CHECKED BY: TH ENGINEER OF RECORD: ROBERT PHILLIP BISHOP, JR. P.E. NO.: 38546	REVISIONS: 10/29/18 PARKING LAYOUT
DATE: 06/18 SHEET NO. 3	

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 Date Created: October 31, 2018 Date Last Saved: October 31, 2018 Date Plotted: October 31, 2018
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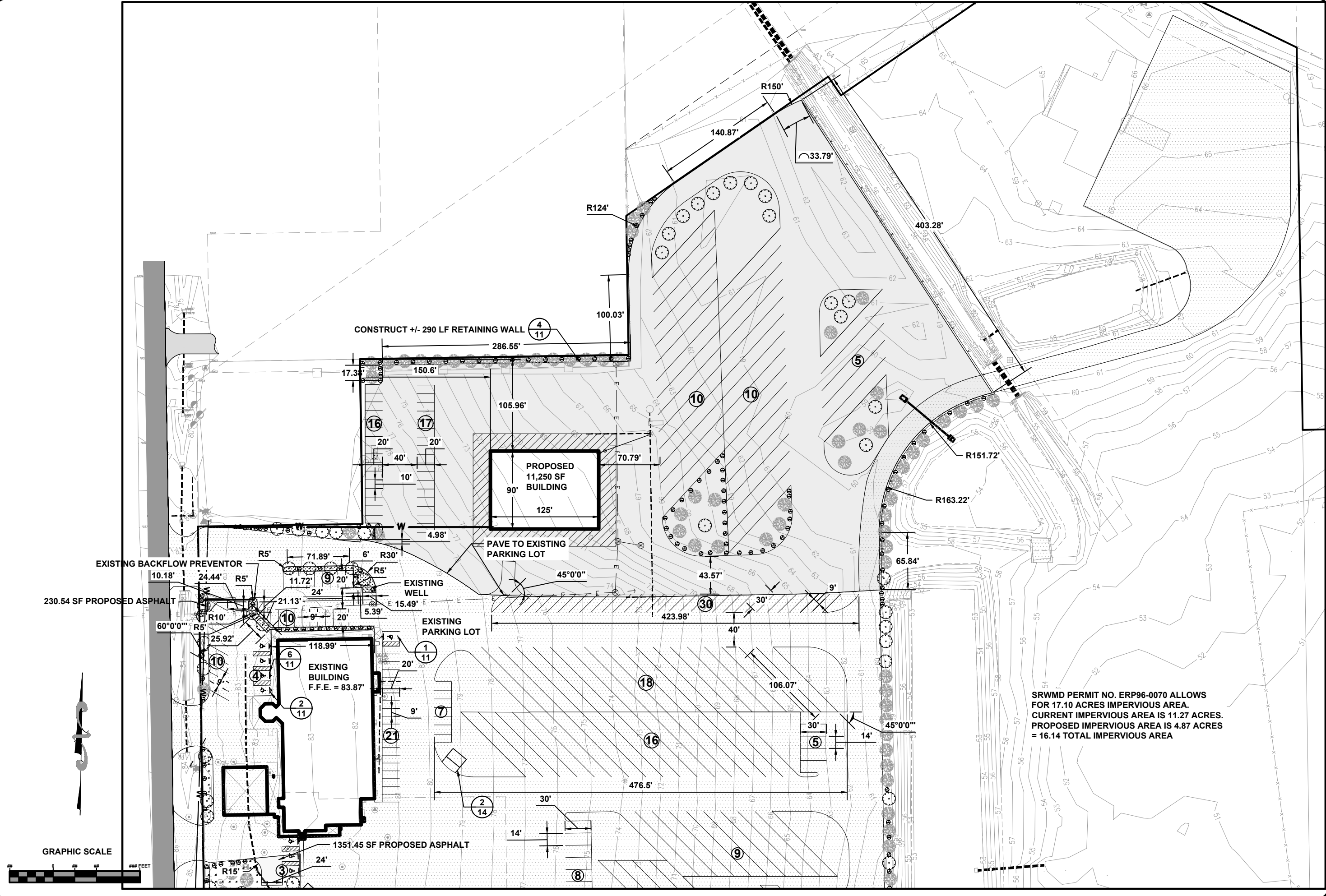
OVERALL SITE PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

REVISIONS:
 10/29/18 PARKING LAYOUT

JOB NUMBER: L180628ETS
 DESIGNED BY: TH
 DRAFTED BY: FV
 CHECKED BY: TH
 ENGINEER OF RECORD:
 ROBERT PHILLIP BISHOP, JR.
 P.E. NO.: 38546

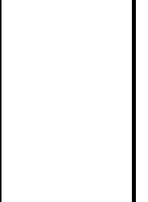
DATE: 06/18
 SHEET NO. 4

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SRWMD PERMIT NO. ERP96-0070 ALLOWS FOR 17.10 ACRES IMPERVIOUS AREA. CURRENT IMPERVIOUS AREA IS 11.27 ACRES. PROPOSED IMPERVIOUS AREA IS 4.87 ACRES = 16.14 TOTAL IMPERVIOUS AREA

North Florida Professional Services, Inc.
P.O. BOX 180988
Tallahassee, FL 32318
Ph: 877-335-1525
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SITE PLAN

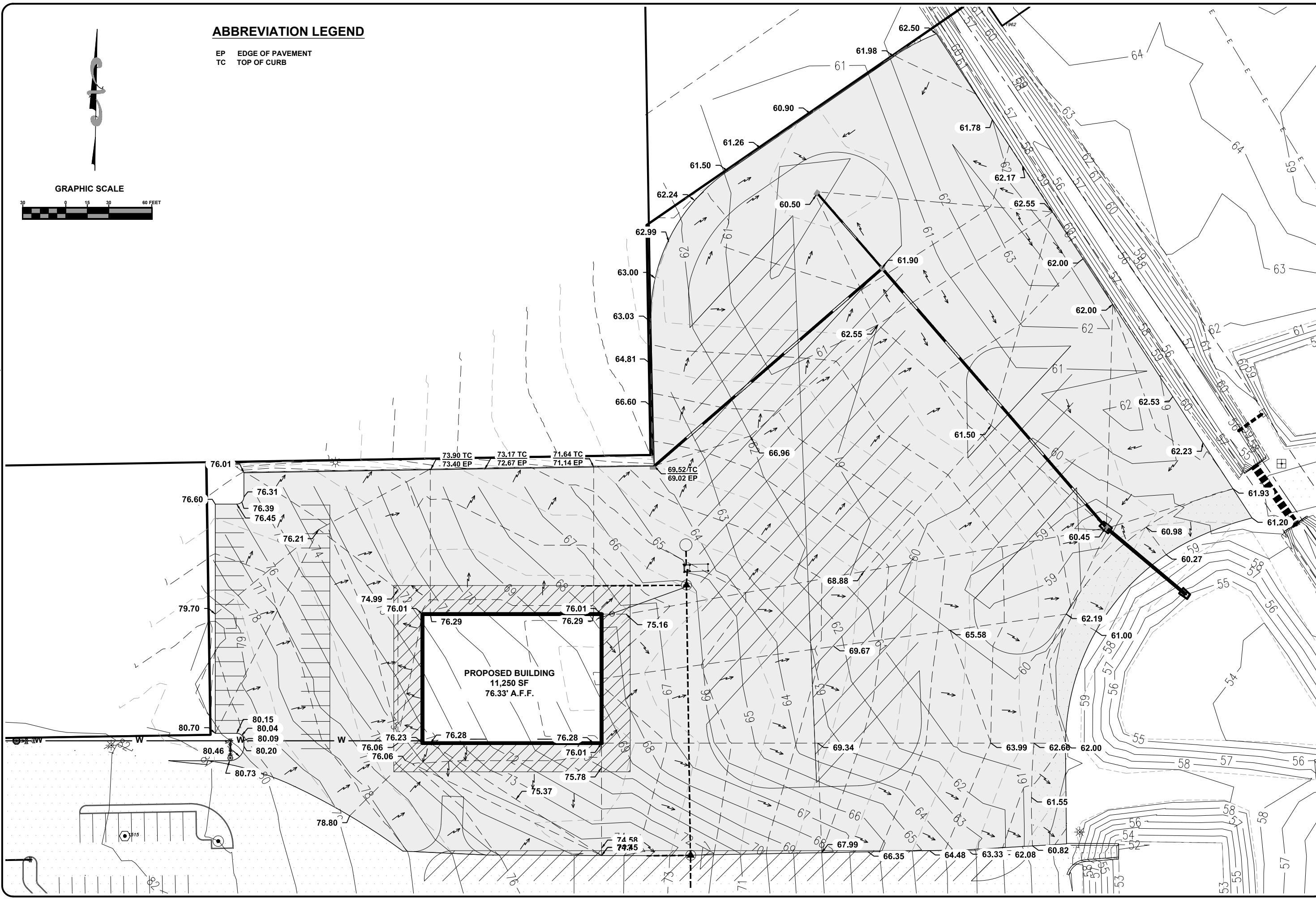
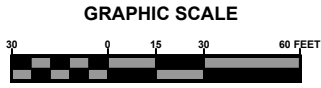
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

REVISIONS:
PARKING LAYOUT
10/29/18
COUNTY

JOB NUMBER: L180628ETS
DESIGNED BY: FV TH
CHECKED BY: TH
ENGINEER OF RECORD:
ROBERT PHILLIP BISHOP, JR.
P.E. NO.: 38546
DATE: 06/18
SHEET NO.
5

ABBREVIATION LEGEND

EP EDGE OF PAVEMENT
TC TOP OF CURB



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Date Created: October 31, 2018 Date Last Saved: October 31, 2018 Date Plotted: October 31, 2018
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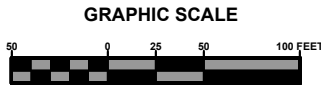


GRADING
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

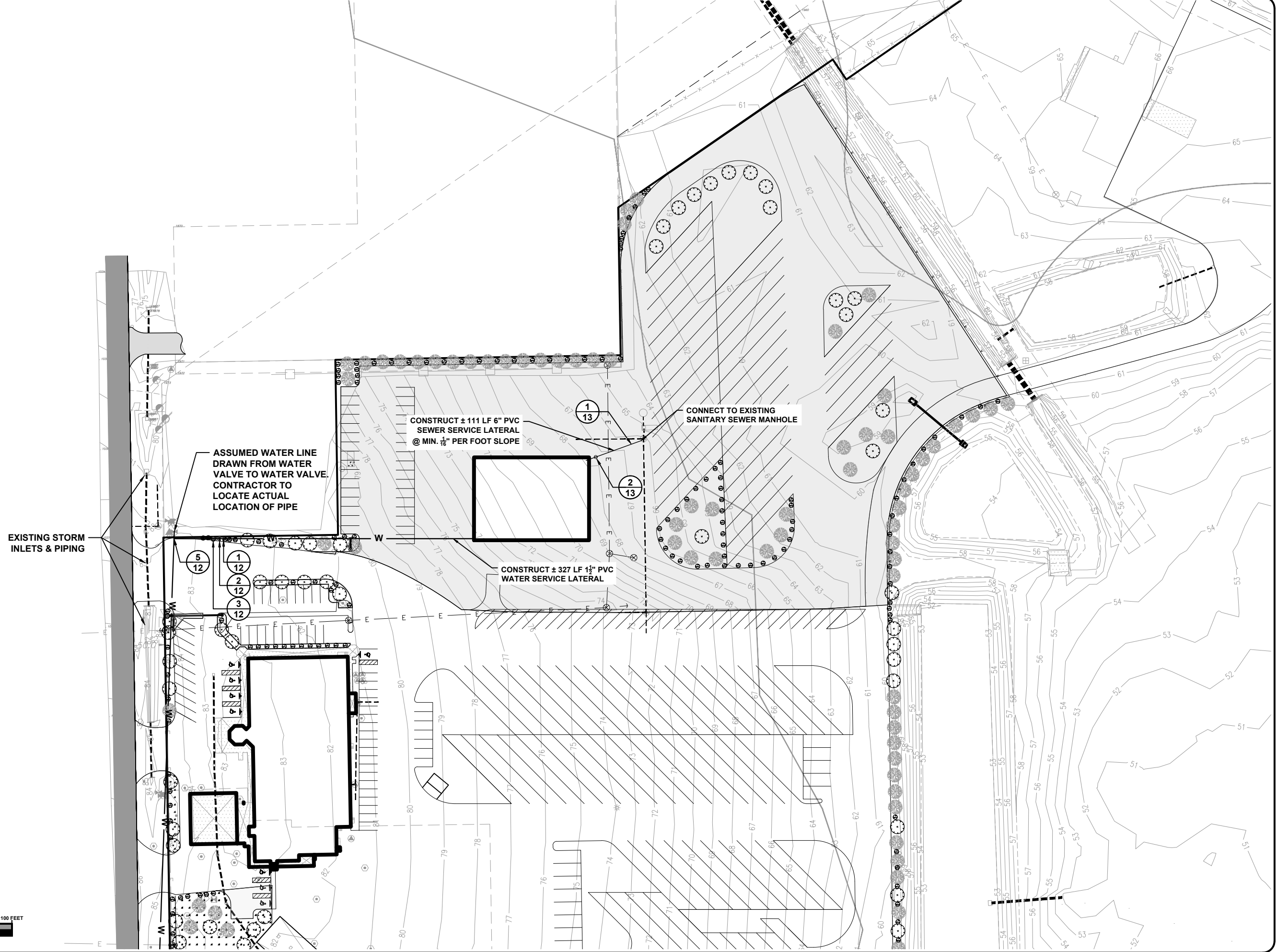
REVISIONS:

JOB NUMBER: L180628ETS	DESIGNED BY: TH	CHECKED BY: TH
DATE: 06/18	ENGINEER OF RECORD: ROBERT PHILLIP BISHOP, JR.	P.E. NO.: 38546
SHEET NO. 6		

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 Date Created: October 31, 2018 Date Last Saved: October 31, 2018 Date Plotted: October 31, 2018
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EXISTING STORM
 INLETS & PIPING



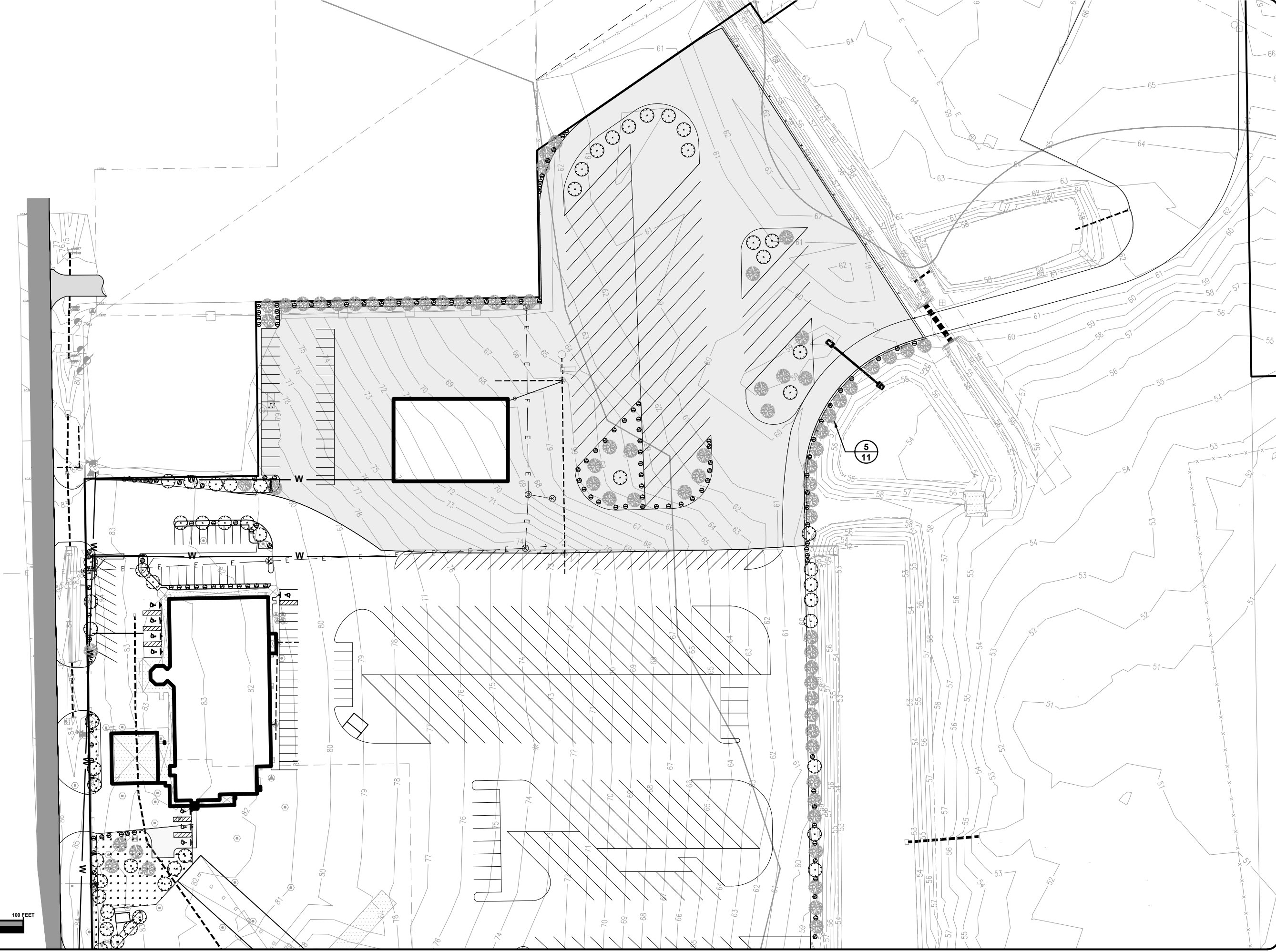
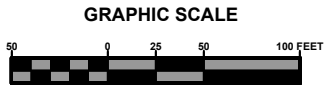
REVISIONS:
 10/29/18 PARKING LAYOUT

DESIGNED BY:	TH
DRAFTED BY:	FV
CHECKED BY:	TH
ENGINEER OF RECORD:	ROBERT PHILLIP BISHOP, JR.
P.E. NO.:	38546

UTILITY PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

North Florida Professional Services, Inc.
 P.O. BOX 3823
 Lake City, FL 32025
 Ph. 386-752-4675
 Fax. 386-752-4674

P.F.S.
 NORTH FLORIDA PROFESSIONAL SERVICES, INC.



JOB NUMBER: L180628ETS	
DESIGNED BY: TH	DRAFTED BY: FV
ENGINEER OF RECORD: TH	CHECKED BY: TH
DATE: 06/18	
SHEET NO. 8	
ENGINEER OF RECORD: ROBERT PHILLIP BISHOP, JR. P.E. NO.: 38546	

REVISIONS:
10/29/18 PARKING LAYOUT

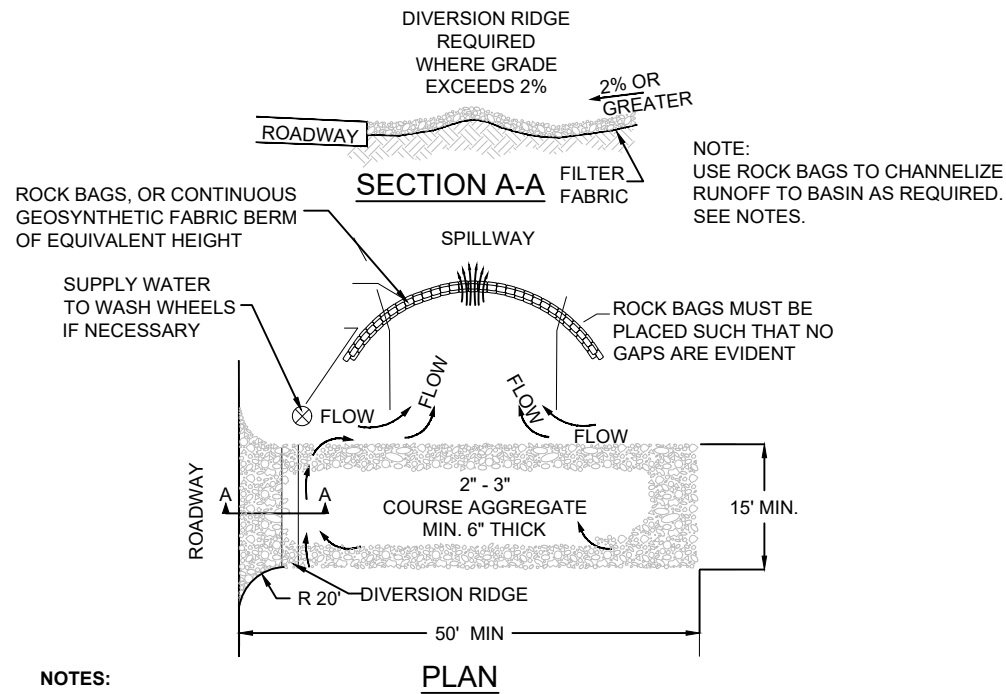
LANDSCAPE PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL



North Florida Professional Services, Inc.
 P.O. BOX 3823
 Tallahassee, FL 32318
 Lake City, FL 32025
 Ph: 877-335-1525
 Fax: 386-752-4674
 Eng. Lic. 29011

EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO COLUMBIA COUNTY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

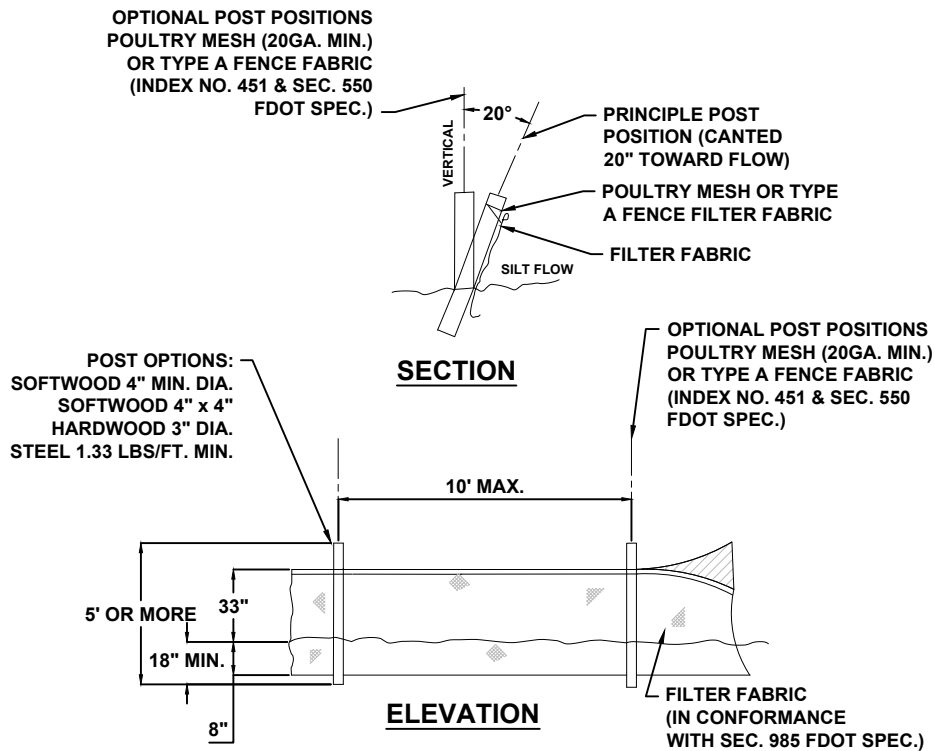


NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

1 TEMPORARY CONSTRUCTION ENTRANCE

9 SCALE: N.T.S.



2 TYPE IV SILT FENCE

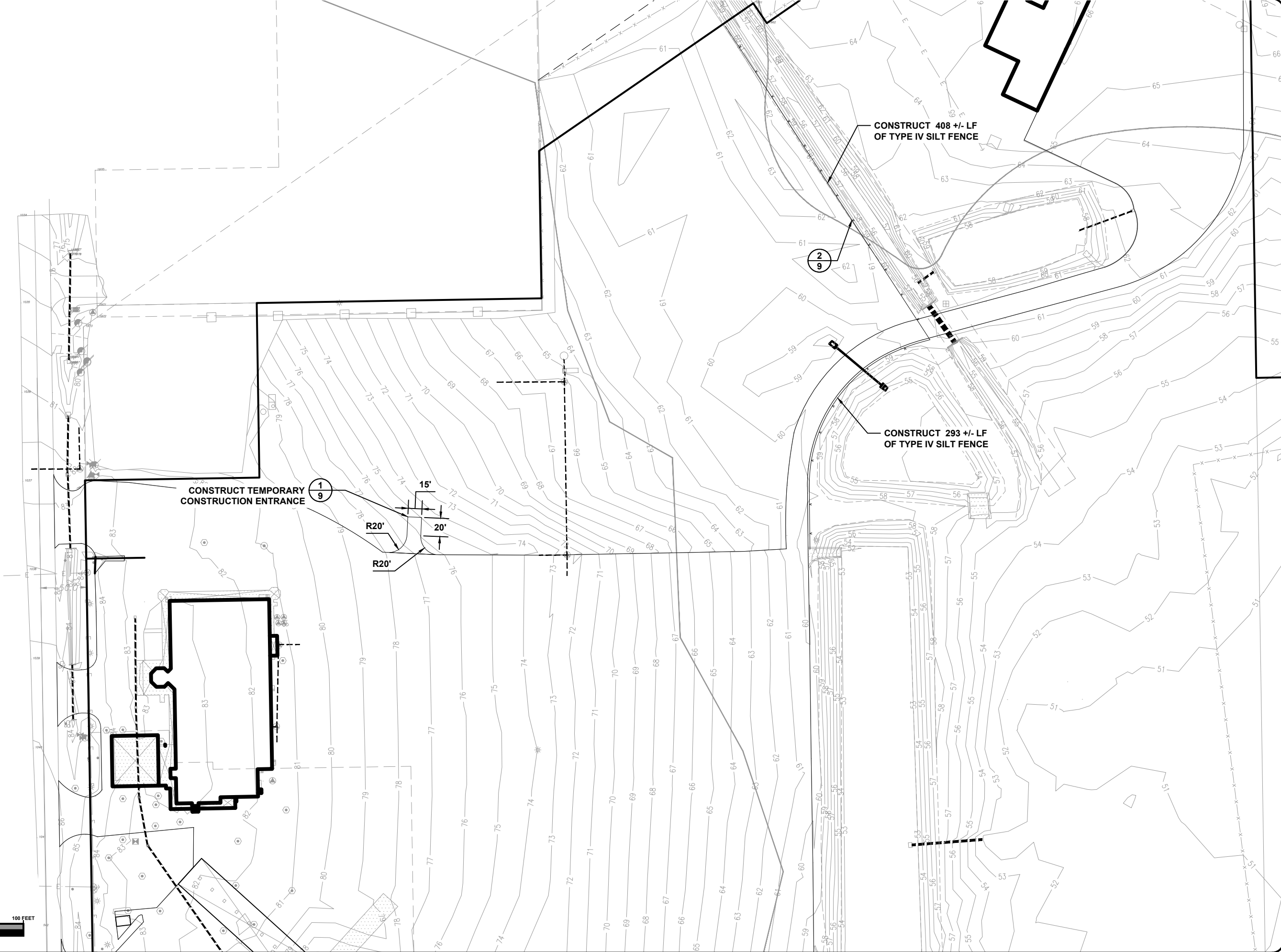
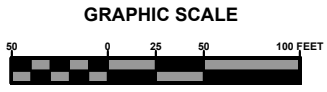
9 SCALE: N.T.S.



REVISIONS:

JOB NUMBER: L180628ETS	DESIGNED BY: TH	CHECKED BY: TH
DATE: 06/18	DRAWN BY: FV	DATE: 06/18
ENGINEER OF RECORD: ROBERT PHILLIP BISHOP, JR.	P.E. NO.: 38546	TH
SHEET NO. 9		

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 Date Created: October 31, 2018 Date Last Saved: October 31, 2018
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JOB NUMBER: L180628ETS DESIGNED BY: TH DRAFTED BY: FV CHECKED BY: TH DATE: 06/18 SHEET NO. 10	REVISIONS: PARKING LAYOUT
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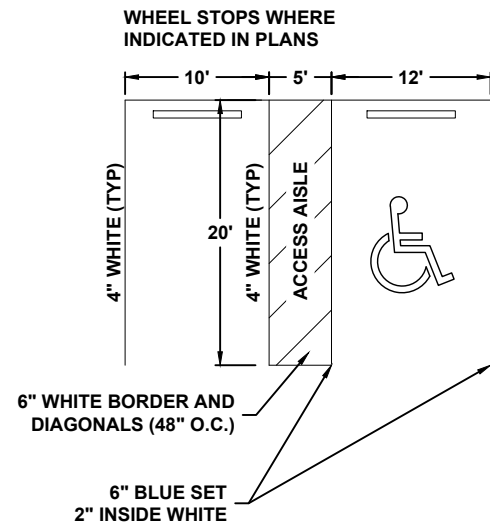
EROSION CONTROL PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL



North Florida Professional Services, Inc.
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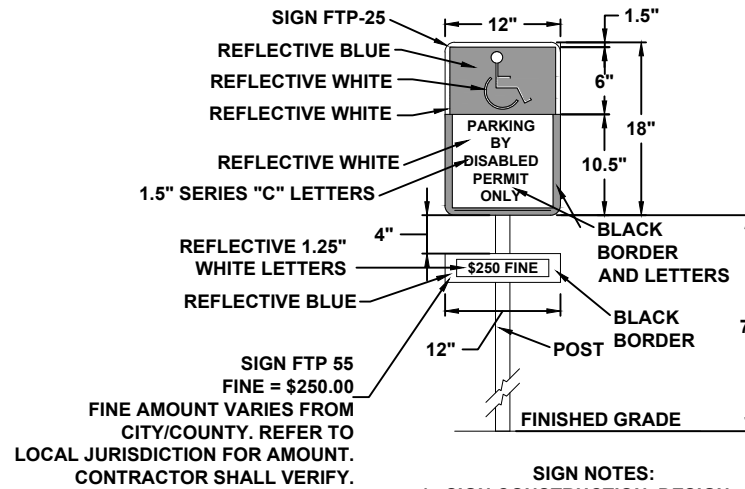
P.O. BOX 180988
 Tallahassee, FL 32318
 Ph: 877-335-1525
 Eng. Lic. 29011

File Location: X:\2018\180628\ETS\H.CADD\cETS01b\TRUCKSTOP\cETSde01b\TRUCKSTOP\DETAILS Date Plotted: October 31, 2018
 Date Created: October 31, 2018 Date Last Saved: October 31, 2018 THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



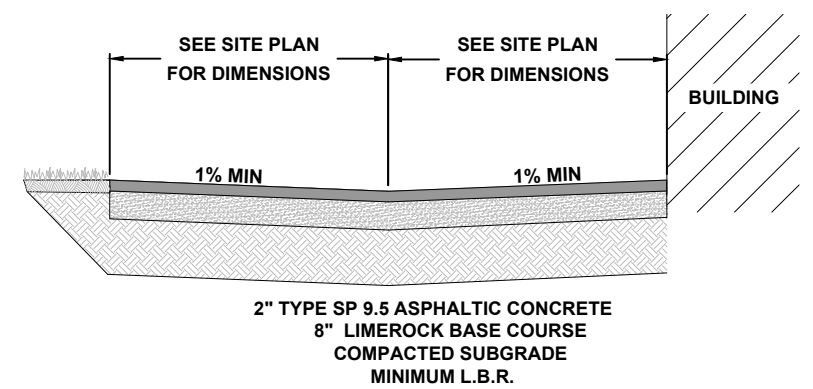
1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

1 HANDICAP PARKING STALL DETAIL
 11 SCALE: N.T.S.



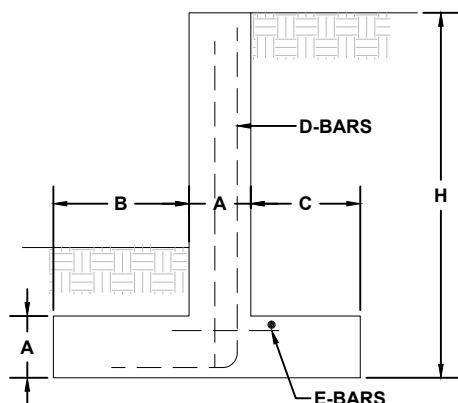
- SIGN NOTES:**
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.

2 HANDICAP PARKING SIGN DETAIL
 11 SCALE: N.T.S.

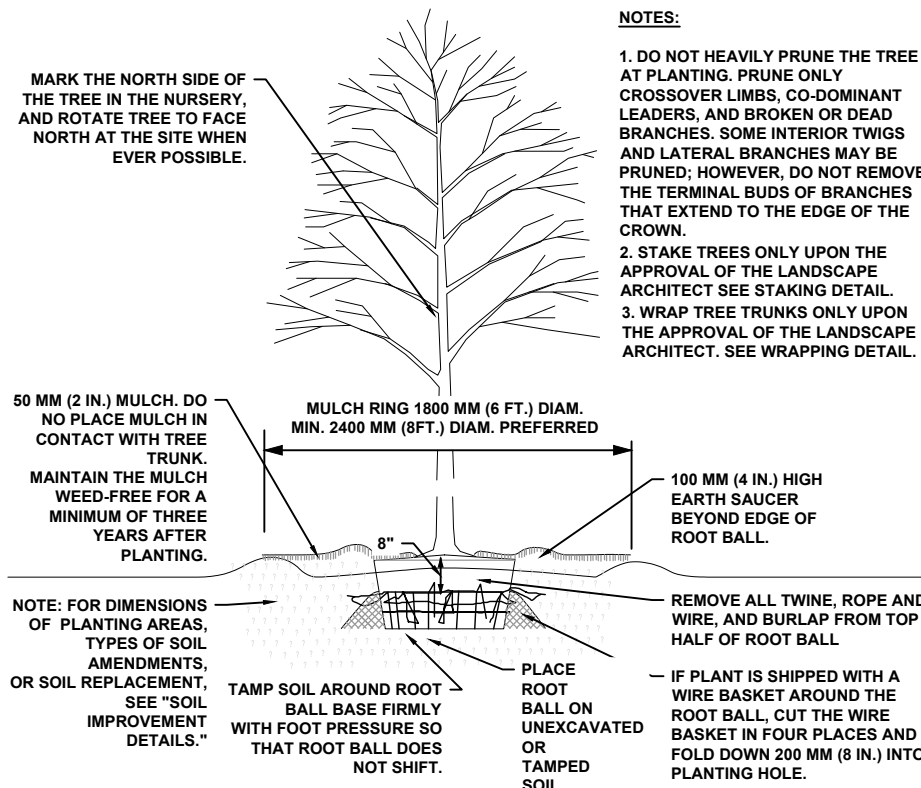


3 PARKING APRON TYPICAL SECTION
 11 SCALE: N.T.S.

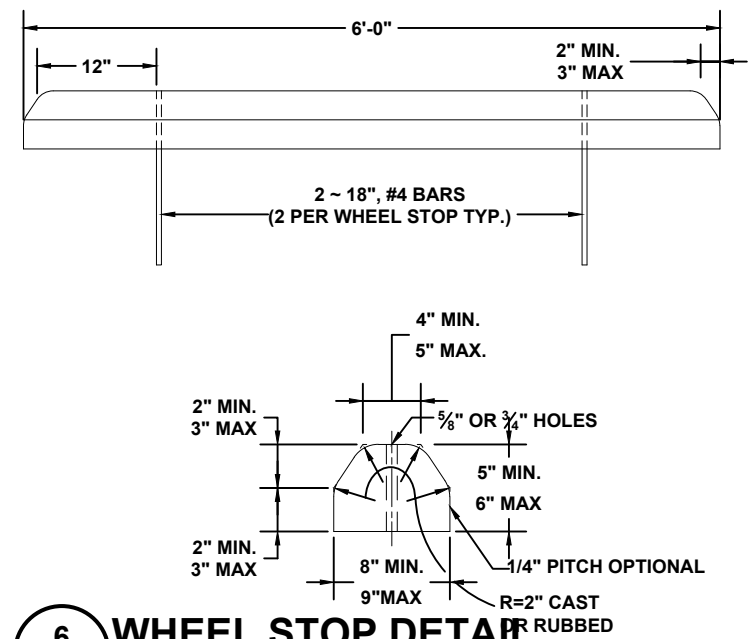
TYPE I						
H	A	B	C	TOE PRESSURE	D-BARS	E-BARS
5'-0"	12"	1'-2"	0'-6"	872 PSF	#4 BARS @ 12" O.C.	
6'-0"	12"	1'-5"	0'-8"	924 PSF	#4 BARS @ 12" O.C.	
7'-0"	12"	1'-8"	0'-10"	999 PSF	#4 BARS @ 12" O.C.	
8'-0"	12"	1'-11"	0'-9"	1079 PSF	#4 BARS @ 12" O.C.	
9'-0"	12"	2'-2"	1'-0"	1207 PSF	#4 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
10'-0"	12"	2'-5"	1'-2"	1352 PSF	#4 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
11'-0"	12"	2'-8"	1'-5"	1452 PSF	#4 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
12'-0"	12"	2'-11"	1'-8"	1551 PSF	#4 BARS @ 9" O.C.	#4 BARS @ 12" O.C.
13'-0"	12"	3'-2"	1'-11"	1649 PSF	#5 BARS @ 11" O.C.	#4 BARS @ 12" O.C.
14'-0"	12"	3'-5"	2'-2"	1746 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
15'-0"	14"	3'-8"	2'-3"	1873 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
16'-0"	15"	3'-11"	2'-4"	2017 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
17'-0"	16"	4'-2"	2'-6"	2128 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
18'-0"	17"	4'-4"	2'-7"	2341 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
20'-0"	19"	4'-10"	2'-11"	2562 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 12" O.C.
22'-0"	21"	5'-4"	3'-3"	2787 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 11" O.C.
24'-0"	24"	5'-10"	3'-5"	3059 PSF	#6 BARS @ 12" O.C.	#4 BARS @ 10" O.C.



4 RETAINING WALL DETAIL
 11 SCALE: N.T.S.



5 TREE PLANTING DETAIL
 11 SCALE: N.T.S.

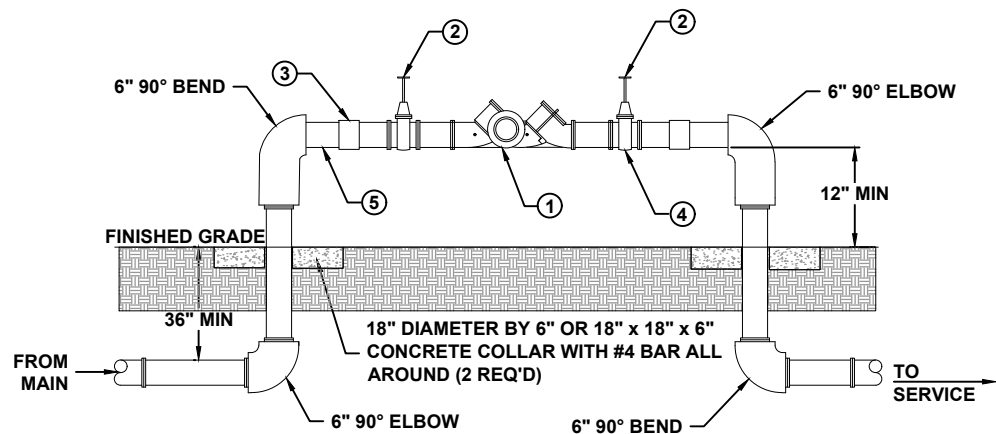


6 WHEEL STOP DETAIL
 11 SCALE: N.T.S.

North Florida Professional Services, Inc.
 P.O. BOX 180988
 Tallahassee, FL 32318
 Ph. 877-335-1525
 Eng. Lic. 29011

DETAILS 1
 ELLISVILLE TRUCK STOP
 COLUMBIA COUNTY, FL

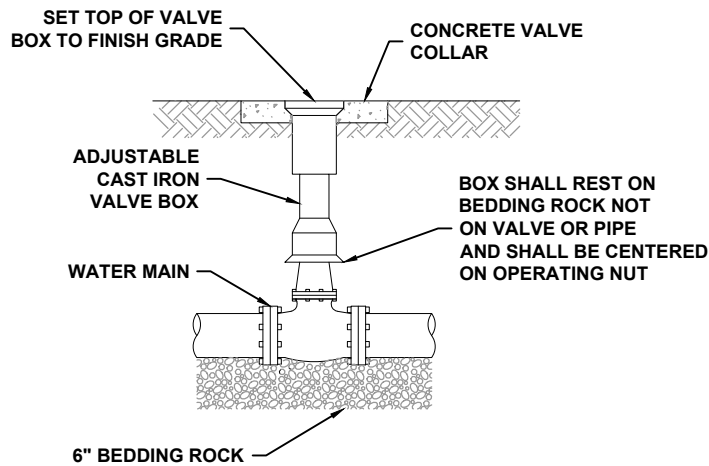
REVISIONS:
 JOB NUMBER: L180628ETS
 DESIGNED BY: FV
 CHECKED BY: TH
 ENGINEER OF RECORD:
 ROBERT PHILLIP BISHOP, JR.
 P.E. NO.: 38546
 DATE: 06/18
 SHEET NO. 11



MATERIALS	
ITEM	DESCRIPTION
1	6" BACKFLOW PREVENTER
2	6" GATE VALVE
3	6" UNION
4	6" TEST COCKS
5	6" THREADED NIPPLE

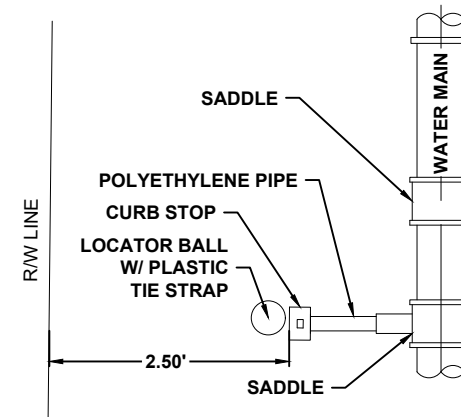
NOTES:

1. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTION DEVICE: UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION OTHER THAN BACKFLOW DEVICE TESTING.
3. A CONBRACO SERIES 40-000 FREEZE PROTECTION VALVE SHALL BE INCLUDED.
4. PROVIDE AND INSTALL COVER OVER BACKFLOW PREVENTER AS REQ'D BY LOCAL AUTHORITIES
5. BACKFLOW PREVENTER SHALL COMPLY WITH NFPA 24.



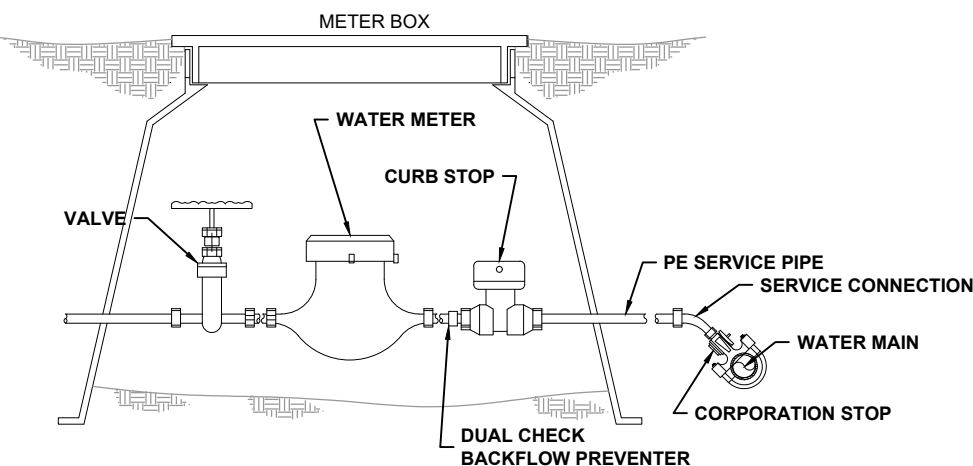
NOTES:

1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.



PLAN

1 REDUCED PRESSURE BACKFLOW PREVENTER
12 SCALE: N.T.S.

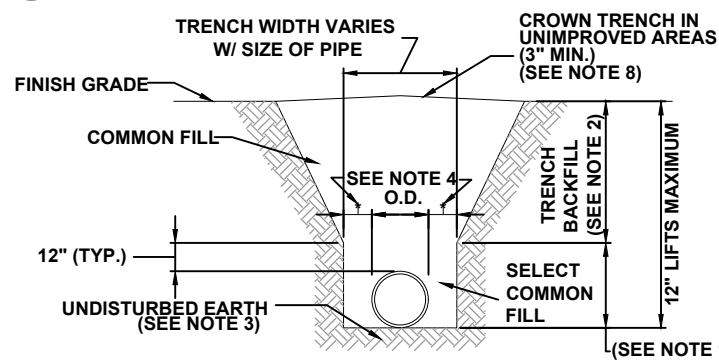


NOTES:

1. P.E. TUBING IS TO BE BACKFILLED BY HAND UP TO THE TOP OF THE SERVICE

3 METER BOX ASSEMBLY
12 SCALE: N.T.S.

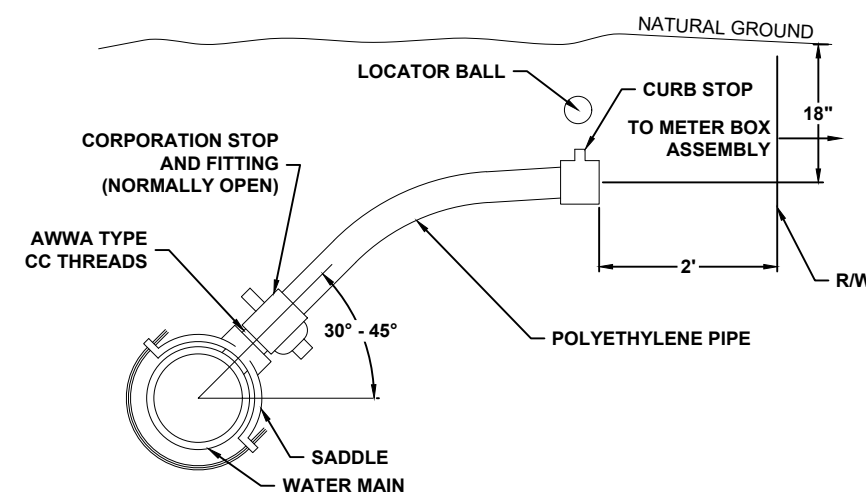
2 VALVE AND BOX DETAIL
12 SCALE: N.T.S.



NOTES:

1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IFOVER-EXCAVATION OCCURS.
4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.

4 TRENCH AND BACKFILL DETAILS
12 SCALE: N.T.S.



SINGLE SERVICE PROFILE

NOTES:

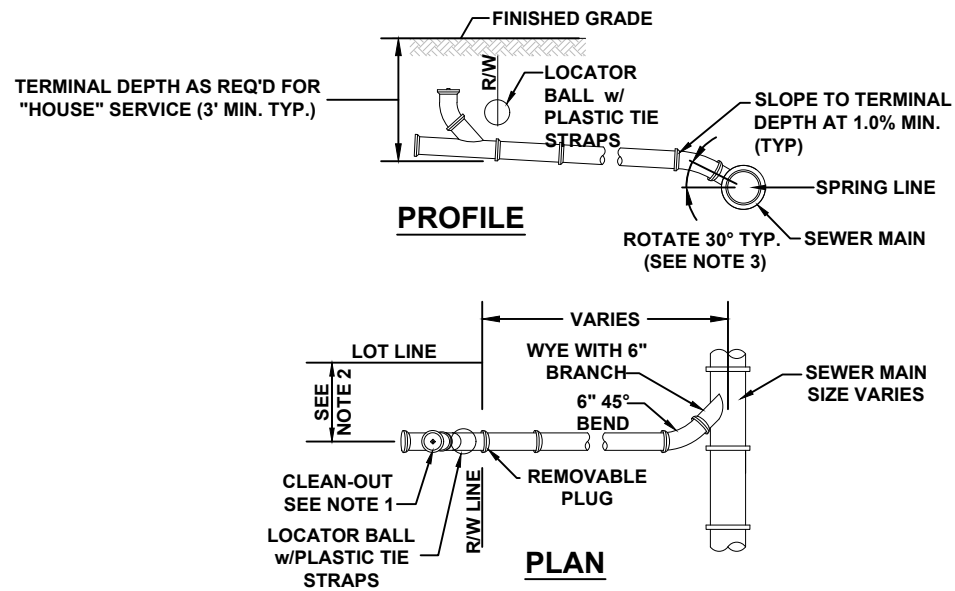
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/ PACK JOINT TYPE CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE LINE SHALL TERMINATE AT A CURB STOP WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" x 2" x 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE NUMBER OF THE LOT TO BE SERVED.
4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS W/ PLASTIC TIE STRAPS. LOCATOR BALLS SHOULD BE SECURED TO LATERAL W/ TIE STRAP.

5 WATER SERVICE CONNECTION DETAILS SINGLE
12 SCALE: N.T.S.



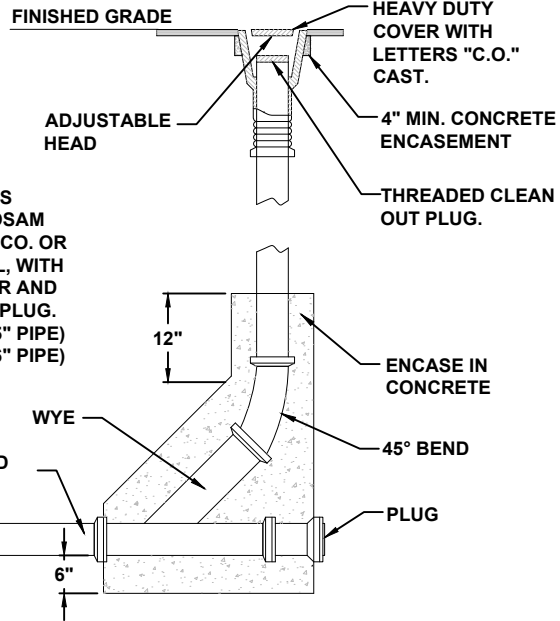
REVISIONS:

DESIGNED BY	DRIFTED BY	CHECKED BY
TH	FV	TH
ENGINEER OF RECORD:	ROBERT PHILLIP BISHOP, JR.	P.E. NO.: 38546
DATE: 06/18		
SHEET NO.		
12		

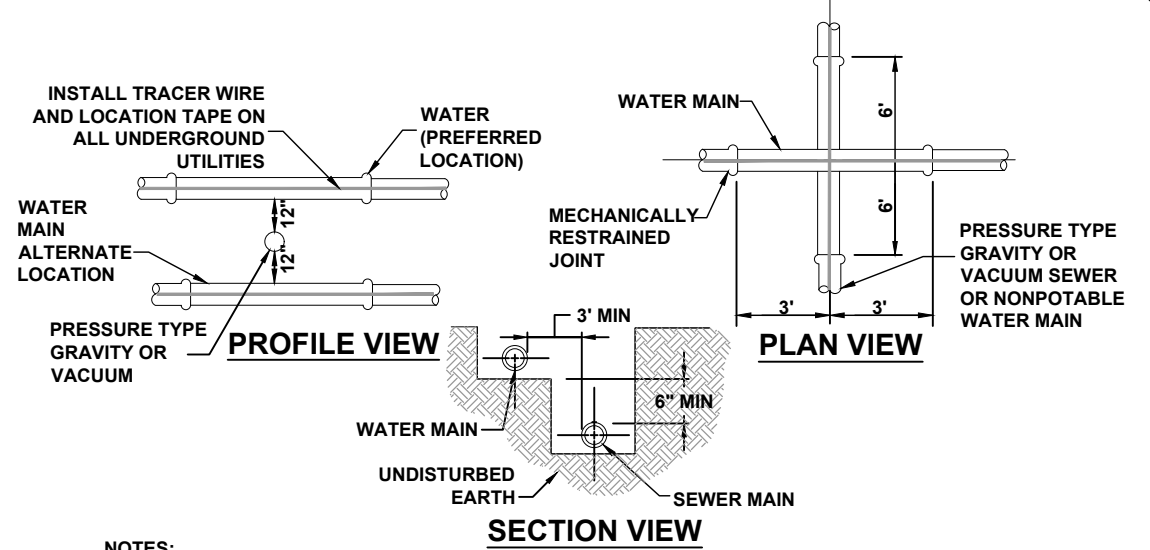


- NOTES:**
- CLEAN-OUT (SHOWN LIGHTER) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH STANDARD PLUMBING CODE.
 - LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.
 - INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
 - CONTRACTOR SHALL PROVIDE LOCATOR BALLS w/PLASTIC TIE STRAPS. LOCATOR BALLS SHALL BE SECURED TO LATERAL w/PLASTIC TIE STRAPS.

1 SANITARY SEWER SERVICE LATERALS
SCALE: N.T.S.

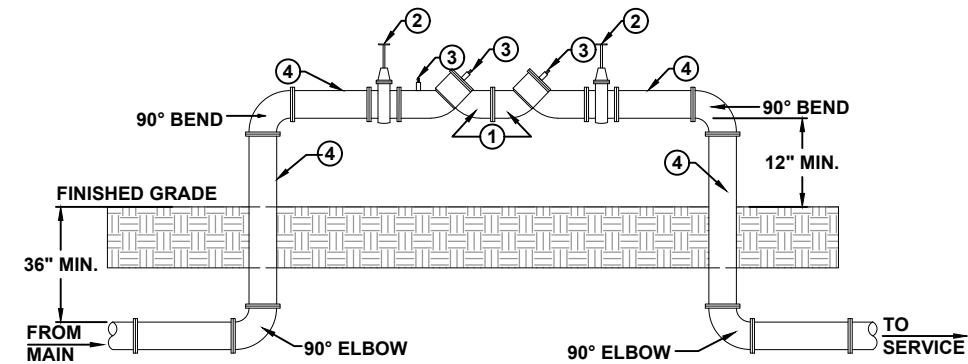


2 CLEANOUT DETAIL
SCALE: N.T.S.



- NOTES:**
- THE MINIMUM HORIZONTAL DISTANCE BETWEEN THE OUTSIDE OF A WATER MAIN AND SEWER MAIN SHALL BE 6' WITH A PREFERRED 10' SEPARATION.
 - WHERE A 10 FOOT PARALLEL SEPARATION CANNOT BE MAINTAINED BETWEEN A WATERMAIN AND A SEWER MAIN OR NON-POTABLE WATER MAIN, THEN THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER MAIN OR NON-POTABLE WATER MAIN. THE HORIZONTAL SEPARATION SHALL BE NO LESS THAN 3'.
 - WHEN A SEWER MAIN AND A WATER MAIN CROSS, THE WATERMAIN SHOULD BE A MINIMUM OF 18" ABOVE OR BELOW THE SEWER.
 - FOR ALL PIPE CROSSINGS, THE PIPE JOINTS SHALL BE ARRANGED SO THAT ALL PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN SIX FEET BETWEEN ANY TWO JOINTS.
 - IF THE HORIZONTAL OR VERTICAL CLEARANCE LISTED HEREIN CANNOT BE ACHIEVED THE WATERMAIN CAN BE ENCASED IN 4" OF CONCRETE.

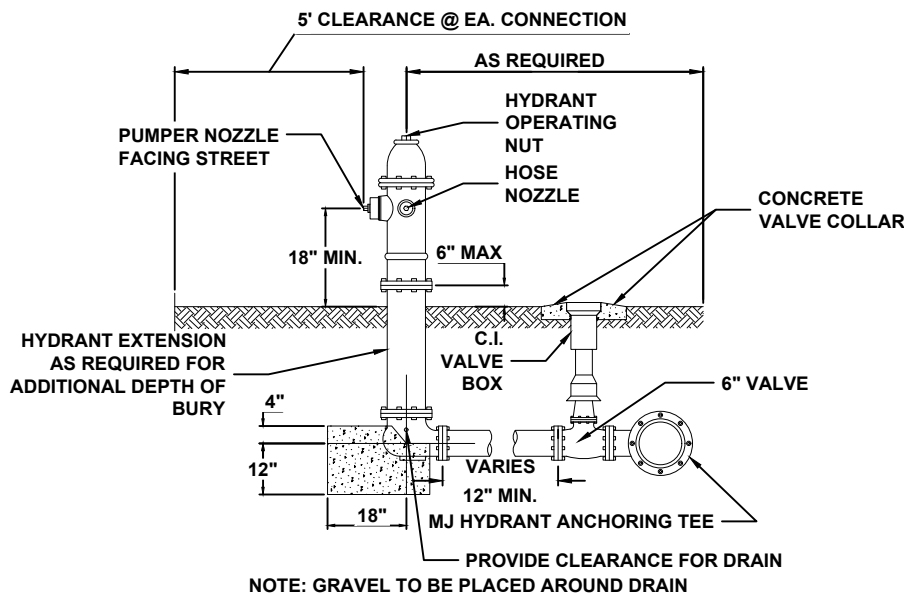
3 WATER - SEWER SEPARATION DETAILS
SCALE: N.T.S.



MATERIALS	
ITEM	DESCRIPTION
1	BACKFLOW PREVENTER
2	GATE VALVE
3	TEST COCKS
4	DUCTILE IRON PIPE - FLANGED END x FLANGED END

- NOTES:**
- UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
 - UNDER NO CIRCUMSTANCES, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION OTHER THAN BACKFLOW DEVICE TESTING.
 - PROVIDE AND INSTALL COVER OVER BACKFLOW PREVENTER AS REQ'D BY LOCAL AUTHORITIES

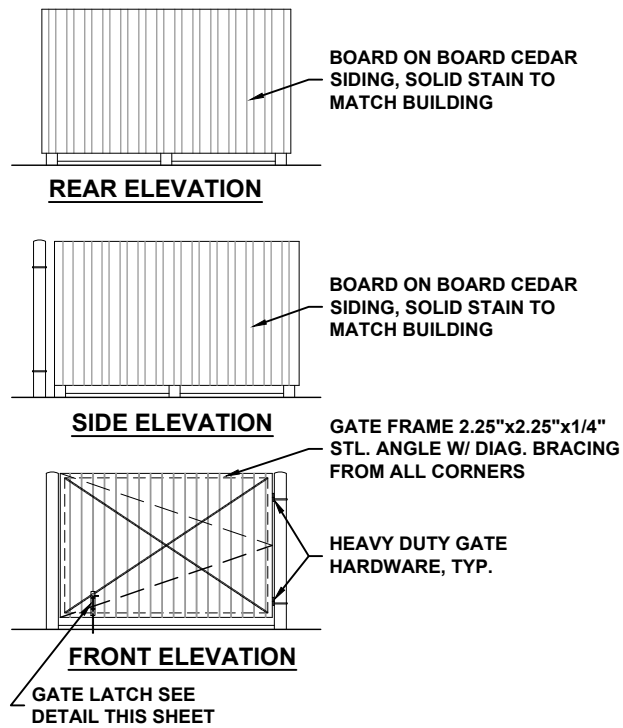
5 DOUBLE CHECK BACKFLOW PREVENTER
SCALE: N.T.S.



4 FIRE HYDRANT ASSEMBLY
SCALE: N.T.S.



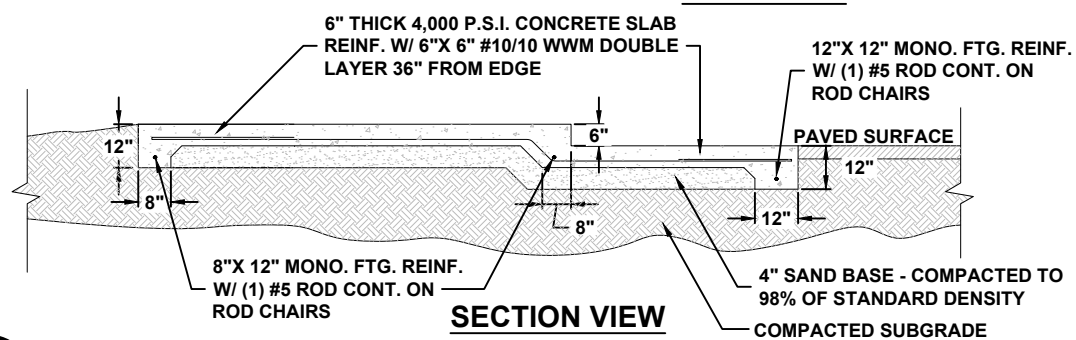
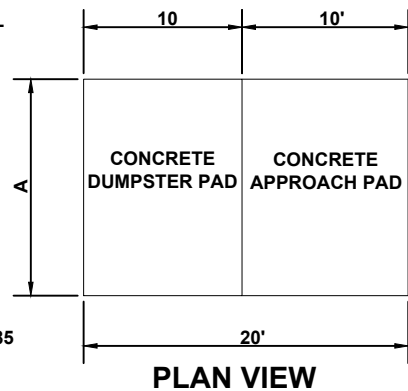
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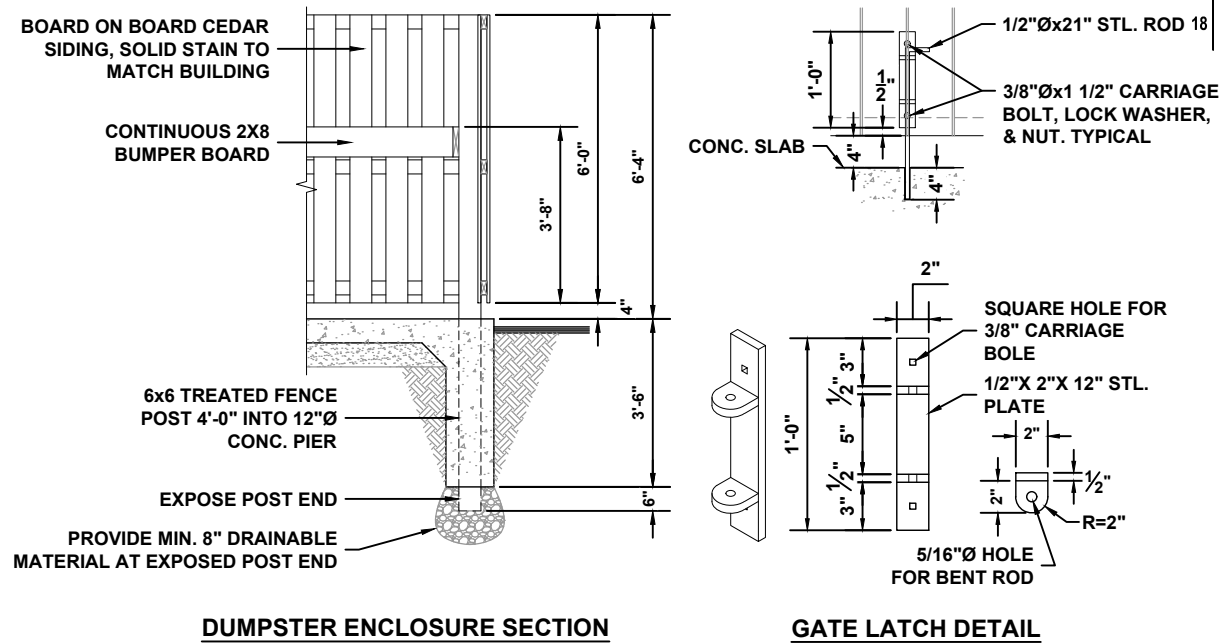
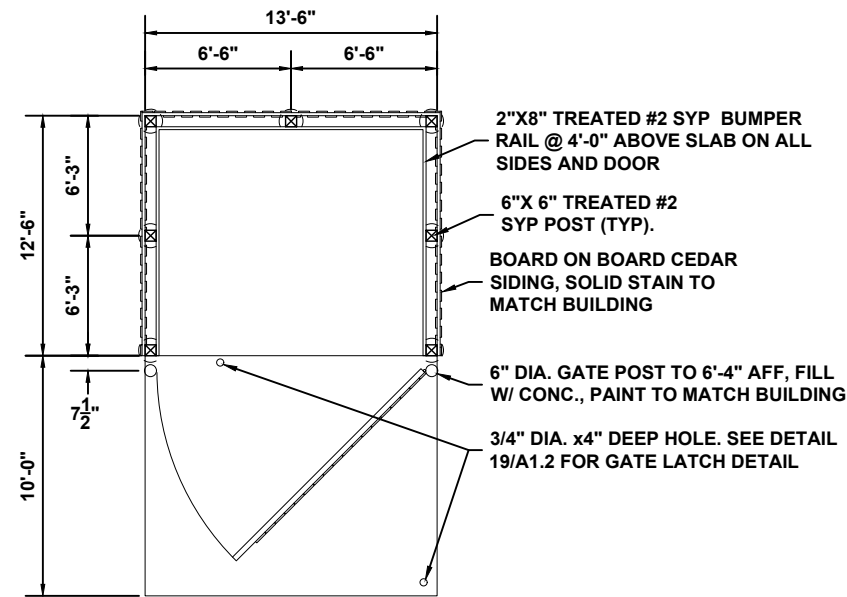
1
14 **DUMPSTER ENCLOSURE ELEVATION**
 SCALE: N.T.S.

CONCRETE NOTES:

1. THE DESIGN OF FOUNDATIONS AND SLAB-ON-GRADE IS BASED ON AN ASSUMED MINIMUM BEARING CAPACITY OF 2,000 PSF.
2. THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS-ON-GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL AND BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, LARGE ROCKS, AND ANY OTHER FOREIGN MATERIAL.
3. THE CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.
4. A MINIMUM CONCRETE COVER OF 3" SHALL BE PROVIDED FOR ALL REINFORCING STEEL.
5. REINFORCING STEEL:
 REINFORCING STEEL BARS.....ASTM A-615
 GRADE 40
 WELDED WIRE FABRIC.....ASTM A-185



3
14 **DUMPSTER PAD DETAIL**
 SCALE: N.T.S.



4
14 **DUMPSTER ENCLOSURE SECTION**
 SCALE: N.T.S.

North Florida Professional Services, Inc.
 P.O. BOX 3823
 Tallahassee, FL 32318
 Ph: 877-335-1525
 Eng. Lic. 29011

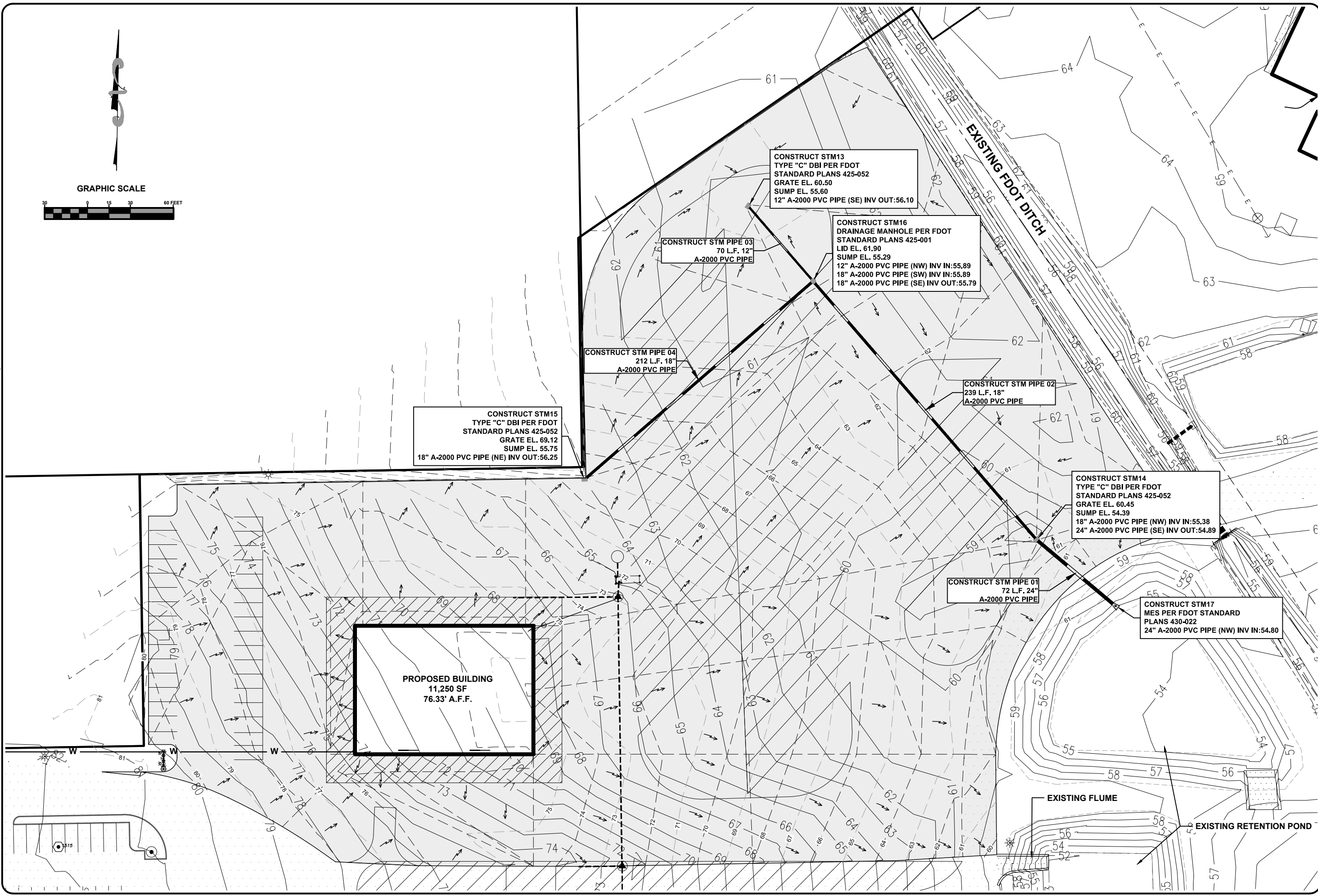
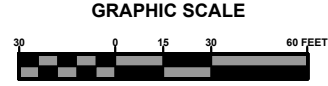


DETAILS 4
 ELLISVILLE TRUCK STOP
 COLUMBIA COUNTY, FL

REVISIONS:

JOB NUMBER: L180628ETS	DESIGNED BY: FV	CHECKED BY: TH
DATE: 06/18	ENGINEER OF RECORD: ROBERT PHILLIP BISHOP, JR.	P.E. NO.: 38546
SHEET NO. 14		

File Location: X:\2018\180628\ETS\H.CADD\cETS01b\TRUCKSTOP\cETSgra01b TRUCKSTOP\SWMP
 Date Created: October 31, 2018 Date Last Saved: October 31, 2018 Date Plotted: October 31, 2018
 THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



CONSTRUCT STM15
 TYPE "C" DBI PER FDOT
 STANDARD PLANS 425-052
 GRATE EL. 69.12
 SUMP EL. 55.75
 18" A-2000 PVC PIPE (NE) INV OUT:56.25

CONSTRUCT STM PIPE 03
 70 L.F. 12"
 A-2000 PVC PIPE

CONSTRUCT STM PIPE 04
 212 L.F. 18"
 A-2000 PVC PIPE

CONSTRUCT STM13
 TYPE "C" DBI PER FDOT
 STANDARD PLANS 425-052
 GRATE EL. 60.50
 SUMP EL. 55.60
 12" A-2000 PVC PIPE (SE) INV OUT:56.10

CONSTRUCT STM16
 DRAINAGE MANHOLE PER FDOT
 STANDARD PLANS 425-001
 LID EL. 61.90
 SUMP EL. 55.29
 12" A-2000 PVC PIPE (NW) INV IN:55.89
 18" A-2000 PVC PIPE (SW) INV IN:55.89
 18" A-2000 PVC PIPE (SE) INV OUT:55.79

CONSTRUCT STM PIPE 02
 239 L.F. 18"
 A-2000 PVC PIPE

CONSTRUCT STM14
 TYPE "C" DBI PER FDOT
 STANDARD PLANS 425-052
 GRATE EL. 60.45
 SUMP EL. 54.39
 18" A-2000 PVC PIPE (NW) INV IN:55.38
 24" A-2000 PVC PIPE (SE) INV OUT:54.89

CONSTRUCT STM PIPE 01
 72 L.F. 24"
 A-2000 PVC PIPE

CONSTRUCT STM17
 MES PER FDOT STANDARD
 PLANS 430-022
 24" A-2000 PVC PIPE (NW) INV IN:54.80

PROPOSED BUILDING
 11,250 SF
 76.33' A.F.F.

EXISTING FLUME

EXISTING RETENTION POND

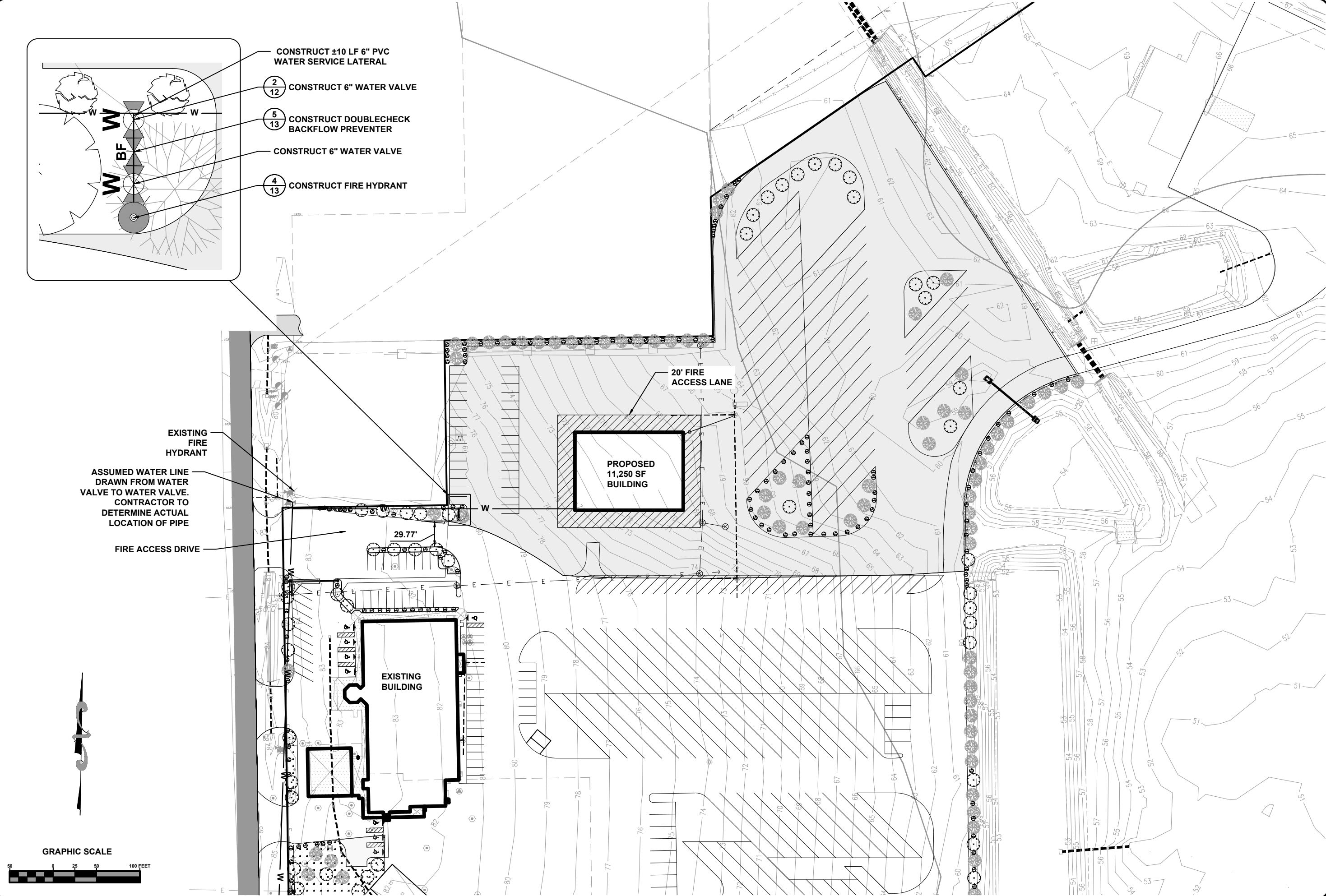
EXISTING FDOT DITCH

North Florida Professional Services, Inc.
 P.O. BOX 3823
 Tallahassee, FL 32318
 Ph. 877-335-1525
 Eng. Lic. 29011

STORMWATER PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

REVISIONS:

TH	DESIGNED BY	L180628ETS
FV	DRAWN BY	
TH	CHECKED BY	
TH	ENGINEER OF RECORD	ROBERT PHILLIP BISHOP, JR.
	P.E. NO.	38546
	DATE	06/18
	SHEET NO.	15



North Florida Professional Services, Inc.
 P.O. BOX 180988
 Tallahassee, FL 32318
 Ph. 877-335-1525
 Eng. Lic. 29011



FIRE DEPARTMENT ACCESS PLAN
ELLISVILLE TRUCK STOP
COLUMBIA COUNTY, FL

JOB NUMBER: L180628ETS	REVISIONS:
DESIGNED BY: TH	10/29/18
DRAFTED BY: FV	COUNTY
CHECKED BY: TH	
ENGINEER OF RECORD:	
ROBERT PHILLIP BISHOP, JR.	
P.E. NO.: 38546	
DATE: 06/18	
SHEET NO.	
16	



November 6, 2018

Brandon Stubbs
County Planner/LDR Admin.
Columbia County
135 NE Hernando Avenue
Lake City, FL 32055

Subject: Request for Additional Information for SE 0590 – Truck Stop 75 – Repair Facility,
Columbia County

Brandon:

This letter is in response to the above Special Exception Permit and the request for additional information letter dated November 5, 2018. Please see the requested information below:

- 1. The applicant has provided fire hydrant flow data and ISO fire flow calculations; however, there is not ample fire flow for the proposed building. The applicant must provide a detailed fire prevention plan demonstrating compliance with the required ISO fire flows and Chapter 18 of the Florida Fire Prevention Code.**

For Columbia County, FL the adopted building codes for fire flow shall be determined by the Insurance Service Office, ISO, or the Florida Fire Prevention Code, FFPC, 2017 edition. Section 18.4.3.1 states that "Fire flow requirements shall be permitted to be decreased by the AHJ for isolated buildings or a group of buildings in rural areas or suburban areas where the development of full fire flow requirements is impractical as determined by the AHJ" or Authority Having Jurisdiction. Because of the rural location of the proposed site and the fact that proposed building is replacing an existing one that was previously in business, it is proposed that NFPA 1142 be used to determine the requirements for the fire flow as allowed by Florida Fire Prevention Code, 2017 edition.

NFPA 1142, Chapter 4, Calculating Minimum Water Supplies

→Section 4.2, Structures without Exposure Hazards

→minimum water supply in gallons is determined by the following formula:

$$WS_{min} = (VS_{tot}/OHC)(CC)$$

W_{smin} = minimum water supply in gal

V_{S_{tot}} = total volume of structure in ft³

OHC = occupancy hazard classification number

CC = construction classification number

$$237,500 \text{ ft}^3 \text{ (Repair Shop)}/4 \text{ (OHC for store)} = 59,375 \text{ ft}^3$$

$WS_{min} = 59,375 \times 0.75 \text{ (CC number for Type II structure)} = 44,531 \text{ gallons (minimum water supply)}$

From NFPA Section 4.6.1 and Table 4.6.1, if the total water supply required is $\geq 20,000$ gallons, the water delivery rate shall be 1,000 gpm.

Current onsite water flow testing at the test hydrant was 880 gpm (static 65 psi, residual 50 psi) which has the capability to provide 1,593 gpm at 20 psi. This exceeds the required water delivery rate from Table 4.6.1 of 1,000 gpm and demonstrates the alternate fire flow requirement from NFPA 1142 is met.

2. **The applicant has not provided documentation of compliance with Section 4.22.4 “Ellisville Overlay District” regulations of the Land Development Regulations. The applicant must provide documentation demonstrating compliance with Section 4.22.4 “Ellisville Overlay District” regulations.** – The building is currently being designed. Once completed, it will comply with the “Ellisville Overlay District”.

If you have questions or need additional information, please do not hesitate to contact me.

Best Regards,



R.P. (Phil) Bishop, Jr., PE

The Lake City Reporter
PO Box 1709
Lake City, FL 32056
Phone: 386-752-1293
Fax: 386-752-9400
Email: kriotto@lakecityreporter.com

AFFIDAVIT OF PUBLICATION

Legal Reference: SE 0590
NOTICE OF PUBLIC HEARING

STATE OF FLORIDA
COUNTY OF COLUMBIA

Before the undersigned notary public personally appeared Todd L. Wilson, who on oath says that (s)he is Publisher of the Lake City Reporter, a newspaper published at Lake City, Columbia County, Florida; confirms that the attached legal advertisement was published in the Lake City Reporter on the following date(s):

11/09/2018

Affiant

Sworn to and subscribed before me this 9th day of November, 2018


Kathleen A. Riotto, Notary Public

My commission expires August 20, 2018



KATHLEEN A. RIOTTO
Commission # GG 228945
Expires August 20, 2022
Bonded Thru Budget Notary Service

NOTICE OF PUBLIC HEARING CONCERNING A SPECIAL EXCEPTION AS PROVIDED FOR IN THE COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA. NOTICE IS HEREBY GIVEN that, pursuant to the Columbia County Land Development Regulations as amended, hereinafter referred to as the Land Development Regulations, comments, objections and recommendations concerning the special exception, as described below, will be heard by the Board of Adjustment of Columbia County, Florida, at a public hearing on November 20, 2018 at 6:00 p.m., or as soon thereafter as the matter can be heard, in the School Board Administrative Complex located at 372 Duval Street, Lake City, Florida. SE 0590, a petition by Tori Humphries of North Florida Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception be granted as provided for in Section 4.15.5(1) of the Land Development Regulations to allow for a Truck Stop and Automobile Service Station use within the Commercial, Highway Interchange (CHI) Zone District. The special exception has been filed in accordance with a site plan dated October 16, 2018 and submitted as part of a petition dated October 16, 2018, to be located on property described, as follows: COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 3 AND THE POINT OF BEGINNING; THENCE SOUTH 87°31'51" WEST ALONG THE SOUTH LINE OF SAID NORTH 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 00°59'23" EAST A DISTANCE OF 38.34 FEET; THENCE SOUTH 89°03'59" WEST A DISTANCE OF 232.64 FEET; THENCE NORTH 00°56'04" WEST A DISTANCE OF 315.89 FEET; THENCE SOUTH 89°07'16" WEST A DISTANCE OF 215.40 FEET; THENCE NORTH 01°04'29" WEST A DISTANCE OF 7.86 FEET; THENCE SOUTH 89°11'12" WEST A DISTANCE OF 40.55 FEET; THENCE NORTH 00°59'34" WEST A DISTANCE OF 19.66 FEET; THENCE SOUTH 89°07'16" WEST A DISTANCE OF 6.50 FEET; THENCE NORTH 00°59'34" WEST A DISTANCE OF 15.69 FEET; THENCE SOUTH 88°14'20" WEST A DISTANCE OF 87.38 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441; THENCE NORTH 00°56'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 274.68 FEET; THENCE NORTH 89°05'42" EAST A DISTANCE OF 189.88 FEET; THENCE NORTH 00°53'50" WEST A DISTANCE OF 190.13 FEET; THENCE NORTH 89°02'31" EAST A DISTANCE OF 310.07 FEET; THENCE NORTH 00°58'03" WEST A DISTANCE OF 160.55 FEET; THENCE NORTH 55°24'08" EAST A DISTANCE OF 582.14 FEET TO A POINT ON THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75; THENCE SOUTH 66°00'13" EAST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75 A DISTANCE OF 94.41 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 6789.49 FEET AND A CENTRAL ANGLE OF 01°58'59"; THENCE SOUTHEASTERLY ALONG THE ARC BEING ALSO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, A DISTANCE OF 230.38 FEET TO A POINT ON THE EAST LINE OF SECTION 3; THENCE SOUTH 00°53'00" EAST ALONG SAID EAST LINE OF SECTION 3 A DISTANCE OF 441.31 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 3; THENCE CONTINUE SOUTH 00°53'00" EAST ALONG THE EAST LINE

EAST ALONG SAID EAST LINE OF SECTION 3 A DISTANCE OF 441.31 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 3; THENCE CONTINUE SOUTH 00°53'00" EAST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 697.35 FEET TO THE POINT OF BEGINNING, LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE BOARD OF COUNTY COMMISSIONERS BY DEED RECORDED AUGUST 7, 2013 IN OFFICIAL RECORDS BOOK 1259, PAGE 1301 OF COLUMBIA COUNTY RECORDS. ALSO COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH 1/4 OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 3; THENCE SOUTH 87°31'51" WEST ALONG THE SOUTH LINE OF SAID NORTH 1/4 OF THE NORTHEAST 1/4 OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 00°59'23" EAST A DISTANCE OF 38.34 FEET; THENCE SOUTH 89°03'59" WEST A DISTANCE OF 232.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°03'59" WEST A DISTANCE OF 349.87 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441; THENCE NORTH 00°58'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 358.14 FEET; THENCE NORTH 88°14'20" EAST A DISTANCE OF 87.38 FEET; THENCE SOUTH 00°59'34" EAST A DISTANCE OF 15.69 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 6.50 FEET; THENCE SOUTH 00°59'34" EAST A DISTANCE OF 19.66 FEET; THENCE NORTH 89°11'12" EAST A DISTANCE OF 40.55 FEET; THENCE SOUTH 01°04'29" EAST A DISTANCE OF 7.86 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 215.40 FEET; THENCE SOUTH 00°56'04" EAST A DISTANCE OF 315.89 FEET TO THE POINT OF BEGINNING. Containing 26.08 acres, more or less. Tax Parcel 03-6s-17-09588-000 & 03-6s-17-09588-001 The public hearing may be continued to one or more future date. Any interested party shall be advised that the date, time and place of any continuation of the public hearing shall be announced during the public hearing and that no further notice concerning the matter will be published, unless said continuation exceeds six calendar weeks from the date of the above referenced public hearing. At the aforementioned public hearing, all interested parties may appear to be heard with respect to the special exception. Copies of the special exception are available for public inspection at the Office of the County Planner, County Administrative Offices, 135 Northeast Hernando Avenue, Lake City, Florida, during regular business hours. All persons are advised that if they decide to appeal any decision made at the above referenced public hearing, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, persons needing a special accommodation or an interpreter to participate in the proceeding should contact Lisa K. B. Roberts, at least seven (7) days prior to the date of the hearing. Ms. Roberts may be contacted by telephone at (386) 758-1005 or by Telecommunication Device for Deaf at (386) 758-2139.

470272
November 9, 2018

LAKE CITY REPORTER CLASSIFIED ADVANTAGE

Take Advantage of the Reporter Classifieds! **755-5440**

MOST ADS LESS THAN PER DAY

IN THE CIRCUIT COURT OF THE THIRD JUDICIAL CIRCUIT IN AND FOR COLUMBIA COUNTY, FLORIDA. CASE NO. 2016-CP-195 PROBATE DIVISION RE: THE ESTATE of ELEANOR OWENS ESTES, Deceased. **NOTICE TO CREDITORS** YOU ARE HEREBY NOTIFIED that the administration of the Estate of ELEANOR OWENS ESTES, whose date of death was July 18, 2016, is pending in the Circuit Court in and for Columbia County, Florida, Probate Division, case number 2016-CP-195, the address of which is: Clerk of the Circuit Court, ATTN: Probate Division, 173 NE Hernando Avenue #225, Lake City, Florida 32055. The name and address of the Personal Representative and the Personal Representative's attorney are set forth below. All creditors of the decedent and other persons having claims or demands against the decedents estate, including un-matured, contingent or unliquidated claims, on whom a copy of this notice is required to be served must file their claims with this court WITHIN THE TERM OF THREE (3) MONTHS AFTER THE DATE OF THE TIME OF THE FIRST PUBLICATION OF THIS NOTICE OR 30 DAYS AFTER THE DATE OF SERVICE OF A COPY OF THIS NOTICE ON THEM. All other creditors of the decedent and other persons having claims or demands against the decedents estate must file their claims with this court WITHIN THREE (3) MONTHS AFTER THE DATE OF THIS NOTICE. FAILURE TO FILE A CLAIM WITHIN THE TIME PERIODS SET FORTH ABOVE, ANY CLAIM FILED TWO (2) YEARS AFTER THE DATE OF DEATH IS BARRED. The date of the first publication of this Notice to Creditors is: November 9, 2018. **LINDA WARREN OWENS** Linda Warren Owens, 2571 Yarmouth Lane Tallahassee, FL 32309 Personal Representative **JOHN W. BLACK** John W. Black, Attorney at Law 2155 Delta Blvd., Ste. 210-A Tallahassee, FL 32303 Phone: 850-425-4600 Fla. Bar #0754552 Attorney for Personal Representative

470148 November 9, 16, 2018

IN THE CIRCUIT COURT OF THE THIRD JUDICIAL CIRCUIT IN AND FOR COLUMBIA COUNTY, FLORIDA. CASE NO. 2018-126-CA DIVISION RE: THE ESTATE OF DIANE M. JANUSZEWSKI Plaintiffs, vs. **DANIEL JOSEPH SENS, the UNKNOWN SPOUSE OF DANIEL JOSEPH SENS, JESSICA NICOLE SENS, and the UNKNOWN SPOUSE OF JESSICA NICOLE SENS.** Defendants. **NOTICE OF FORECLOSURE SALE** YOU ARE HEREBY NOTIFIED that, pursuant to this Court's order, I will sell to the highest and best bidder for cash at the Columbia County Courthouse, 173 NE Hernando Avenue, in Lake City, Florida at 11:00 A.M. on December 12, 2018 the following described property. The land referred to herein below is situated in the County of Columbia State of Florida, and described as follows: Trunker Farms Parcel No. 13; Commence at the Southwest corner of SE 1/4 of the SW 1/4, Section 4, Township 7 South, Range 17 East, Columbia County, Florida and run thence N 87 degrees, 38'18" E along the South line of said Section 4, 995.59 feet to the POINT OF BEGINNING, thence continue N 87 degrees 38'18" E along the South line of said Section 4, thence N 2 degrees 25'28" W, 999.78 feet, thence S 87 degrees 75'24" W, 452.48 feet, thence S 2 degrees 41'31" E, 1002.42 feet to the Point of Beginning. The south 30 feet of said lands being subject to a right-of-way for Barney Road, a county maintained graded road. IF YOU ARE A PERSON CLAIMING A RIGHT TO FUND REMAINING AFTER THE SALE, YOU MUST FILE YOUR CLAIM WITH THE CLERK NO LATER THAN 60 DAYS AFTER THE SALE. IF YOU FAIL TO FILE A CLAIM, YOU WILL NOT BE ENTITLED TO ANY REMAINING FUNDS. AFTER 60 DAYS ONLY THE OWNER OF RECORD AS OF THE DATE OF THE LIS PENDENS MAY CLAIM THE SURPLUS. If you are a person with a disability who needs any accommodation in order to participate in the proceedings you are entitled, at no cost to you, to the provision of certain assistance. Persons with a disability who need any accommodation in order to participate should contact COURT ADMINISTRATION, at the Columbia County Courthouse at (386) 758-1342 within two (2) working days of your receipt of this notice; if you are hearing impaired call (800) 955-8771; if you are voice impaired call (800) 955-

8770. PLEASE GOVERN YOURSELF ACCORDINGLY. Dated November 5, 2018 P. DEWITT CASON, Clerk of the Circuit Court By: /s/ S. Weeks As Deputy Clerk

470260 November 9, 16, 2018

PUBLIC NOTICE INVITATION TO BID ITB-005-2019 Sealed bids will be accepted by the City of Lake City, Procurement Department 2nd Floor, 205 N Marion Avenue, Lake City, Florida 32055 until **TUESDAY, NOVEMBER 27, 2018 AT 11:00 A.M.** after which time any bids given that pursuant to the Columbia County Land Development Regulations as amended, hereinafter referred to as the Land Development Regulations, objections, recommendations and comments concerning the special exception, as described below, will be heard by the Board of Adjustment of Columbia County, Florida, at a public hearing on November 20, 2018 at 6:00 p.m., or as soon thereafter as the matter can be heard, in the School Board Administrative Complex located at 372 West Duval Street, Lake City, Florida. SE 0590, a petition by Tori Humphries, aka (Chi) Zone Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception granted as provided in Section 4.15.5(1) of the Land Development Regulations to allow for a Truck Stop 75 mobile Service Station use within the Commercial, Highway Interchange (Chi) Zone District. This special exception has been filed in accordance with a site plan dated October 16, 2018 and submitted as a part of a petition dated October 16, 2018, to be located on property described as follows: COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3 TOWNSHIP 6 SOUTH RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 08°03'59" WEST A DISTANCE OF 232.64 FEET; THENCE NORTH 88°14'20" EAST A DISTANCE OF 87.38 FEET; THENCE SOUTH 00°59'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 274.68 FEET; THENCE NORTH 89°05'42" EAST A DISTANCE OF 199.88 FEET; THENCE NORTH 10°53'00" WEST A DISTANCE OF 190.13 FEET; THENCE NORTH 89°02'31" WEST A DISTANCE OF 310.07 FEET; THENCE NORTH 00°58'38" WEST A DISTANCE OF 180.55 FEET; THENCE NORTH 55°24'08" EAST A DISTANCE OF 582.14 FEET TO THE POINT OF BEGINNING; LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE SOUTH 65°00'00" WEST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE NORTH 00°53'00" WEST A DISTANCE OF 667.35 FEET TO THE POINT OF BEGINNING; LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE SOUTH 00°53'00" WEST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE NORTH 00°53'00" WEST A DISTANCE OF 1121.18 FEET TO THE EAST LINE OF OFFICIAL RECORDS BOOK 1259, PAGE 1301 OF COLUMBIA COUNTY RECORDS. ALSO COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°50'00" WEST ALONG THE EAST LINE OF

NOTICE OF PUBLIC HEARING CONCERNING A SPECIAL EXCEPTION AS PROVIDED FOR IN COLUMBIA COUNTY LAND DEVELOPMENT REGULATIONS. BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, NOTICE IS HEREBY GIVEN that pursuant to the Columbia County Land Development Regulations as amended, hereinafter referred to as the Land Development Regulations, objections, comments, objections, recommendations and suggestions concerning the special exception, as described below, will be heard by the Board of Adjustment of Columbia County, Florida, at a public hearing on November 20, 2018 at 6:00 p.m., or as soon thereafter as the matter can be heard, in the School Board Administrative Complex located at 372 West Duval Street, Lake City, Florida. SE 0590, a petition by Tori Humphries, aka (Chi) Zone Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception granted as provided in Section 4.15.5(1) of the Land Development Regulations to allow for a Truck Stop 75 mobile Service Station use within the Commercial, Highway Interchange (Chi) Zone District. This special exception has been filed in accordance with a site plan dated October 16, 2018 and submitted as a part of a petition dated October 16, 2018, to be located on property described as follows: COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3 TOWNSHIP 6 SOUTH RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 08°03'59" WEST A DISTANCE OF 232.64 FEET; THENCE NORTH 88°14'20" EAST A DISTANCE OF 87.38 FEET; THENCE SOUTH 00°59'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 274.68 FEET; THENCE NORTH 89°05'42" EAST A DISTANCE OF 199.88 FEET; THENCE NORTH 10°53'00" WEST A DISTANCE OF 190.13 FEET; THENCE NORTH 89°02'31" WEST A DISTANCE OF 310.07 FEET; THENCE NORTH 00°58'38" WEST A DISTANCE OF 180.55 FEET; THENCE NORTH 55°24'08" EAST A DISTANCE OF 582.14 FEET TO THE POINT OF BEGINNING; LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE SOUTH 65°00'00" WEST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE NORTH 00°53'00" WEST A DISTANCE OF 667.35 FEET TO THE POINT OF BEGINNING; LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE SOUTH 00°53'00" WEST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, THENCE NORTH 00°53'00" WEST A DISTANCE OF 1121.18 FEET TO THE EAST LINE OF OFFICIAL RECORDS BOOK 1259, PAGE 1301 OF COLUMBIA COUNTY RECORDS. ALSO COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°50'00" WEST ALONG THE EAST LINE OF

SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 3, THENCE SOUTH 87°31'51" WEST ALONG SAID NORTH LINE OF SAID NORTH 1/2 OF THE NORTHEAST 1/4 OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 08°03'59" WEST A DISTANCE OF 232.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°05'42" WEST A DISTANCE OF 199.88 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 7.96 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 215.40 FEET; THENCE SOUTH 08°03'59" WEST A DISTANCE OF 315.89 FEET TO THE POINT OF BEGINNING; CONTAINING 26.08 ACRES, MORE OR LESS. Tax Parcel 03-66-17-09588-000 & 03-66-17-09588-001. The public hearing may be continued to one or more future dates. Any interested party should be advised that the date, time and place of any continuation of the public hearing has been announced during the public hearing and that no further notice concerning the matter will be published unless said continuation exceeds six calendar weeks from the date of the above referenced public hearing. At the aforementioned public hearing, all interested parties may appear to be heard with respect to the special exception. Copies of the special exception are available for public inspection at the Office of the County Clerk, 205 N. Marion Avenue, Offices, 135 Northeast Hernando Avenue, Lake City, Florida, during regular business hours. All persons are advised that if they decide to appeal any decision made at the above referenced public hearing, they will need a record of the proceedings, and that, for such purpose, they should hire a court reporter that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. In accordance with the Americans with Disabilities Act, persons needing a special accommodation or an interpreter to participate in the proceeding should contact Lisa K. Roberts, at least seven (7) days prior to the date of the hearing. Ms. Roberts may be contacted by telephone at (386) 758-1005 or by Telecommunication Device for Deaf at (386) 758-2139.

470272 November 9, 2018

245-MISC AN OUS Wanted unwanted livestock; horses, goats, cows; free pickup, call Danny 904-222-5054

305-GENER Front Desk, customer service & basic clerical exp a plus, will train. Competitive wages. Individual must be responsible with good work history. Late night. Apply in person. NO CALLS. America's Best Value Inn of Lake City 3635 W. Hwy 90. Housekeeper, experience a plus, will train. Competitive hourly wage, Apply in person. NO CALLS. America's Best Value Inn of Lake City 3635 W. Hwy 90. Immediate opening for commercial truck drivers. Must have a valid commercial driver's license with good driving record. Competitive pay and benefits offered. Please apply at: https://www.mydrivers.com/anderson-columbia-company-inc/apply/ Or www.andersoncolumbia.com

YARD SALE Furniture, Kitchen Items, Home Decor, Elliptical, Must Sell Friday 11:00 & 11:10 a.m. 1 pm 678 S. W. Summer Set Place, Lake City, FL 32025

605-PETS ANIMALS FOR SALE PUBLISHER'S NOTE Florida Law 228-29 requires dogs and cats being sold to be at least 8 weeks old and have a health certificate from a licensed veterinarian documenting they have mandatory shots and are free from intestinal and external parasites. Many species of wildlife must be licensed by Florida Fish and Wildlife. If you are unsure, contact the local office for information.

705-HOME OR RENT 2/1 in town, no pets, \$600 dep \$600/mo 386-758-0057 Rustic 3/1.5 totally renovated, new kit, many extras. near Toyota dealer \$950/mo 1st+last+500 sec dep \$1000 8 am - 1 pm Unfurnished 2BR/1BA house, W/Ha on 5 acres, \$750/mo, first and security firm. 386-755-7878 or 386-590-1428

305-GENER Land Agri-Business, Inc. is looking for 10 people to harvest, plant, pack and all general farm labor related to watermelons, and harvest sod, hay, pine straw and grains, in Suwannee area. Job openings, FL Job starts 12/10/18 - 7/15/19 (temporary position), pay rate \$11.29/hr or \$0.45-2.50 piece rates depending on crop harvested. Work under extreme weather conditions, 50-pound lifting requirement, 3-months verifiable experience. Housing & transportation provided, including U.S. workers who cannot reasonably return to their permanent residence at the end of each working day. For more info call Mon / Fri 8am - 5pm to (386) 935-6234. Employer will provide tools, supplies and equipment needed for job at no cost to workers. Transportation and subsistence expenses to the worksite will be reimbursed upon completion of 50% of the work contract or earlier, if appropriate. Guarantee 3/4 of the contract if you are laid off. Apply at your local career center: 1389 US Hwy 90 West, Ste. 170, Lake City, FL 32055. Ref: FL10817098.

The City of Lake City has openings for the following positions: **Customer Service:** Customer Service Rep 1 **Assistant Fire Chief:** Assistant Fire Chief **Fire Chief:** Fire Chief **Police Department:** Communication Officer **Police Officer:** Police Officer **Utilities Department:** Collection Technician I **Distribution Technician I:** Distribution Technician I **AV Technician:** WWPV Operator C

Obtain detailed job descriptions and applications by visiting 1st floor at City Hall 205 N. Marion Avenue Lake City, FL. We would like you to visit our web site at www.lclca.com The City of Lake City is an AA/AEEOE/VP employer.

THE COLUMBIA COUNTY SHERIFF'S OFFICE is now accepting applications for a Part-Time School Crossing Guard. Starting Pay is \$11.14 per hour plus overtime and a job description may be downloaded from our website at www.columbiacountyfla.com or picked up between 8:30-5:00 PM at the CSCS Operations Center located at 4917 U.S. Hwy 90 East, Lake City, Florida. Position will remain open until filled. The CSCS is an EEO Employer.

315-MEDI L Front Desk/Medical Assistant with 1 yr exp in medical office. Send resume to PO Box 1804, Lake City, FL 32056

405-YARD A ES 251 SE Cheyenne Ct Fr & Sat 7:30-9:30 Printer, desk, clothes, pictures, books and misc.

GARAGE SALE 760 NW Harris Lake Drive Saturday & Sunday 8am-2pm Rain or shine. Household items, tools, collectibles, furniture and so much more. 386-466-2253

YARD SALE Furniture, Kitchen Items, Home Decor, Elliptical, Must Sell Friday 11:00 & 11:10 a.m. 1 pm 678 S. W. Summer Set Place, Lake City, FL 32025

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710-APT RNTS FOR R NT Windsong Apartments We Offer 1, 2, & 3 BR's Apply On Line! www.apartmentliving.com 386-758-8455

735-MOBI HOMES FOR R NT 2/1 avail now \$650/mo & smaller 2/1 opening soon \$450/mo in quiet MH Park 701-681-0262

805-HOME OR AL PUBLISHER'S NOTE All real estate advertising in this newspaper is subject to the fair housing act which makes it illegal to advertise "any preference, limitation, or discrimination based on race, color, religion, sex, disability, familial status or national origin; or any intention to make such preference, limitation or discrimination. Familial status includes children under the age of 18 living with parents or legal custodians, pregnant women, and people securing custody of children under the age of 18. This newspaper will not knowingly accept any advertising for real estate which is in violation of the law. Our readers are hereby informed that all dwellings advertised in this newspaper are available on an equal opportunity basis. To complain of discrimination call HUD toll free at 1-800-669-9777, the toll free telephone number to the hearing impaired is 1-800-927-9275.

810-LAND L TS FOR SALE 1/2 to 5 acre lots; owner financing, some with w/ssp Deas Bullard/BK/L Properties 386-752-4339 www.landfl.com

4.5 acres on Lake Jeffrey Rd, gorgeous oaks, great estate, site built homes only. Owner financing! NO DOWN! \$49,900. \$513/mo 352-215-1018. www.LandOwnerFinancing.com

830-COMME CIAL FO SALE 6500sf warehouse, 1000sf AC office/retail, 2 to roll-up doors, 2000sf CP 0, 0'Brien 352-215-1018. Owner financing \$159,900 \$5k down \$1360/mo www.Landownerfinancing.com

1005-MOBI HOMES FOR SAL WITH AND 1997 DWHM on 99ac, 1288sf, 4BR/2BA. Recently totally renovated. Call Charles for appointment 984-7226. \$73,000 Can finance with 30% down payment. \$650 per month

1010-MOBILE OMEES FOR SALE WIT OUT LAND 2004 48X60 DYNASTY 3BR 2BA, all appliances, New metal roof, awnings, porch. Must be moved.

Is your business growing on the web? Bring customers to your site.

705-HOME OR RENT 2/1 in town, no pets, \$600 dep \$600/mo 386-758-0057 Rustic 3/1.5 totally renovated, new kit, many extras. near Toyota dealer \$950/mo 1st+last+500 sec dep \$1000 8 am - 1 pm Unfurnished 2BR/1BA house, W/Ha on 5 acres, \$750/mo, first and security firm. 386-755-7878 or 386-590-1428

710-APT RNTS FOR R NT 1/1 West side of town., recently renovated, smoke free, no pets \$500/mo 386-867-9231 Starting at \$625/mo, tile floors, fresh paint. Great Area. Call (386)752-9626

Posted
11/9/18
[Signature]

**PUBLIC NOTICE:
NOTICE OF PUBLIC HEARING
BEFORE THE BOARD OF ADJUSTMENT OF COLUMBIA
COUNTY, FLORIDA.**

BY THE BOARD OF ADJUSTMENT OF COLUMBIA COUNTY, FLORIDA, NOTICE IS HEREBY GIVEN that, pursuant to the Columbia County Land Development Regulations as amended, hereinafter referred to as the Land Development Regulations, comments, objections and recommendations concerning the special exception, as described below, will be heard by the Board of Adjustment of Columbia County, Florida, at a public hearing on November 20, 2018 at 6:00 p.m., or as soon thereafter as the matter can be heard, in the School Board Administrative Complex located at 372 West Duval Street, Lake City, Florida.

SE 0590, a petition by Tori Humphries of North Florida Professional Services, agent for Truck Stop 75, LLC, owner, to request a special exception be granted as provided for in Section 4.15.5(1) of the Land Development Regulations to allow for a Truck Stop and Automobile Service Station use within the Commercial, Highway Interchange ("CHI") Zone District. The special exception has been filed in accordance with a site plan dated October 16, 2018 and submitted as part of a petition dated October 16, 2018, to be located on property described, as follows:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3 AND THE POINT OF BEGINNING; THENCE SOUTH 87°31'51" WEST ALONG THE SOUTH LINE OF SAID NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 00°59'23" EAST A DISTANCE OF 38.34 FEET; THENCE SOUTH 89°03'59" WEST A DISTANCE OF 232.64 FEET; THENCE NORTH 00°56'04" WEST A DISTANCE OF 315.89 FEET; THENCE SOUTH 89°07'16" WEST A DISTANCE OF 215.40 FEET; THENCE NORTH 01°04'29" WEST A DISTANCE OF 7.86 FEET; THENCE SOUTH 89°11'12" WEST A DISTANCE OF 40.55 FEET; THENCE NORTH 00°59'34" WEST A DISTANCE OF 19.66 FEET; THENCE SOUTH 89°07'16" WEST A DISTANCE OF 6.50 FEET; THENCE NORTH 00°59'34" WEST A DISTANCE OF 15.69 FEET; THENCE SOUTH 88°14'20" WEST A DISTANCE OF 87.38 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441; THENCE NORTH 00°56'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 274.68 FEET; THENCE NORTH 89°05'42" EAST A DISTANCE OF 189.88 FEET; THENCE NORTH 00°53'50" WEST A DISTANCE OF 190.13 FEET; THENCE NORTH 89°02'31" EAST A DISTANCE OF 310.07 FEET; THENCE NORTH 00°58'38" WEST A DISTANCE OF 160.55 FEET; THENCE NORTH 55°24'08" EAST A DISTANCE OF 582.14 FEET TO A POINT ON THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75; THENCE SOUTH 66°00'13" EAST ALONG SAID SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75 A DISTANCE OF 94.41 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 6769.49 FEET AND A CENTRAL ANGLE OF 01°56'59"; THENCE SOUTHEASTERLY ALONG THE ARC, BEING ALSO THE SOUTHERLY LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75, A DISTANCE OF 230.36 FEET TO A POINT ON THE EAST LINE OF SECTION 3; THENCE SOUTH 00°53'00" EAST ALONG SAID EAST LINE OF SECTION 3 A DISTANCE OF 441.31 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST ¼ OF SECTION 3; THENCE CONTINUE SOUTH 00°53'00" EAST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 667.35 FEET TO THE POINT OF BEGINNING. LESS THAT PORTION OF THE ABOVE DESCRIBED PROPERTY CONVEYED TO THE BOARD OF COUNTY COMMISSIONERS BY DEED RECORDED AUGUST 7, 2013 IN OFFICIAL RECORDS BOOK 1259, PAGE 1301 OF COLUMBIA COUNTY RECORDS.

ALSO:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 00°53'00" WEST ALONG THE EAST LINE OF SECTION 3 A DISTANCE OF 2001.34 FEET TO THE SOUTHEAST CORNER OF THE NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3; THENCE SOUTH 87°31'51" WEST ALONG THE SOUTH LINE OF SAID NORTH ½ OF THE NORTHEAST ¼ OF THE SOUTHEAST ¼ OF SECTION 3 A DISTANCE OF 693.94 FEET; THENCE SOUTH 00°59'23" EAST A DISTANCE OF 38.34 FEET; THENCE SOUTH 89°03'59" WEST A DISTANCE OF 232.64 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 89°03'59" WEST A DISTANCE OF 349.87 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441; THENCE NORTH 00°56'04" WEST ALONG SAID EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 41 & 441 A DISTANCE OF 358.14 FEET; THENCE NORTH 88°14'20" EAST A DISTANCE OF 87.38 FEET; THENCE SOUTH 00°59'34" EAST A DISTANCE OF 15.69 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 6.50 FEET; THENCE SOUTH 00°59'34" EAST A DISTANCE OF 19.66 FEET; THENCE NORTH 89°11'12" EAST A DISTANCE OF 40.55 FEET; THENCE SOUTH 01°04'29" EAST A DISTANCE OF 7.86 FEET; THENCE NORTH 89°07'16" EAST A DISTANCE OF 215.40 FEET; THENCE SOUTH 00°56'04" EAST A DISTANCE OF 315.89 FEET TO THE POINT OF BEGINNING.

Containing 26.08 acres, more or less.

Tax Parcel 03-6s-17-09588-000 & 03-6s-17-09588-001

At the aforementioned public hearing, all interested parties may appear to be heard with respect to the special exception.

Copies of the special exception are available for public inspection at the Office of the County Planner, County Administrative Offices, 135 Northeast Hernando Avenue, Lake City, Florida, during regular business hours.

All persons are advised that if they decide to appeal any decision made at the above referenced public hearing, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

In accordance with the Americans with Disabilities Act, persons needing a special accommodation or an interpreter to participate in the proceeding should contact Lisa K. B. Roberts, at least seven (7) days prior to the date of the hearing. Ms. Roberts may be contacted by telephone at (386)758-1005 or by Telecommunication Device for Deaf at (386)758-2139.

**FOR MORE INFORMATION, CONTACT BRANDON M.
STUBBS, COUNTY PLANNER AT (386) 754-7119**





OFFICE OF THE COUNTY PLANNER

AGENDA ITEM REQUEST FORM

Today's Date: November 13, 2018

Meeting Date: November 20, 2018

Name: Brandon Stubbs

Department: Building And Zoning

County Planner's Signature:

A handwritten signature in blue ink, appearing to read "B. Stubbs", is written over a horizontal line.

1. Nature and purpose of agenda item:

Approval of the September 27, 2018 Board of Adjustment Minutes

**MINUTES
BOARD OF ADJUSTMENTS
SEPTEMBER 27, 2018**

School Board Auditorium, Lake City, Florida at 6:00 pm

A. ROLL CALL

MEMBERS PRESENT: Robert Jordan (Chair), Roger Buscher, Earl Peeler & Teena Ruffo

MEMBERS ABESNT: Jock Phelps

STAFF: Brandon M. Stubbs, County Planner, Joel Foreman, County Attorney

B. PLEDGE OF ALLEGIANCE & INVOCATION

Robert Jordan called the meeting to order.

C. PUBLIC COMMENT SECTION (Items Not on Agenda – Per FL Statute)

None

D. OPEN CONSIDERATION OF AGENDA ITEMS

None

E. OLD BUSINESS

None

F. NEW BUSINESS

**SE 0588 Special Exception – Cynthia Dennis of North American Towers LLC, Cell Tower
Crowder Property**

PUBLIC DISCUSSION

None

BOARD DISCUSSION

None

MOTION

Teena Ruffo – Moved to Approve SE 0588

SECOND

Earl Peeler

MOTION PASSED UNANIMOUSLY

**SE 0589 Special Exception – Cynthia Dennis of C4 Towers LLC, Cell Tower Tindell
Property**

PUBLIC DISCUSSION

None

BOARD DISCUSSION

None

MOTION

Earl Peeler– Moved to Approve SE 0589

SECOND

Teena Ruffo

MOTION PASSED UNANIMOUSLY

G. STAFF UPDATE

None

H. MINUTES

Robert Jordan - Requested a motion

MOTION

Earl Peeler - Moved to approve the August 23, 2018 Minutes.

SECOND

Roger Buscher

MOTION PASSED UNANIMOUSLY

I. STAFF MATTERS

None

ADJOURNED THE BOARD OF ADJUSTMENTS

THE SEPTEMBER 27, 2018 BOARD OF ADJUSTMENT MINUTES ARE HEREBY ADOPTED ON THIS 20TH DAY OF NOVEMBER, 2018.

Attest:

BOARD OF ADJUSTMENT OF
COLUMBIA COUNTY, FLORIDA

Brandon M. Stubbs, Secretary to the
Board of Adjustment

Robert F. Jordan, Chairman